



7275 W. MAIN STREET, KALAMAZOO, MI 49009-9334
269-216-5220 Fax 375-7180 TDD 375-7198
www.oshtemo.org

**NOTICE
OSHTEMO CHARTER TOWNSHIP
PLANNING COMMISSION**

REGULAR MEETING – VIRTUAL

Participate through this Zoom link:
<https://us02web.zoom.us/j/84208901505>

Or by calling: 1-929-205-6099
Meeting ID: 842 0890 1505

(Refer to the www.oshtemo.org home page or the third page of this packet for additional virtual meeting information)

**THURSDAY, APRIL 29, 2021
6:00 P.M.**

AGENDA

- a) Call to Order
- b) Roll Call and Remote Location Identification
- c) Pledge of Allegiance
- d) Approval of Agenda
- e) Approval of Minutes: April 8th, 2021
- f) **Public Hearing: Special Use, Biggby BCubed Drive-thru**
Wayfound, LLC, with consent from Meijer Inc and Meijer Stores Limited Partnership, is seeking Special Use and Site Plan approval to construct a 349 square foot BCubed drive-thru for Biggby Coffee within the Meijer parking lot located at 6660 W Main Street.
- g) **Public Hearing: Special Use, Emberly Acres II Condominium Expansion**
Prime Homes LLC is seeking Special Use and Site Plan approval to expand the Emberly Acres II Condominium to the West. The proposed expansion will include the extension of Glendora Lane and twenty new condominium units onto the neighboring 5.84 acre vacant parcel.
- h) **Public Hearing: Special Use, Starting Point Preschool**
Center Point Church is seeking Special Use approval to establish a child care center as an accessory use to their existing private preschool.
- i) Public Comment
- j) Other Updates and Business
- k) Adjournment

**Policy for Public Comment
Township Board Regular Meetings, Planning Commission & ZBA Meetings**

All public comment shall be received during one of the following portions of the Agenda of an open meeting:

a. Citizen Comment on Non-Agenda Items or Public Comment – while this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official or staff member to respond at a later date. More complicated questions can be answered during Township business hours through web contact, phone calls, email (oshtemo@oshtemo.org), walk-in visits, or by appointment.

b. After an agenda item is presented by staff and/or an applicant, public comment will be invited. At the close of public comment there will be Board discussion prior to call for a motion. While comments that include questions are important, depending on the nature of the question, whether it can be answered without further research, and the relevance to the agenda item at hand, the questions may not be discussed during the Board deliberation which follows.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name, but it is not required.

All public comment offered during public hearings shall be directed, and relevant, to the item of business on which the public hearing is being conducted. Comment during the Public Comment Non-Agenda Items may be directed to any issue.

All public comment shall be limited to four (4) minutes in duration unless special permission has been granted in advance by the Supervisor or Chairperson of the meeting.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor or Chairperson of the meeting shall terminate any public comment which does not follow these guidelines.

(adopted 5/9/2000)
(revised 5/14/2013)
(revised 1/8/2018)

Questions and concerns are welcome outside of public meetings during Township Office hours through phone calls, stopping in at the front desk, by email, and by appointment. The customer service counter is open from Monday-Thursday 8:00 am- 5:00 pm, and on Friday 8:00 am-1:00 pm. Additionally, questions and concerns are accepted at all hours through the website contact form found at www.oshtemo.org, email, postal service, and voicemail. Staff and elected official contact information is provided below. If you do not have a specific person to contact, please direct your inquiry to oshtemo@oshtemo.org and it will be directed to the appropriate person.

Oshtemo Township Board of Trustees		
<u>Supervisor</u>		
Libby Heiny-Cogswell	216-5220	libbyhc@oshtemo.org
<u>Clerk</u>		
Dusty Farmer	216-5224	dfarmer@oshtemo.org
<u>Treasurer</u>		
Clare Buszka	216-5221	cbuszka@oshtemo.org
<u>Trustees</u>		
Cheri L. Bell	372-2275	cbell@oshtemo.org
Kristin Cole	375-4260	kcole@oshtemo.org
Zak Ford	271-5513	zford@oshtemo.org
Kizzy Bradford	375-4260	kbradford@oshtemo.org

Township Department Information			
<u>Assessor:</u>			
Kristine Biddle	216-5225	assessor@oshtemo.org	
<u>Fire Chief:</u>			
Mark Barnes	375-0487	mbarnes@oshtemo.org	
<u>Ordinance Enf:</u>			
Rick Suwarsky	216-5227	rsuwarsky@oshtemo.org	
<u>Parks Director:</u>			
Karen High	216-5233	khigh@oshtemo.org	
Rental Info	216-5224	oshtemo@oshtemo.org	
<u>Planning Director:</u>			
Iris Lubbert	216-5223	ilubbert@oshtemo.org	
<u>Public Works:</u>			
Marc Elliott	216-5236	melliott@oshtemo.org	

Zoom Instructions for Participants

Before a videoconference:

1. You will need a computer, tablet, or smartphone with a speaker or headphones. You will have the opportunity to check your audio immediately upon joining a meeting.
2. If you are going to make a public comment, please use a microphone or headphones with a microphone to cut down on feedback, if possible.
3. Details, phone numbers, and links to videoconference or conference call are provided below. The details include a link to “**Join via computer**” as well as phone numbers for a conference call option. It will also include the 11-digit Meeting ID.

To join the videoconference:

1. At the start time of the meeting, click on this link to [join via computer](#). You may be instructed to download the Zoom application.
2. You have an opportunity to test your audio at this point by clicking on “Test Computer Audio.” Once you are satisfied that your audio works, click on “Join audio by computer.”

You may also join a meeting without the link by going to [join.zoom.us](#) on any browser and entering this **Meeting ID: 842 0890 1505**

If you are having trouble hearing the meeting or do not have the ability to join using a computer, tablet or smartphone then you can join via conference call by following instructions below.

To join the conference by phone:

1. On your phone, dial the teleconferencing number: **1-929-205-6099**
2. When prompted using your touchtone (DTMF) keypad, enter the Meeting ID number: **842 0890 1505#**

Participant controls in the lower-left corner of the Zoom screen:



Using the icons at the bottom of the Zoom screen, you can (some features will be locked to participants during the meeting):

- Participants – opens a pop-out screen that includes a “Raise Hand” icon that you may use to raise a virtual hand. **This will be used to indicate that you want to make a public comment.**
- Chat – opens pop-up screen that allows participants to post comments during the meeting.

If you are attending the meeting by phone, to use the “Raise Hand” feature **press *9 on your touchtone keypad.**

Public comments will be handled by the “Raise Hand” method as instructed above within Participant Controls.

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**OSHEMO CHARTER TOWNSHIP
PLANNING COMMISSION**

DRAFT MINUTES OF A VIRTUAL MEETING HELD APRIL 8, 2021

Agenda

OLD BUSINESS:

- a. Discussion – Section 57.90 Zoning Ordinance Regarding Nonmotorized**
-

A virtual meeting of the Oshtemo Charter Township Planning Commission was held Thursday, April 8, 2021, commencing at approximately 6:02 p.m.

MEMBERS PRESENT:

Location of Members During Meeting

Bruce VanderWeele, Chair	Oshtemo
Micki Maxwell, Vice Chair	Oshtemo
Deb Everett	Lexington KY
Alistair Smith	Oshtemo
Anna Versalle	Oshtemo
Chetan Vyas	Oshtemo

MEMBER ABSENT:

Kizzy Bradford

Also present were Iris Lubbert, Planning Director, James Porter, Township Attorney, and Martha Coash, Recording Secretary.

There were no guests in attendance.

Call to Order and Pledge of Allegiance

Chairperson VanderWeele called the meeting to order at approximately 6:02 p.m. and invited those in attendance to join in reciting the Pledge of Allegiance.

Approval of Agenda

Hearing no changes, the Chair let the agenda stand as published.

Approval of the Minutes of the Meeting of March 25, 2021

The Chair asked if there were additions, deletions or corrections to the Minutes of the Meeting of March 25, 2021. Hearing none, he requested a motion.

Ms. Maxwell **made a motion** to approve the Minutes of the Meeting of March 25, 2021 as presented. Mr. Vyas **seconded the motion**. The **motion was approved** unanimously by roll call vote.

Chairperson VanderWeele moved to the next agenda item and asked Ms. Lubbert for her presentation.

OLD BUSINESS

a. Discussion Continued – Section 57.90 Zoning Ordinance Regarding Nonmotorized

Ms. Lubbert said as Oshtemo Township continues to grow so do community requests for sidewalk and path connections. Over the years the Township has adopted several policies and ordinances to establish a physical and cultural environment that supports and encourages safe, comfortable, and convenient ways for a diverse population of pedestrians and bicyclists to travel throughout the Township and into the surrounding communities. The most recent of which was through the *Go!Green Oshtemo – 5 Year Parks and Recreation Master Plan*. Part of the plan included an action strategy to continue to require provisions for nonmotorized transportation facilities with site plan reviews. The Ordinance language that continues to implement this action strategy is Section 57.90, language provided below.

“For those uses requiring Site Plan review under this ordinance, an internal sidewalk network (including connection to and establishment of a sidewalk in the right-of-way of any arterial, collector, or local road indicated on the Non-motorized Facilities Map abutting the site) shall be required within public street rights-of-way and/or private street easements unless the reviewing body grants a deviation from this provision. Deviation may be considered if the street is a cul-de-sac, or if there are constraints as the result of severe topography or natural features.” (57.90 Sidewalks)

She said in essence, Section 57.90 does three things: 1) when a site plan is submitted to the Township, any and only the nonmotorized facilities shown on the adopted Nonmotorized Facilities Map, attached, need to be installed as part of the site plan review and approval process, 2) An internal sidewalk network is required within the site itself (including a connection from the proposed development to the adjacent nonmotorized path – if there is one), and 3) the reviewing body can grant a deviation if warranted.

What exactly that deviation can be was not specified in the code. As such, the Township’s reviewing bodies have over the years waived the requirement to install sidewalk with different approaches, most recently by requiring the applicant to sign a Special Assessment District (SAD) agreement. It has also become common practice that if the property in question cannot directly connect to an existing nonmotorized facility a deviation is granted to avoid “sidewalks to nowhere”.

She noted Supervisor Heiny-Cogswell brought this issue to the Township Board who discussed this section of the code and the Township's current sidewalk policies at their March 9th regular meeting. At that meeting the Board agreed that sidewalks should be installed more aggressively in urbanized areas of the Township, the "sidewalks to nowhere" argument is no longer a valid reason for a deviation through SAD agreements in those urbanized areas, and this section of the code needs to be revisited and refined.

The Township's request was presented to the Planning Commission at their regular March 25 meeting. Based on feedback collected Ms. Lubbert drafted a code amendment which she presented (below) for further discussion and feedback to staff on how to proceed. She provided supplemental documents to help inform discussion.

Draft of proposed amendment to Section 57.90 Sidewalks:

For those uses requiring Site Plan review under this ordinance, ~~an internal~~ contribution to the sidewalk network (including connection to and establishment of a sidewalk in the right-of-way of any arterial, collector, or local road indicated on the Non-motorized Facilities Map abutting the site) shall be required within public street rights-of-way and/or private street easements ~~unless the reviewing body grants a deviation from this provision~~. The reviewing body may grant a full or partial deviation from this provision if the location of the use requiring Site Plan review is located outside of the Adjusted Census Urban Boundary (ACUB), as identified by the regional Metropolitan Planning Organization, the Kalamazoo Area Transportation Study (KATS). Deviations for Site Plan reviews located within the ACUB shall only be considered if ~~Deviation may be considered if the street is a cul-de-sac~~. There are constraints as the result of severe topography or natural features.

In addition, Ms. Lubbert indicated the Township Engineer found the section below while going through the Plainfield Charter Township Ordinance for her sidewalk spec research. This could be an interesting alternative to Oshtemo's sidewalk SAD form approach. This or similar language could be incorporated into the next draft of the code regarding when a deviation may be granted and how it could be handled with an aggressive approach. She asked for the group's reaction to the language, which follows:

Section 32-37. – Payments in lieu of required sidewalks or non-motorized trails

(a) Sidewalks and non-motorized trails will e constructed on properties consistent with sections 32-34 through 32-36. However, unique circumstances may exist such that the installation of sidewalks or non-motorized trails in compliance with this article may not be appropriate. Accordingly, a developer or an abutting or adjacent owner may, in lieu of constructing a required sidewalk or non-motorized trail, request that it be permitted to contribute to the township's non-motorized transportation fund upon application as set forth herein. Based on a review of an application, the community development director is authorized to approve a payment in lieu of required sidewalk or non-motorized trail installation, in whole or in part, in the following instances:

- (1) Where it appears, based on a review of township capital improvement plans, master plans, and similar documentation, highly unlikely that the required sidewalk or non-motorized trail will be directly linked with a future extension of the sidewalk or non-motorized trail within ten years.*
- (2) Where a strict application would result in practical difficulties, including but not limited to, severe variations in topography, unsuitable soils, or difficulty in providing safe separation between pedestrian and vehicular traffic due to site location, layout, or existing building arrangements.*
- (3) Where the owner of a residential lot has greater than 150 feet of frontage on a public or private street (such as a corner lot).*

Ms. Lubbart also explained she created a visual of the ACUB overlaid with the non-motorized map and that almost all of the planned paths/sidewalks are within the ACUB already, so referring to the urbanized area in documentation may not be necessary.

There was extended discussion resulting in group consensus that they liked the approach in (a) and (2) from the Plainfield Township Ordinance, that is payment in lieu of installing sidewalks to be used for sidewalks in the future rather than the SAD forms but would replace the phrase “practical difficulty” in (2) with “extraordinary difficulty,” as deviation requests should be discouraged. It is preferred sidewalks be installed as part of development. It was also felt the township’s Master Plan and CIP should be referred to in any ordinance language developed.

Attorney Porter said they could be included in an introductory section that states the ordinance language is consistent with existing plans. Township’s felt the SAD agreements in place and a new approach requiring payment in lieu of sidewalks could both be utilized.

Ms. Lubbart said language could also be included to allow a meandering pathway to save trees or allow for unusual topography.

Attorney Porter said he would support such language which might require an easement from a developer.

Ms. Lubbart said she would develop language to reflect the Commission’s preferences and bring it back for consideration at the second meeting in May.

PUBLIC COMMENT ON NON-AGENDA ITEMS

No members of the public were present.

OTHER UPDATES AND BUSINESS

Ms. Lubbert noted she would be out of town for the Planning Commission meeting of June 10. Ms. High or Mr. Hutson will attend in her place.

ADJOURNMENT

With there being no further business to consider, Chairperson VanderWeele adjourned the meeting at approximately 6:48 p.m.

Minutes prepared:
April 9, 2021

Minutes approved:
_____, 2021

DRAFT

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April 23, 2021

Mtg Date: April 29, 2021

To: Oshtemo Township Planning Commission

From: Iris Lubbert, Planning Director

Applicant: Wayfound, LLC (Biggby Coffee Franchise)

Owner: Meijer Inc and Meijer Stores Limited Partnership

Property: 6660 W Main Street, Parcel numbers 05-14-185-022

Zoning: C: Local Business District

Request: Site Plan and Special Use approval to construct a drive-thru

Section(s): 18: C Local Business District
65: Special Uses

Project Name: Biggby BCubed Drive-thru

PROPOSAL:

Wayfound, LLC, with consent from Meijer Inc and Meijer Stores Limited Partnership, is seeking Special Use and Site Plan approval from the Planning Commission to construct a 349 square foot BCubed drive-thru for Biggby Coffee within the Meijer parking lot located at 6660 W Main Street. The project area under consideration is shown in the map excerpt below.

OVERVIEW:

6660 W Main Street is located on the north side of W Main Street, just east of the N 9th Street intersection. 6660 W Main Street is currently owned by Meijer Corporation. Wayfound LLC's intent is to lease 10,086 square feet of the Meijer parking lot to allow for the construction of a 349 square foot BCubed drive-thru for Biggby Coffee.

The proposed BCubed drive-thru is a standalone modular drive-thru building with a walk up window designed specifically for the Biggby Coffee brand with no indoor seating. It is a capital investment, first implemented in 2018, that is movable and expandable as the



structure comes pre-plumbed and pre-wired. There are several installations of the BCubed drive-thru in Michigan already: Alpena, Stevensville, and Swartz Creek. This modular drive-thru design is unique as it is both permanent and temporary in nature. The Township Ordinance currently does not address these types of facilities. As there is no definitive time frame proposed and the project could remain onsite indefinitely, the request is being reviewed as a permanent structure through the standard site plan review process.

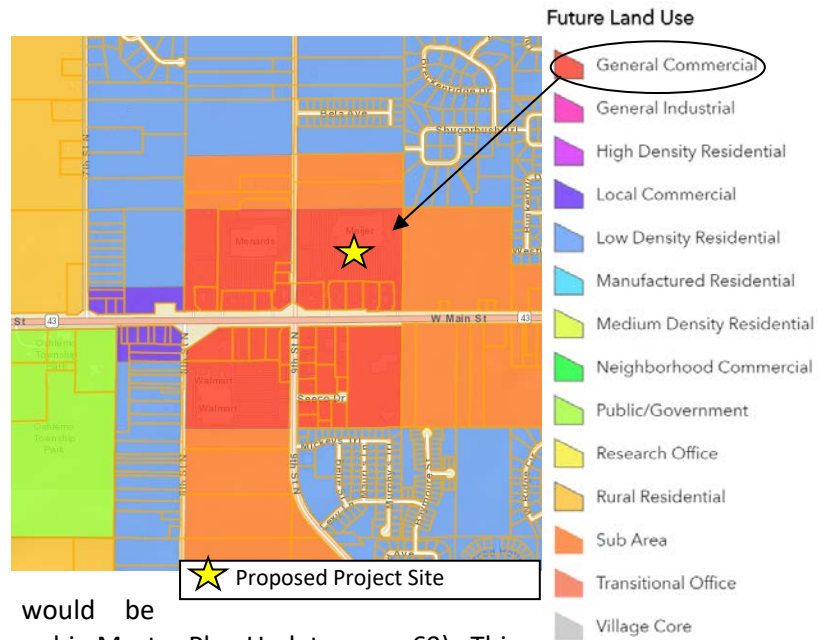
ANALYSIS:

The entirety of the property in question is zoned C, Local Business District. Uses permitted in the C zoning district are outlined in Article 18 of the Township’s Zoning Code. Restaurants are a Permitted Use within this district. Drive-in service windows or drive-through services for businesses are identified as Special Uses within this section. New construction of a Special Use requires the review and approval of the Planning Commission (Section 64.20). When reviewing a Special Use there are two sets of criteria that need to be considered: the general Special Use review criteria outlined in Section 65.30 and the specific requirements for the use in question outlined under Section 49.70. In this case, Section 49.70 does not apply as the code does not contain any specific requirements for this use. Below is an analysis of the proposal against Section 65.30.

Section 65.30: Special Use Review Criteria

A. Master Plan/Zoning Ordinance: The proposed use will be consistent with the purpose and intent of the Master Plan and Zoning Ordinance, including the District in which the use is located.

Oshtemo’s adopted Future Land Use map shows the property in question within a General Commercial area, see map excerpt to the right. The intent for the General Commercial area is to “serve both the residents of the community as well as the regional market and transient customers. Uses like big box retail, shopping centers, and auto-oriented uses would be permitted in this district” (Oshtemo Township Master Plan Update, page 69). This area is intended for high density development. The proposed drive-thru for Biggby Coffee (a restaurant) meets this intent.



From a zoning standpoint, the subject property is classified as C, Local Business District, within which drive-in service windows or drive-through services for businesses are permissible with Special Use approval from the Planning Commission. The proposed use is consistent with the Townships adopted Zoning Ordinance.

B. Site Plan Review: The Site Plan Review Criteria of Section 64

A site plan has been provided. See evaluation under Section 64: Site Plan Review.

C. Impacts:

- 1. The proposed use would be compatible, harmonious and appropriate with the existing or planned character and uses of adjacent properties; meaning the proposed use can coexist with neighboring uses in a stable fashion over time such that no neighboring use is unduly negatively impacted.**

Other uses in the surrounding C zoning district include: Meijer, Arby's, AutoZone Auto Parts, Belle Tire, McDonalds, Pizza Hut, and Menards. A number of drive-in service windows or drive-through services for businesses are already established in the area; the neighboring Arby's drive-through being the closest example. With this use already existing in the area and with it being consistent with the intent of both the Master Plan and the Zoning Ordinance, the proposed use will not negatively affect neighboring uses.

- 2. Potentially adverse effects arising from the proposed use on adjacent properties would be minimized through the provision of adequate parking, the placement of buildings, structures, and entrances, as well as the location of screening, fencing, landscaping, buffers, or setbacks.**

Staff does not foresee a significant impact of the proposed use on neighboring properties. The proposed site plan does not propose any new access connection points, provides the required parking, exceeds minimum setbacks, and the proposed drive-thru lane will be separated from the adjacent general circulation.

It could be argued that this use utilizes an underused portion of this development, which if constructed would positively impact the overall area. The site in question is currently a portion of Meijer's parking lot which rarely sees use. Meijer will be giving up 43 stalls to the proposed Biggby lease site. Based on Meijer's approved site plan 1,255 parking spaces are needed to support it. The site currently has 1,342 stalls (not including the 114 stalls that were recently approved to be split off to support the construction of a new Jiffy Lube) – 107% of the minimum parking space requirement. To minimize excessive areas of pavement which detract from the aesthetics of an area and contribute to high rates of storm water runoff, Oshtemo's off street parking code only allows parking lots to have parking spaces totaling no more than 110% of the minimum parking space requirements, unless otherwise approved by the reviewing body (Section 52.50 (H)). This proposal would bring Meijer's parking count to 1,299 stalls (103% of the minimum parking space requirement); decreasing Meijer's excess parking and improving on the aesthetics of the area.

- 3. The proposed use would not be detrimental, hazardous, or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, smoke, odors, glare, or visual clutter.**

Given the nature of the West Main Street corridor staff anticipates that the proposed addition of a drive-thru to 6660 W Main Street will have no such negative impacts on adjacent properties. The subject use is very much in accordance with its character and adaptability.

- D. Environment: The natural features of the subject property shall only be cleared or altered to the extent necessary to accommodate site design elements, particularly where the natural features assist in preserving the general character of the area.**

The proposed project area is already paved, and no natural features will be disturbed as a part of these modifications.

E. Public Facilities: Adequate public and/or private infrastructure and services already exist or would be provided, and will safeguard the health, safety, and general welfare of the public.

This property is already adequately served by public utilities and the proposed site change would add little to no burden to the system.

F. Specific Use Requirements: The Special Use development requirements of Article 49.

Article 49 of the Zoning Ordinance dictates no specific considerations for drive-in service windows or drive-through services for businesses.

Section 64: Site Plan Review

General Zoning Compliance:

Zoning: 6660 W Main Street is zoned C, Local Business District. All properties surrounding this proposed new lease site are also within the C District. The proposed drive-thru is permitted as a Special Use within this district.

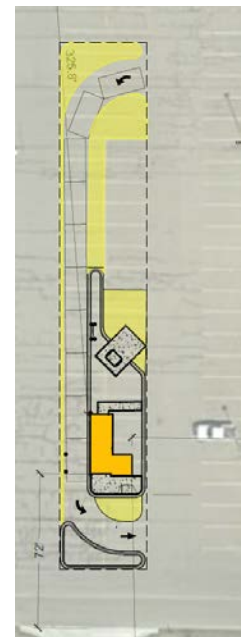
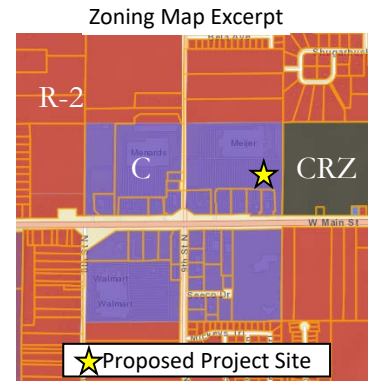
Lot Dimensions: Parcels within the C, Zoning District require a minimum area of 50,000 square feet and frontage of 200 feet (Section 50.10 (A)). The Meijer parcel, that this use will share, has over 800 feet of frontage along N 9th Street and an area of over 1,000,000 square feet.

Setbacks: The proposed drive-thru is placed 72 feet from southern property line and over 200 feet from the eastern property line. The proposed location well exceeds the minimum setback requirements for this district.

Access and Circulation

Access: The proposed lease space for the drive-thru has no frontage and will be accessed from the existing shared access drive currently utilized by Meijer and the other commercial properties in this development along with the existing Meijer parking lot aisles. To accomplish this, the applicant will enter into any necessary cross access easement agreements. The proposed drive-through aisle wraps around the east and south side of the structure. The one-way drive-through feature is designed to accommodate at least seven stacked vehicles—the Zoning Ordinance requires room for five—and the lane will be separated from the adjacent access drive by a raised landscape island. The proposed plan will primarily use striping, see highlighted yellow areas in the image to the right, to delineate the drive thru aisle. Both the Township’s Engineering and Fire department are comfortable with the proposed design.

Parking: Per code, restaurants require one parking space for every 70 feet of net floor area plus one for each employee on the largest shift. The proposed building is 349 square feet and is



designed to accommodate two employees per shift (requiring 7 parking spaces). The proposed site plan has 7 parking spaces.

Sidewalk: Not applicable. Meijer is currently working to install the sidewalk on N 9th Street shown on the nonmotorized plan through another project. There is also no interior sidewalk system to safely connect to.

Building Design

The exterior of the proposed BCubed drive-thru includes a grey concrete dryvit that has a stucco look and orange Fascia, see image to the right. A clean and attractive design.



Dumpster

A dumpster is proposed on the north side of the building with a 6 foot high, wood fence trash enclosure. The location and design meet code standards.

Landscaping

The proposed site plan includes the installation of one shade tree, and a mixture of new lawn area and 3" thick hardwood bark mulch. In general, the proposed landscaping plan meets the intent of the landscape ordinance and will improve the appearance of the site. All requirements appear to be met other than: 53.30 C. Site coverage – "Developed portions of the site not devoted to building floor area, parking, access ways or pedestrian use shall be appropriately landscaped with live plant material and maintained in a neat and orderly manner. Developed portions of the site shall mean the physical extension and/or construction of any man-made change or alteration to an improved or unimproved property". As noted under the Access and Circulation section of this report the proposed plan primarily uses striping to delineate the drive-thru aisle. Per section 53.30 C. these areas should be landscaped.

The applicant is requesting a deviation from Section 53.30 C. The following rational was provided in the letter of intent:

1. "As this is a leased space, it is expected that the landscaping requirement would apply to the existing property in its entirety, not the leased space.
2. The plan neither adds paved area to nor does it remove any existing landscaping from the site.
3. The existing improved areas of the site will be minimally changed or altered for the duration of the lease.
4. The originally approved ratios of parking area to landscape will not change. It is not expected that greenery installed in a parking lot will have success of survival. However, we love the idea of having a Red Maple planted in a manner that mimics the other small shade trees on the south end of the parking lot."

This is the first site plan of this nature to be presented to the Planning Commission for review. There are a number of unique factors that warrant consideration. The Commission will need to decide if the requested deviation is appropriate.

Photometric Plan

A photometric plan has been provided and meets code standards overall. However, LED wall light packs are proposed to be used to illuminate the building, see image to the right. Per section 54.60 of the Ordinance all luminaires are required to be cut-off fixtures. The proposed LED Wall light pack does not meet this requirement.



Signage

Three walls signs are proposed each on different sides of the building. Proposed signage meets code standards.

Engineering

Prein & Newhof, the Township's civil engineering agent, has reviewed the project site plan. All onsite concerns have been addressed.

Fire Department

The Township Fire Marshal has reviewed the project site plan. All onsite concerns have been addressed with that note that the BCubed drive-thru should not have a shared address with Meijer.

RECOMMENDATION:

Staff recommends that the Planning Commission approve the proposed Special Use and Site Plan for the construction of a BCubed drive-thru within the 6660 W Main Street parking lot, with the conditions outlined below.

1. Approval of the requested landscaping deviation from 53.30 C. allowing the applicant to keep the striping shown on their plan.
2. An updated lighting plan, with cut off fixtures, shall be provided to staff for administrative review prior to building permit issuance.
3. An individual address shall be required for this lease area prior to building permit issuance.

Attachments: Application, Letter of Intent and Deviation Request, Site Plan, Photometric Plan



7275 W. Main Street, Kalamazoo, Michigan 49009-9334
Phone: 269-216-5223 Fax: 269-375-7180

PLEASE PRINT

PROJECT NAME & ADDRESS Biggby BCubed 6660 W Main St. Kalamazoo MI 49009

PLANNING & ZONING APPLICATION

Applicant Name : Matthew Lemmer
Company Wayfound, LLC
(Biggby Coffee Franchise)
Address 32650 Cabernet
Paw Paw, MI 49079
E-mail mlemmer@biggby.com
Telephone 269-599-8488 Fax _____
Interest in Property Licensee

THIS
SPACE
FOR
TOWNSHIP
USE
ONLY

Fee Amount _____
Escrow Amount _____

OWNER*:

Name Meijer, Inc. and
Meijer Stores Limited Partnership
Address 2929 Walker Avenue, N.W.
Grand Rapids MI 49544
Email matt.levitt@meijer.com
Phone & Fax 616-791-3909

NATURE OF THE REQUEST: (Please check the appropriate item(s))

- Planning Escrow-1042
- Site Plan Review-1088
- Administrative Site Plan Review-1086
- Special Exception Use-1085
- Zoning Variance-1092
- Site Condominium-1084
- Accessory Building Review-1083
- Land Division-1090
- Subdivision Plat Review-1089
- Rezoning-1091
- Interpretation-1082
- Text Amendment-1081
- Sign Deviation-1080
- Other: _____

BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary): _____

Please see included narrative.

LEGAL DESCRIPTION OF PROPERTY (Use Attachments if Necessary):

Please see attached drawing package and narrative.

PARCEL NUMBER: 3905- 14-185-022

ADDRESS OF PROPERTY: 6660 W Main St. Kalamazoo MI 49009

PRESENT USE OF THE PROPERTY: Parking for Meijer store.

PRESENT ZONING C-Local Business **SIZE OF PROPERTY** Using approx. 10,422 SF

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS
HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)

Address(es)

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshtemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.

Owner's Signature(* If different from Applicant)

Date

Matthew

09/29/20

Applicant's Signature

Date

- Copies to:
- Planning -1
- Applicant -1
- Clerk -1
- Deputy Clerk -1
- Attorney-1
- Assessor -1
- Planning Secretary - Original

PLEASE ATTACH ALL REQUIRED DOCUMENTS

LEGAL DESCRIPTION OF PROPERTY *(Use Attachments if Necessary):*

Please see attached drawing package and narrative.

PARCEL NUMBER: 3905- 14-185-022

ADDRESS OF PROPERTY: 6660 W Main St. Kalamazoo MI 49009

PRESENT USE OF THE PROPERTY: Parking for Meijer store.

PRESENT ZONING C-Local Business **SIZE OF PROPERTY** Using approx. 10,422 SF

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS
HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)

Address(es)

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshtemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.



September 29, 2020

Owner's Signature (* If different from Applicant)

Date

Applicant's Signature

Date

- Copies to:
- Planning -1
- Applicant -1
- Clerk -1
- Deputy Clerk -1
- Attorney-1
- Assessor -1
- Planning Secretary - Original

PLEASE ATTACH ALL REQUIRED DOCUMENTS

This page has been intentionally left blank for printing purposes.

BIGGBY COFFEE

March 4, 2021

Iris Lubbert, AICP
Planning Director
Oshtemo Charter Township
7275 W. Main Street
Kalamazoo MI 49009

Dear Ms. Lubbert,

Please accept this letter of intent supporting the redesigned site plan for the drive thru Biggby Coffee store I hope to open soon in the parking lot of the Meijer at 6660 W. Main St. Kalamazoo, MI 49009.

First, I must thank you and the staff at Oshtemo Charter Township for providing us guidance and direction for this new concept I am anxious to bring to our community.

BCubed for BIGGBY® COFFEE is a superior quality, standalone, sectional drive-thru building designed specifically for the BIGGBY® COFFEE brand. Anchored to caisson foundation piers which are embedded into the soil below frost level, it is built to the same standards as an on-site constructed structure. BCubed Manufacturing's buildings come pre-plumbed and pre-wired and furnished with the appliances and small wares to produce BIGGBY® COFFEE specialty beverages and bagel sandwiches.

I am a franchise owner. My company, Wayfound LLC proposes to lease approximately 10,086 SF of the subject property for a BIGGBY® COFFEE Drive-Thru. There is no indoor seating proposed in this plan. The site is zoned C – Local Business District. Restaurants are permitted in this district by right. The building orientation is designed with traffic flow and safety in mind per the interest of the property owner.

The site plan provided is a redesign based on input from township staff, Meijer and BCubed Manufacturing. It is my expectation you will find this proposal to meet your zoning requirements and provide an amenity for our community that is in high demand. The one exception is landscaping requirements. My coffee shop will be installed in an existing parking lot. This concept is particularly well suited to put excess parking space to use. There are several installations in Michigan already: Alpena, Stevensville and Swartz Creek.

The site plan design intentionally makes practical use of the existing hardscape and limits landscaping. Our engineers have advised the following for your consideration.

1. As this is a leased space, it is expected that the landscaping requirement would apply to the existing property in its entirety, not the leased space.
2. The plan neither adds paved area to nor does it remove any existing landscaping from the site.
3. The existing improved areas of the site will be minimally changed or altered for the duration of the lease.
4. The originally approved ratios of parking area to landscape will not change.
5. It is not expected that greenery installed in a parking lot will have success of survival. However, we love the idea of having a Red Maple planted in a manner that mimics the other small shade trees on the south end of the parking lot.

I respectfully request a deviation from the landscape requirements for the above stated reasons.

I appreciate your review and approval of this project. I am anxious to get this building installed and operational so I can serve up Biggby Coffee to the community.

Sincerely,

A handwritten signature in black ink, appearing to read "Matthew Lemmer", with a long horizontal flourish extending to the right.

Matthew Lemmer
Biggby Coffee Franchisee
Store 551 Oshtemo Twp, MI (W Main)

BCubed Drive-thru for BIGGBY® COFFEE

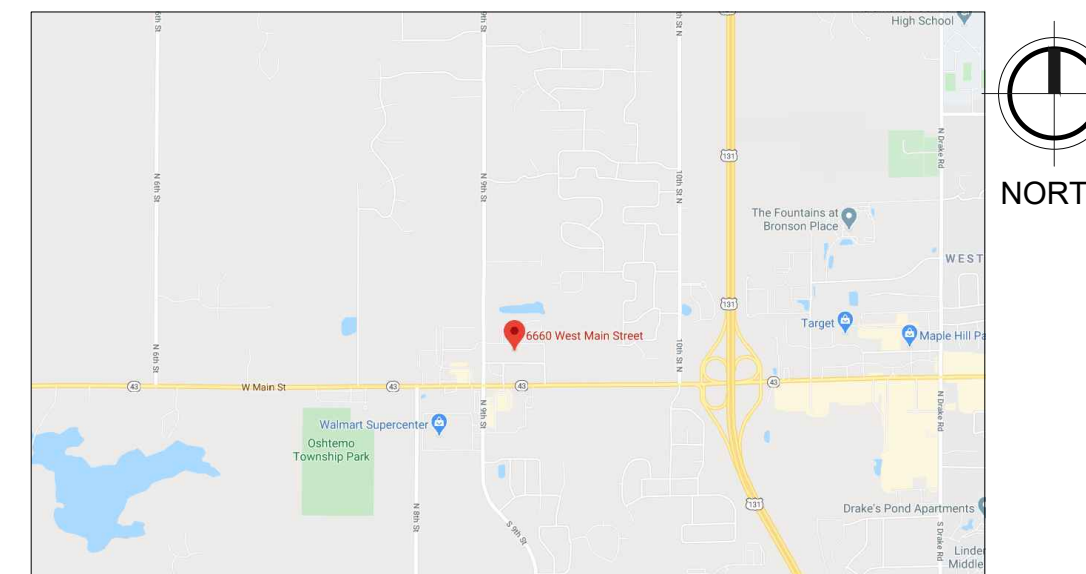
6660 W. Main St
Kalamazoo, MI

NOT FOR CONSTRUCTION

PROJECT DESCRIPTION:

Installation of a BIGGBY® BCubed Modular drive-thru building on leased space as shown for walk-up and drive-thru business only.

LOCATION



Sheet List	
Sheet Number	Sheet Name
C100	Cover Sheet
C101	Site Plan
C102	Site Plan - Overall
C103	Site Utility Plan
C104	Site Grading Plan
C105	Detail Sheet
G-001	Architectural Overview
G-002	Plumbing Overview
S-001	Structural Details

Owner / Developer
Wayfound, LLC
Matthew Lemmer
mlemmer@biggby.com
269-599-8488
32650 Cabernet
Paw Paw MI 49079

Property Owner
Meijer Inc.
2929 WALKER AVENUE NW
GRAND RAPIDS, MI 49544

NOTES:

For full architectural and structural details, please reference building construction plans.

Property Information

Address: 6660 W. Main St.
Kalamazoo MI 49009
Parcel #: 05-14-185-022
Owner: Meijer Inc.

Legal Description:

SEC 14-2-12 COMM AT CENTER 1/4 POST TH N01DEG03'51"E 69.55' ALG N & S 1/4 LI TO POB; TH N89DEB52'53"W ALG NLY ROW OF M-43 HSY 115.96' TH N01DEG28'44"W 55.5' TH S89DEG52'52"E 25' TH N01DEG28'44"W 260.90' TH NLY 58.76' ALG A CURVETO LEFT WI A RAD OF 38.50' AND CH BEARING N45DEG12'05"W 53.22' TH N88DEG55'26"W 702.36' TH SWLY 76.33' ALG A CURVE TO LEFT WI A RAD 48.5' AND CH BEARING S45DEG57'45"W 68.73' TH S00DEG50'55"W 126.24' TH S12DEG16'20"E 48.98' TH S00DEG46'46"W 118.5' TO NLY ROW OF M-43 HWY TH N89DEG52'52"W ALG SD ROW 70.16' TH N01DEG02'55"E 330' TH N89DEG52'52"W 370' TO W LI E1/2 NW1/4 TH N01DEG02'55"E ALG SD W LI 1219.22' TH S90DEG 1322.70' PAR WI E & W 1/4 LI TO N & S 1/4 LI TH S01DEG03'51"W THEREON 1576.98' TO BEG ***12/05 COMBINE 14-185-021, 027, & 030 AND SPLIT INTO 14-185-022, 14-185-031, 14-185-033, 14-185-036, 14-185-039***

Fire & Building Code:

Construction Type: VB
Occupancy Type: B
Occupant Load: 4
Number of Stories: 1

Zoning Information

District: C - Local Business District
Setbacks: 25' from all street ROW, 20' interior setback

Site Coverage

Lease Area: 10,086 SF
Building: 349 SF (<30% Req, 3% Provided)
Pavement: 8,877 SF (No new pavement added)
Landscaping: 1,056 SF (10% Provided, 10% Required)

Parking Count

Current Spaces: 1,287 ea
Spaces Impacted: 43 ea
Final Spaces: 1,244 ea



Know what's below.
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2560 Lucerne Drive SE
Grand Rapids, MI 49546
P: 616.977.1000
F: 616.977.1005



666 McKinley Ave.
Alpena, MI 49707
(877) 422-8233

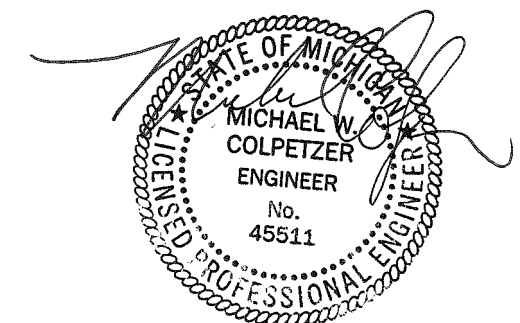
REVISION:

BCubed Drive-thru for BIGGBY® COFFEE
6660 W. MAIN ST, KALAMAZOO, MI

COVER SHEET

DESIGN TEAM: PROJ MGR: BTE
DESIGNED BY: MWC
DRAWN BY: SCL
CHECK BY:

DRAWING INFORMATION:
Oshkimo C0
021921 nobi



NOT FOR CONSTRUCTION

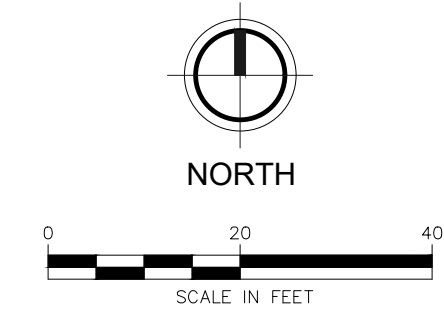
FEBRUARY, 2021

F&V PROJECT NO.
846200

C100

U:\Proj\846200-847000\846200_Busched - Drive Thru Coffee.mxd - Drive Thru Coffee.mxd - 3/27/2021 5:48 PM

3D View
This representation is conceptual in nature and subject to adjustments pending further verification and Client, Tenant, and Government Agency approval. No warranties or guarantees are given or implied.



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666 McKinley Ave.
Alpena, MI 49707
(877) 422-8233

REVISION:

BCubed Drive-thru for BIGGBY® COFFEE
6660 W. MAIN ST., KALAMAZOO, MI

SITE PLAN

DESIGN TEAM: PROJ MGR: BS
DESIGNED BY: MWC
DRAWN BY: RCL
CHECK BY:

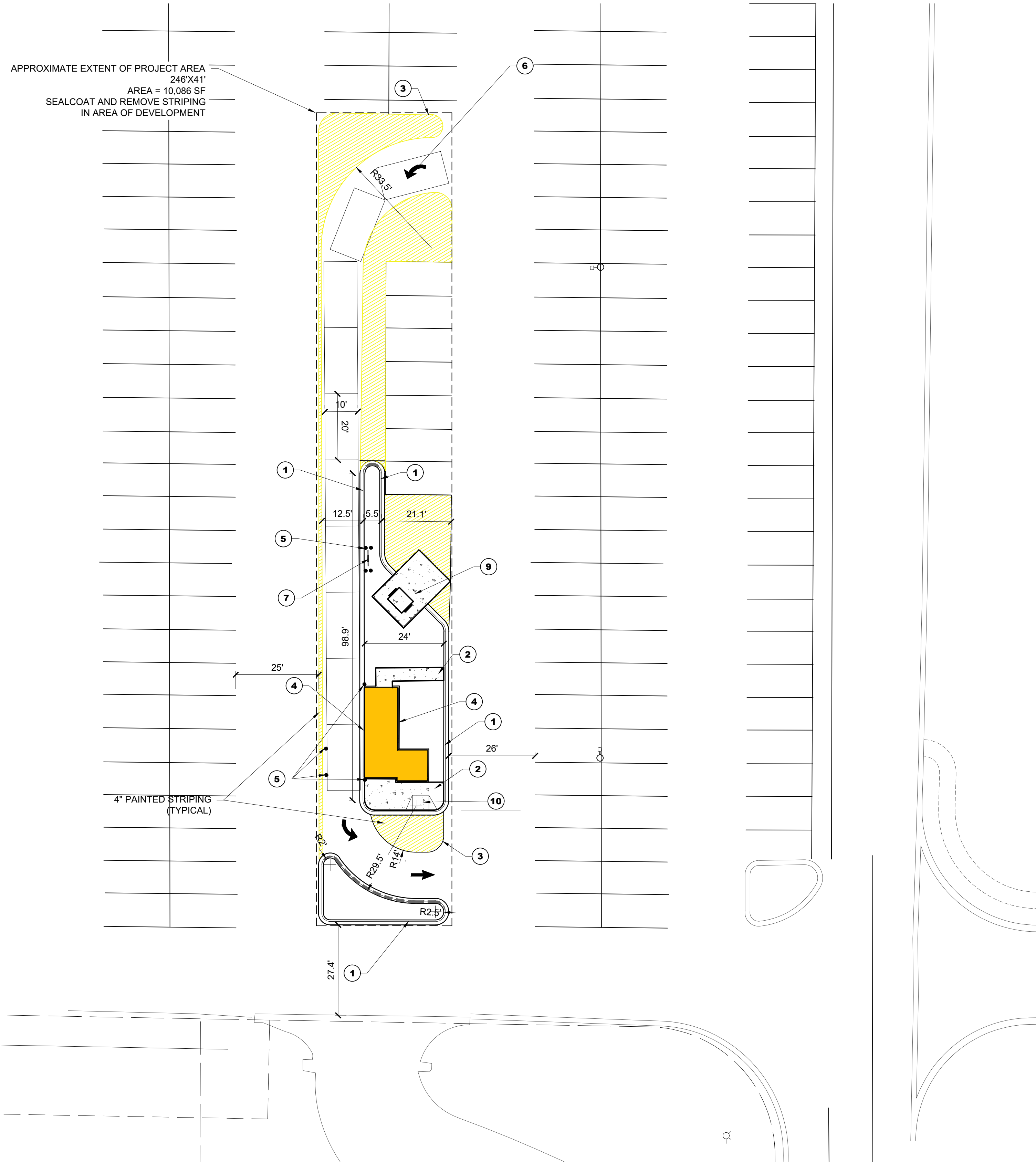
DRAWING INFORMATION:
Cshirmo C101
033121 michaelc

NOT FOR CONSTRUCTION

FEBRUARY, 2021

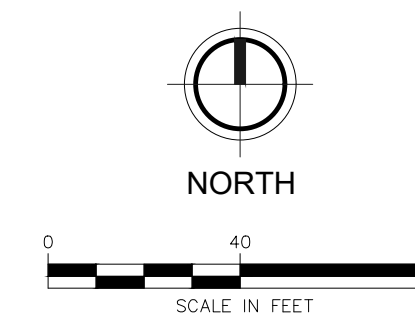
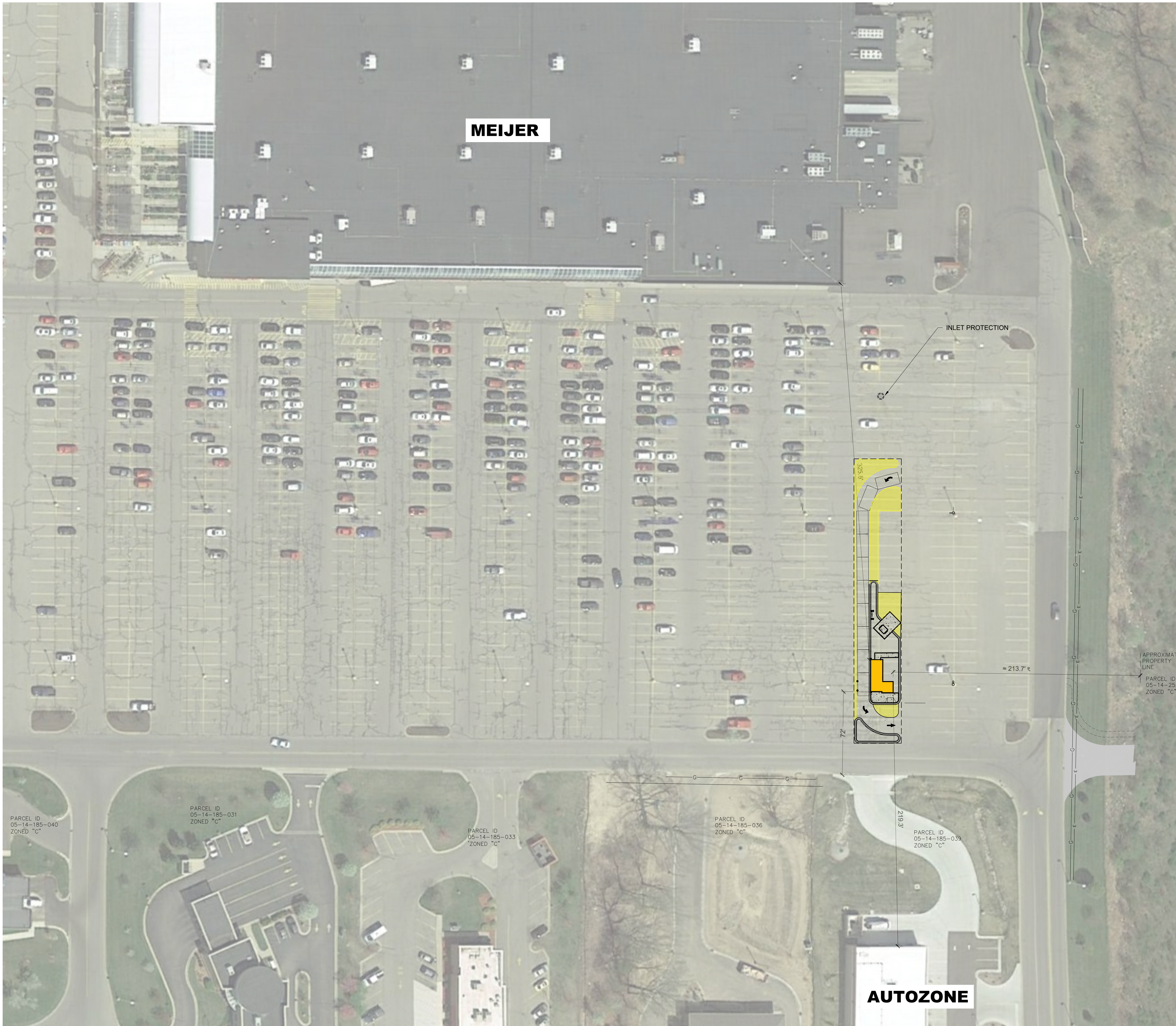
F&V PROJECT NO.
846200

C101



NOTES

- ① CONCRETE CURB & GUTTER
- ② CONCRETE SIDEWALK PER DETAIL C105
- ③ 4" WIDE PAINTED LINE PER MUTCD (YELLOW)
- ④ CONCRETE BUILDING CURB
- ⑤ BOLLARD SEE DETAIL SHEET C105
- ⑥ PAINTED DIRECTIONAL ARROWS PER MUTCD
- ⑦ DRIVE-THRU MENU BOARD
- ⑧ LEASE AREA
- ⑨ TRASH ENCLOSURE SEE DETAIL SHEET C105
- ⑩ ADA RAMP



811
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Grand Rapids, MI 49546
P: 616.877.1000
F: 616.877.1005

BCUBED
MANUFACTURING

666 McKinley Ave.
Alpena, MI 49707
(877) 422-8233

REVISION:

BCubed Drive-thru for BIGGBY® COFFEE
6660 W. MAIN ST., KALAMAZOO, MI
SITE PLAN OVERALL

DESIGN TEAM: PROJ MGR: BS
DESIGNED BY: MWC
DRAWN BY: RCL
CHECK BY:

DRAWING INFORMATION:
Oshemo C102
033121 michaelc

NOT FOR CONSTRUCTION

FEBRUARY, 2021
FAV PROJECT NO.
846200

C102

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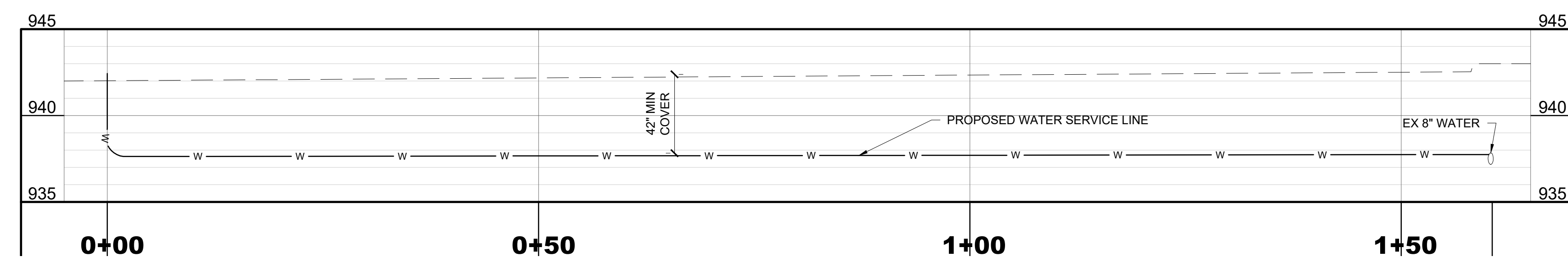
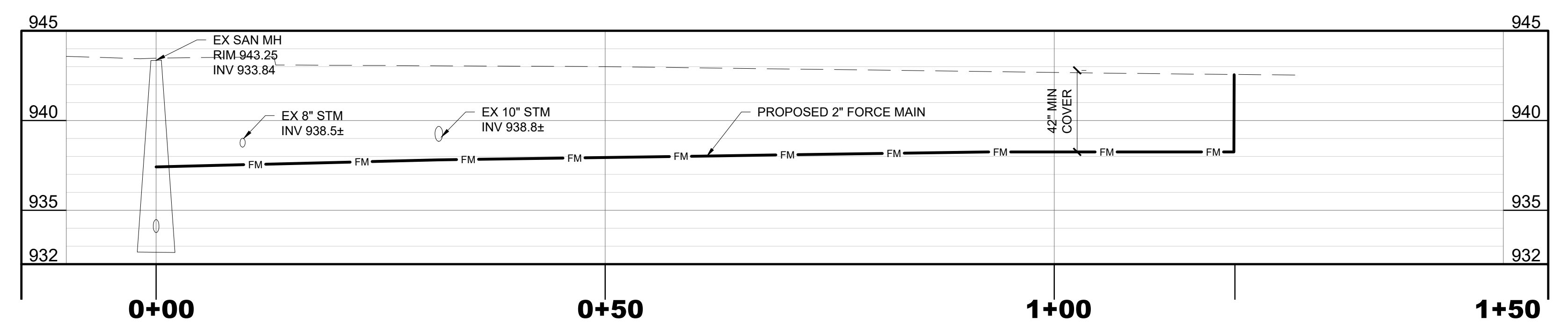
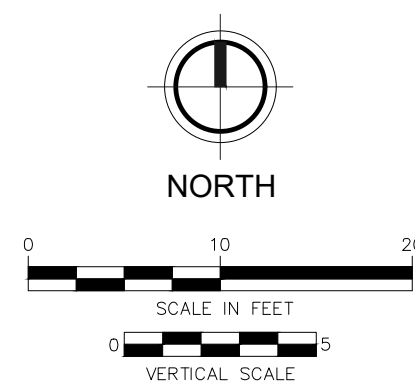
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2960 Lucerne Drive SE
Grand Rapids, MI 49546
P: 616.977-1000
F: 616.977-1005

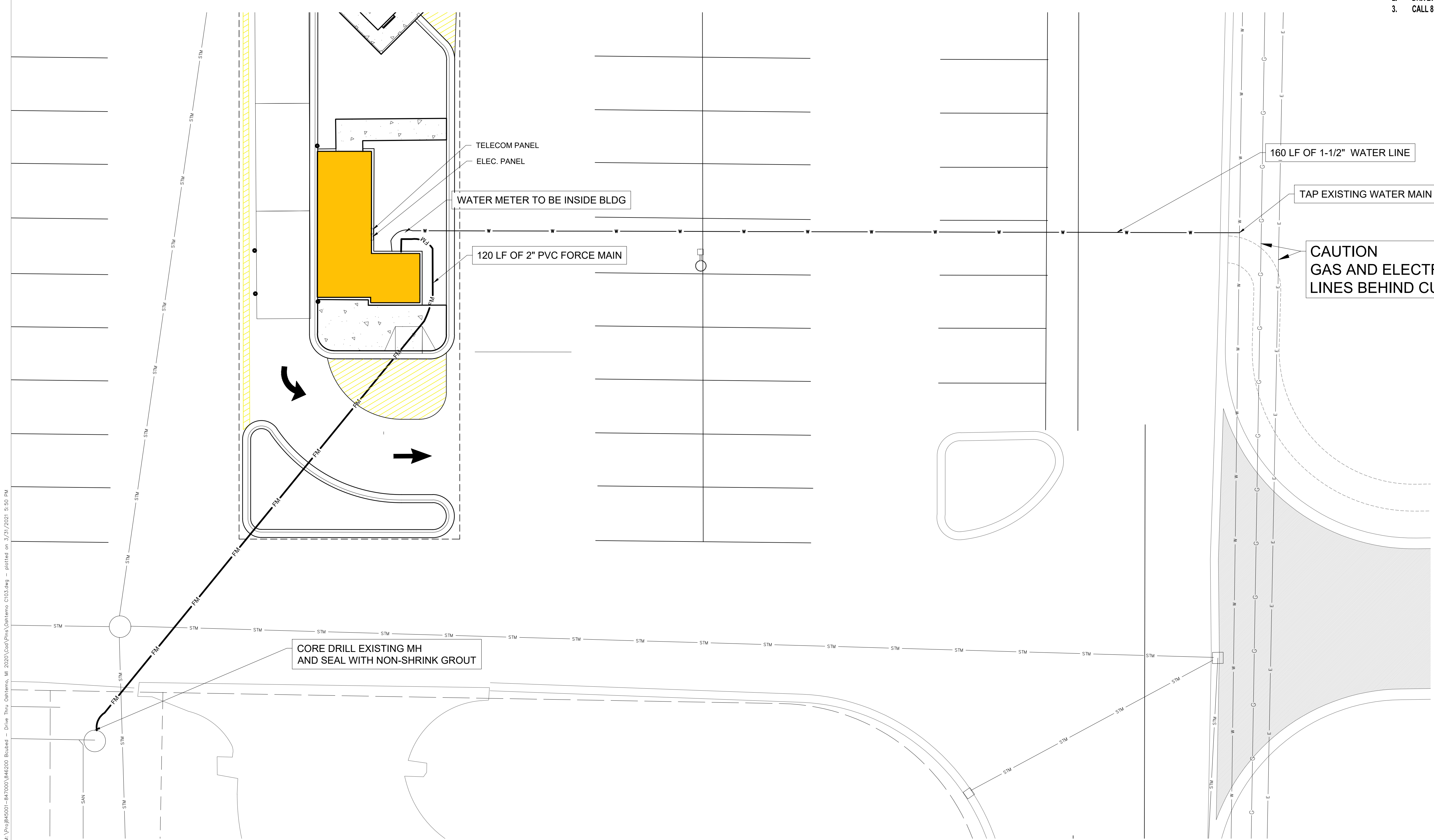


666 McKinley Ave.
Alpena, MI 49707
(877) 422-8233



GENERAL NOTES

1. UTILITIES SHALL BE EXTENDED UNDER DRIVE USING TRENCHLESS METHODS
2. DRIVEWAY SHALL REMAIN OPEN AT ALL TIMES.
3. CALL 811 AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION.



REVISION:

BCubed Drive-thru for BIGGBY® COFFEE
6660 W. MAIN ST., KALAMAZOO, MI

SITE UTILITY PLANS

DESIGN TEAM: PROJ MGR: BJS
DESIGNED BY: MWC
DRAWN BY: RCL
CHECK BY:

DRAWING INFORMATION:
Cshemo C103
033121 michelic

NOT FOR CONSTRUCTION

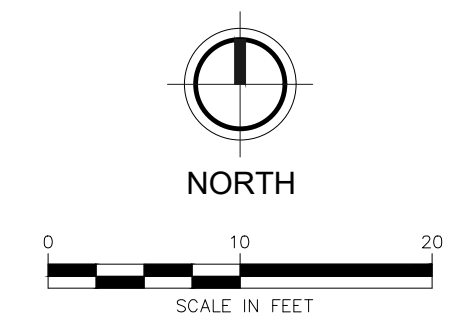
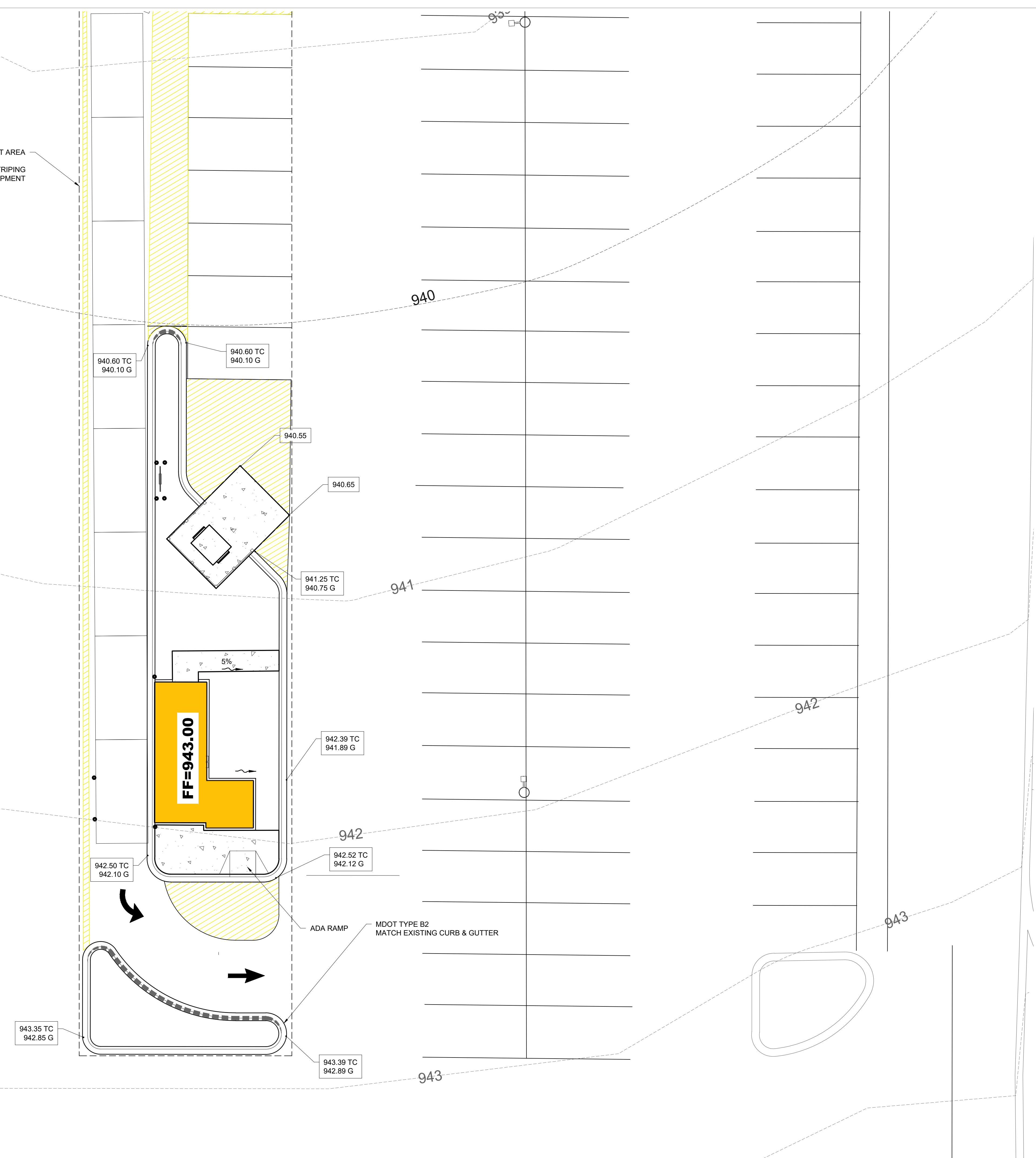
FEBRUARY, 2021
FAV PROJECT NO.
846200

C103

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M:\Projects\846200-847000\C104\Drawings\Site\Grading\Grading - 0104.dwg - plotted on 3/7/2021 5:50 PM

EXTENT OF PROJECT AREA
SEALCOAT AND REMOVE STRIPING
IN AREA OF DEVELOPMENT



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Grand Rapids, MI 49546
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F: 616.877.1005

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MANUFACTURING

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Alpena, MI 49707
(877) 422-8233

LEGEND
--- REVERSE PAN CURB AND TAPER
###.## TC
###.## TW
###.## G
SPOT GRADE:
TC = TOP OF CURB
TW = TOP OF WALK
G = GUTTER

GRADE NOTE
ELEVATIONS DERIVED FROM PROVIDED
SITE DRAWINGS. CONTRACTOR TO FIELD
VERIFY EXISTING CONDITIONS

REVISION:

BCubed Drive-thru for BIGGBY® COFFEE
6660 W. MAIN ST, KALAMAZOO, MI
SITE GRADING PLAN

DESIGN TEAM: PROJ MGR: BS
DESIGNED BY: MWC
DRAWN BY: RCL
CHECK BY:

DRAWING INFORMATION:
Cshlemo C104
033121 michaelc

NOT FOR CONSTRUCTION

FEBRUARY, 2021
FAV PROJECT NO.
846200

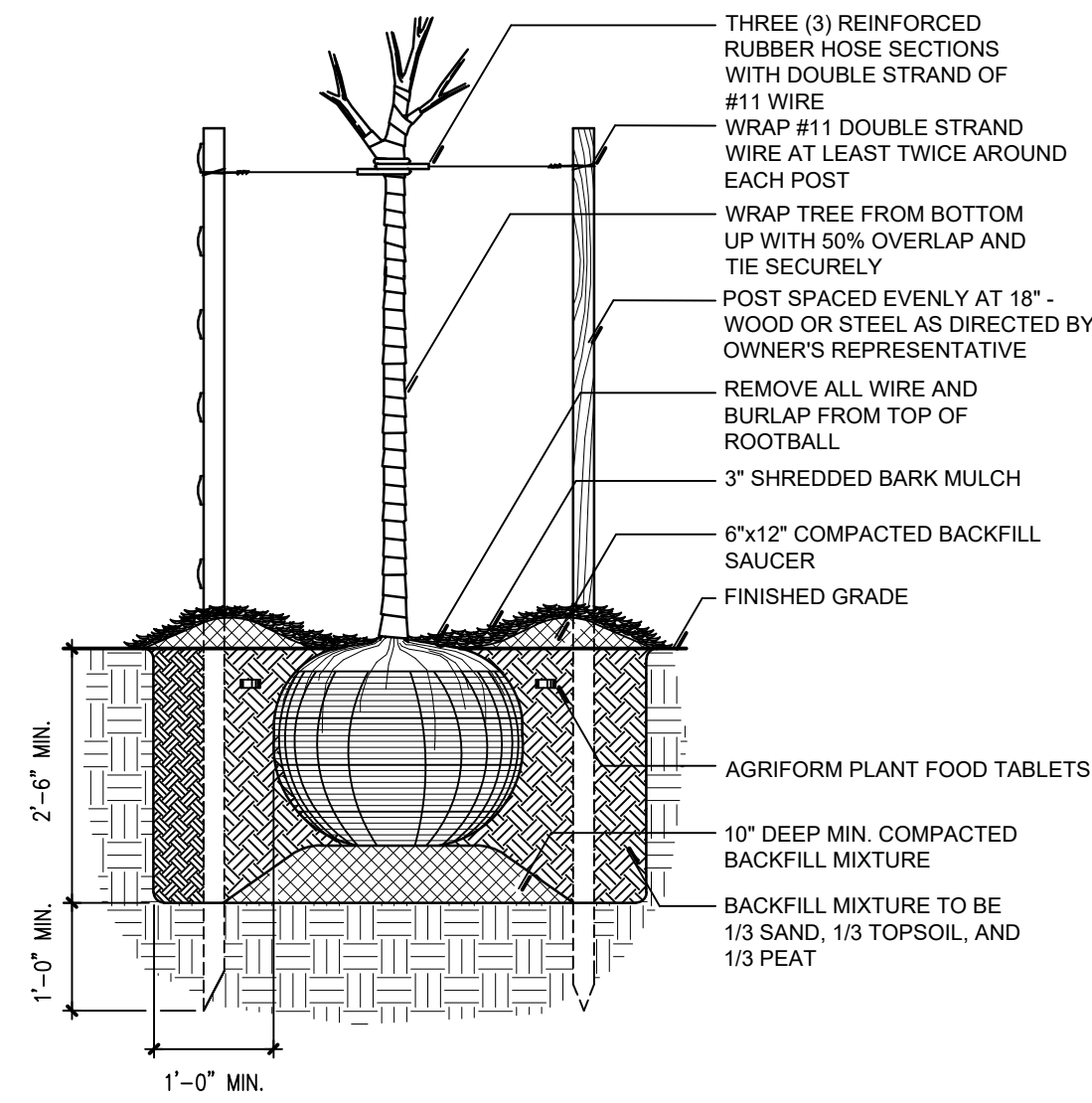
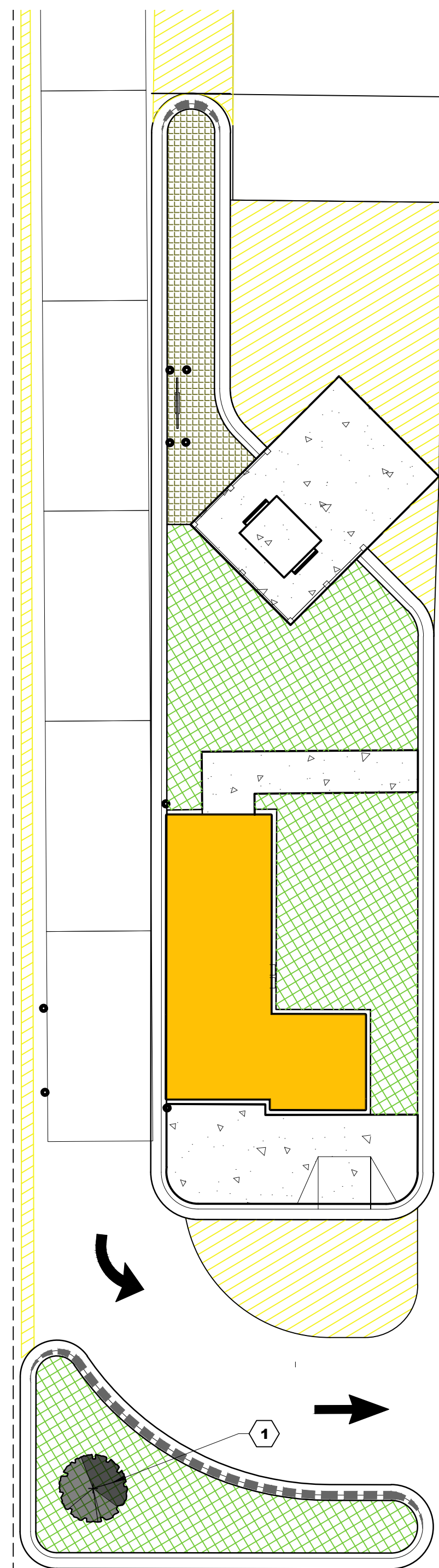
C104

PLANT MATERIAL LIST

SHADE TREES

QTY	KEY	BOTANICAL NAME COMMON NAME	MIN. REQ'D SIZE	COMMENTS
1	AR	<i>Acer rubrum</i> 'October Glory' Red Maple	Min. 2 1/2" Cal.	BALLED & BURLAPPED

1



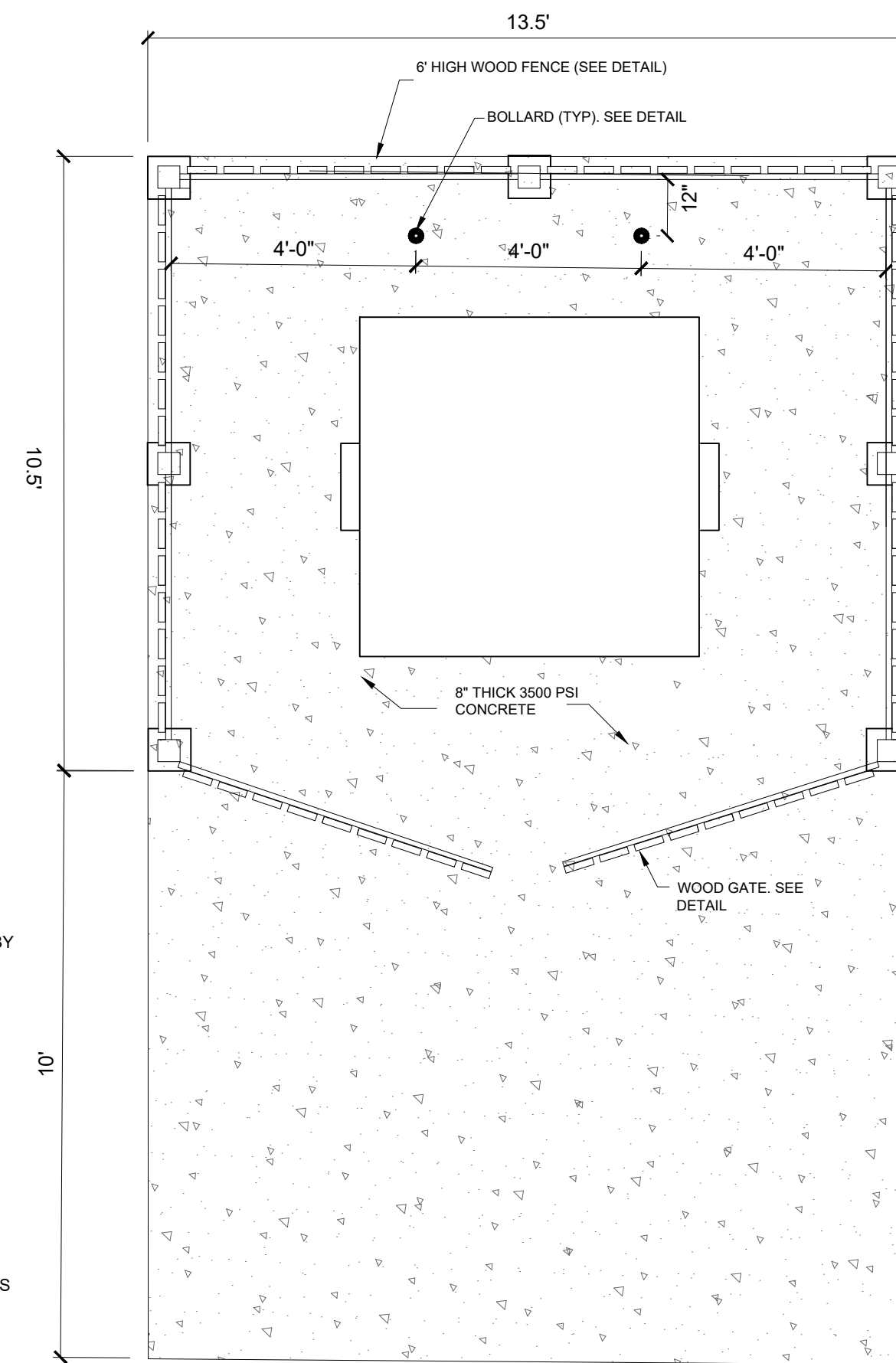
TREE PLANTING DETAIL
NOT TO SCALE

PLANTING NOTES

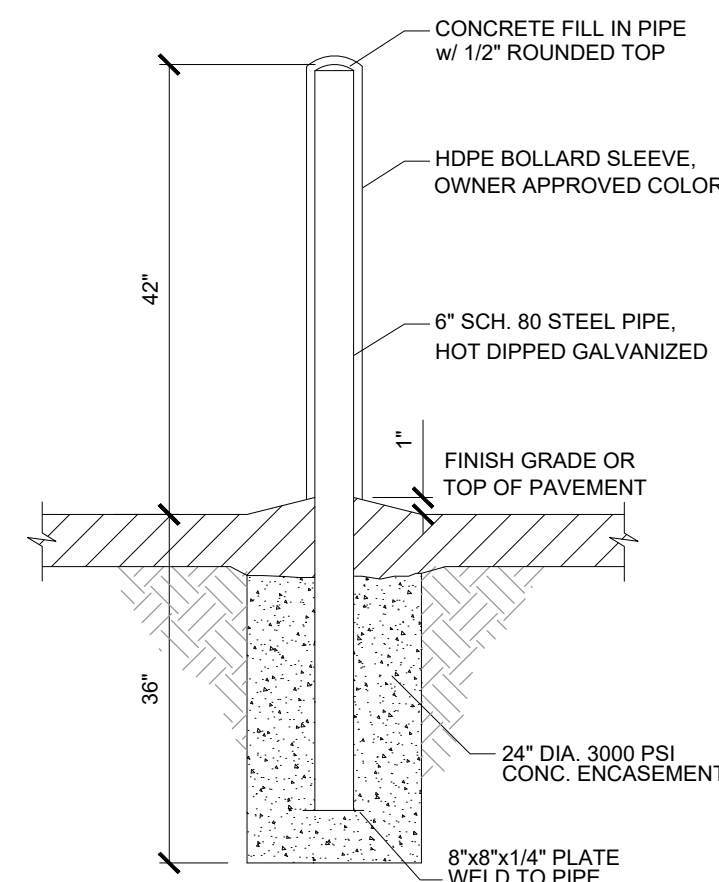
- ALL TREES SHALL RECEIVE A 5" DIAMETER RING OF EVENLY SPREAD HARDWOOD BARK MULCH 3" THICK.
- CONTRACTOR SHALL NOTIFY MISSDIG AT 811 TO LOCATE ANY UNDERGROUND UTILITY LINES OR STRUCTURES PRIOR TO STARTING CONSTRUCTION.
- ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- LAWN SEED SHALL BE PLACED OVER 4" TOPSOIL IN ALL PROPOSED LAWN AND RESTORATION AREAS AND MULCHED. SEED MIX SHALL BE HARDY AND OBTAINED FROM LOCAL SOURCES.
- ALL PLANTINGS AND LANDSCAPE IMPROVEMENTS SHALL BE CONSISTENT WITH THE STANDARDS OF OSHTEMO TOWNSHIP ORDINANCES

LANDSCAPE LEGEND KEY

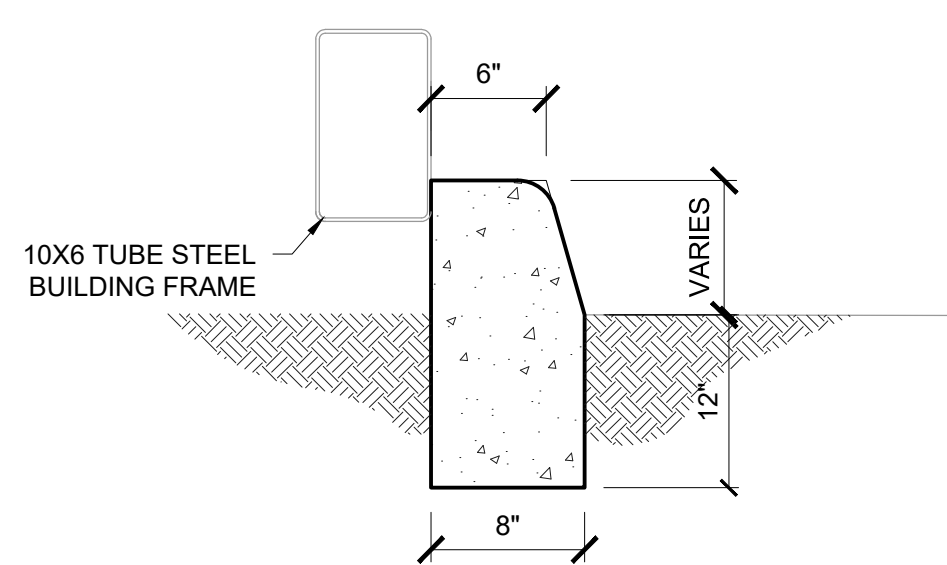
- SHADE TREE**
- LAWN AREA**
- INLET PROTECTION**
- 3" THICK HARDWOOD BARK MULCH OVER LANDSCAPE FABRIC**



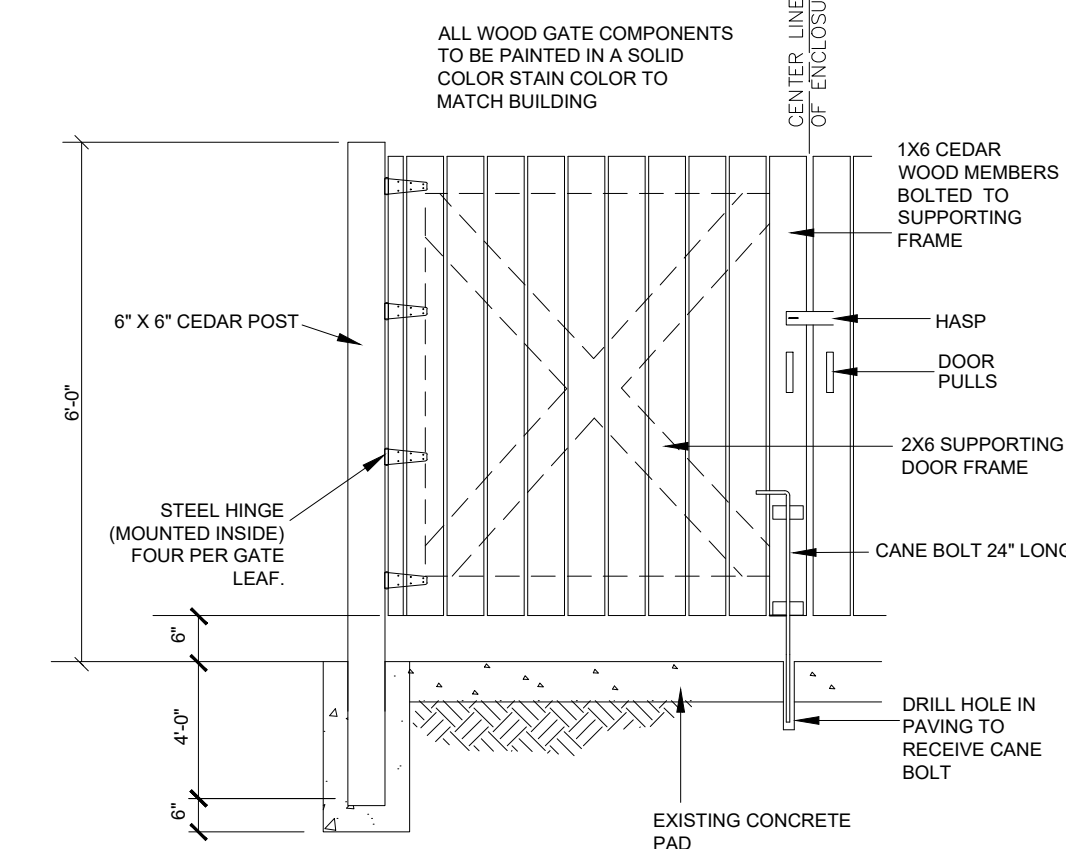
TRASH ENCLOSURE DETAIL
NOT TO SCALE



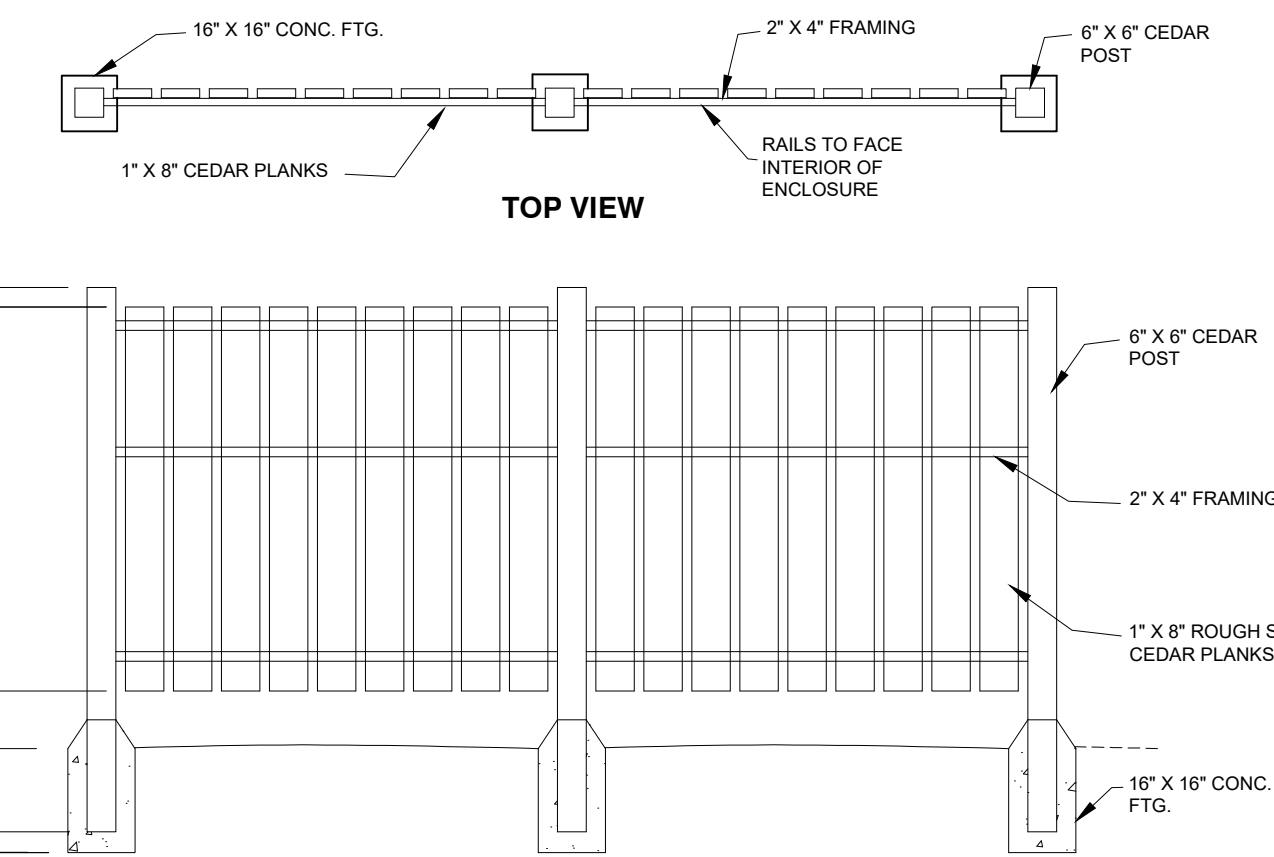
PIPE BOLLARD DETAIL
NOT TO SCALE



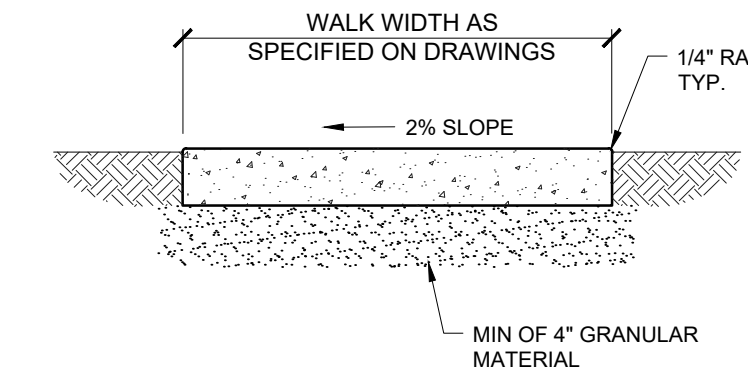
BUILDING CURB DETAIL
NOT TO SCALE



TRASH ENCLOSURE GATE DETAIL
NOT TO SCALE

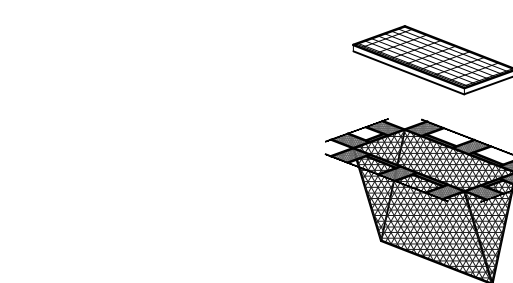


WOOD FENCE TRASH ENCLOSURE DETAIL
NOT TO SCALE



- NOTES:
- 1/2" EXPANSION JOINTS SHALL BE MAXIMUM OF 50' ON CENTER
 - 1/2" EXPANSION JOINT MATERIAL SHALL BE PLACED BETWEEN SIDEWALK AND RIGID STRUCTURES.
 - INSOFAR AS POSSIBLE, SIDEWALK SHALL BE DIVIDED INTO SQUARE UNIT AREAS BY MEANS OF CUT CONTROL JOINTS NOT MORE THAN 36 SFT OR LESS THAN 16 SFT.

4" CONCRETE SIDEWALK



INLET PROTECTION FABRIC DROP
(SILT SACK)
USE AT STORM WATER INLETS



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SCALE IN FEET
0 10 20

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Alpena, MI 49707
(877) 422-8233

REVISION:

BCubed Drive-thru for **BIGGBY® COFFEE**
6660 W. MAIN ST., KALAMAZOO, MI

DETAILS

DESIGN TEAM: PROJ MGR: BRS
DESIGNED BY: MWC
DRAWN BY: RCL
CHECK BY:

DRAWING INFORMATION:
Oshemo C105
033121 michaelc

NOT FOR CONSTRUCTION

FEBRUARY, 2021
FAV PROJECT NO.
846200

C105

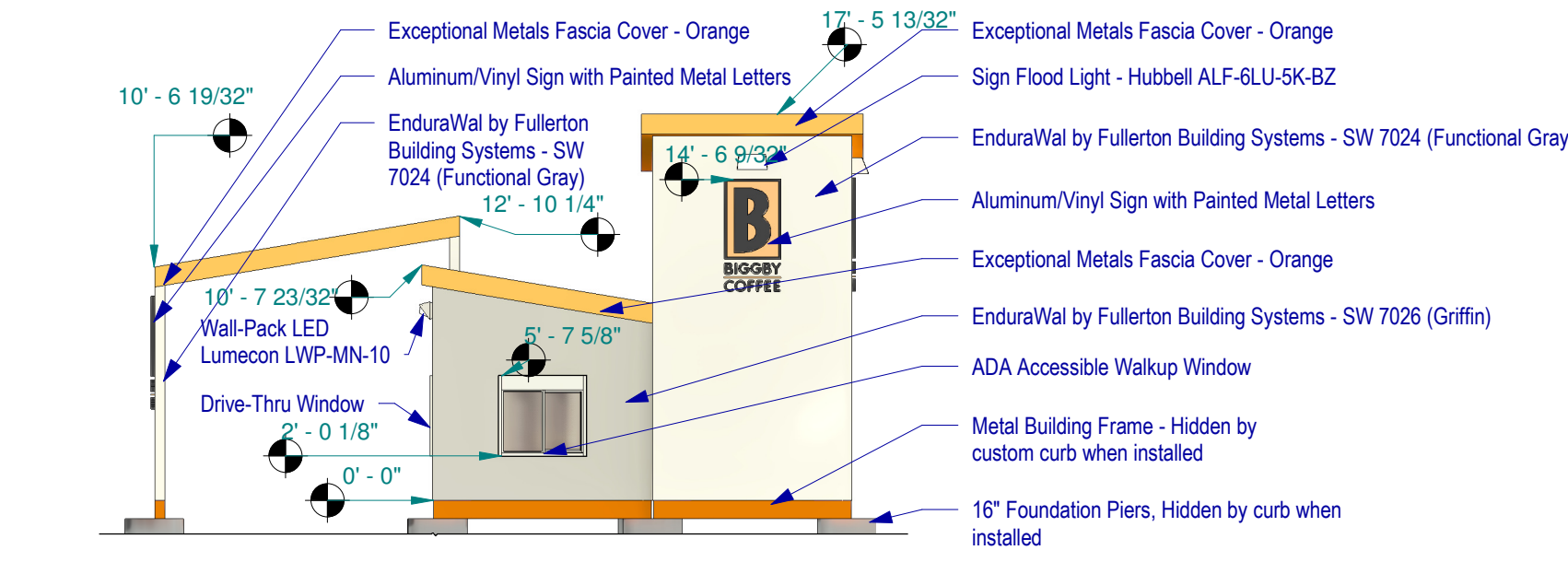
BIGGBY BCUBED ARCHITECTURAL OVERVIEW

MODEL SMSD

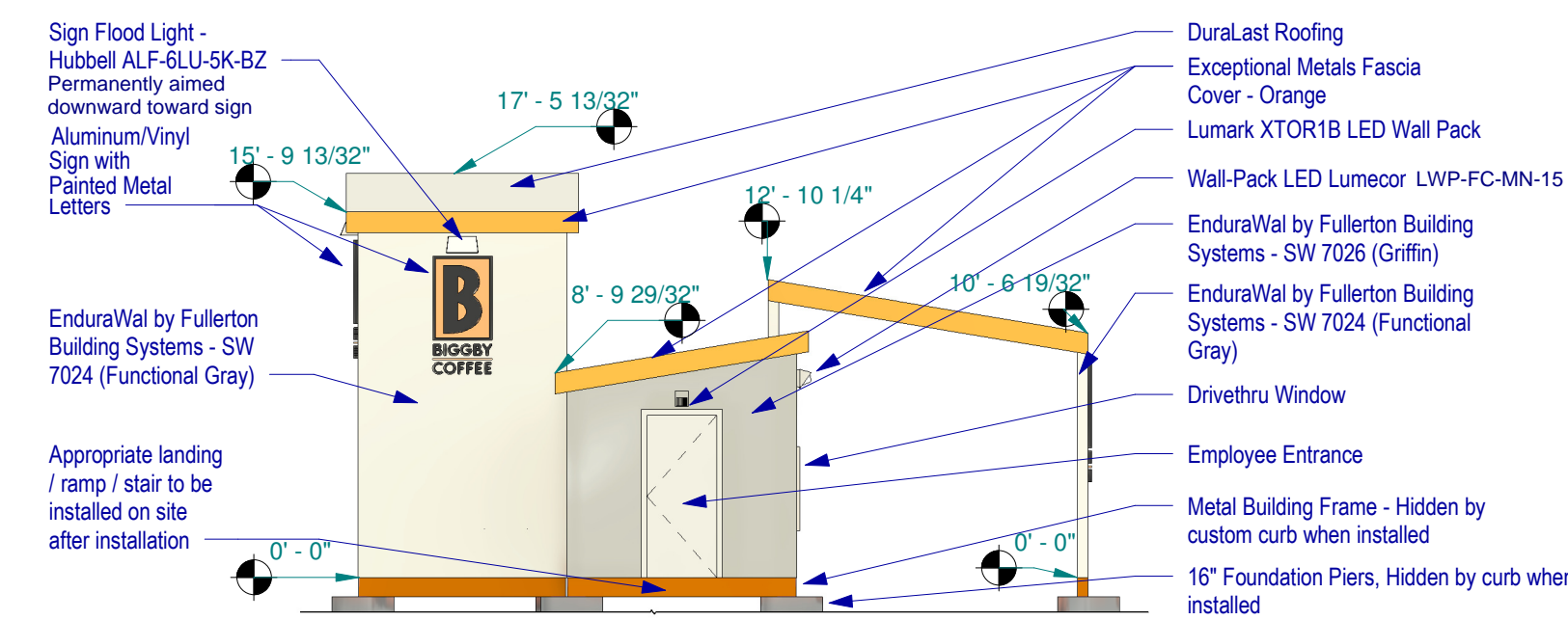


1 3D View

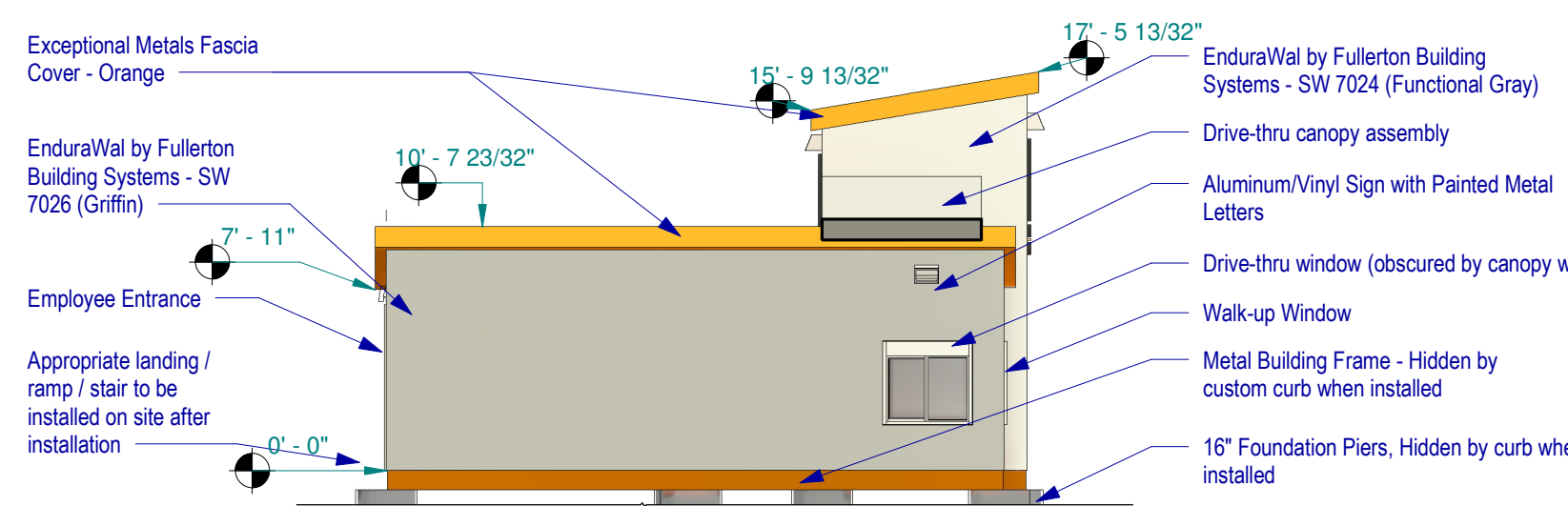
BUILDING ELEVATIONS



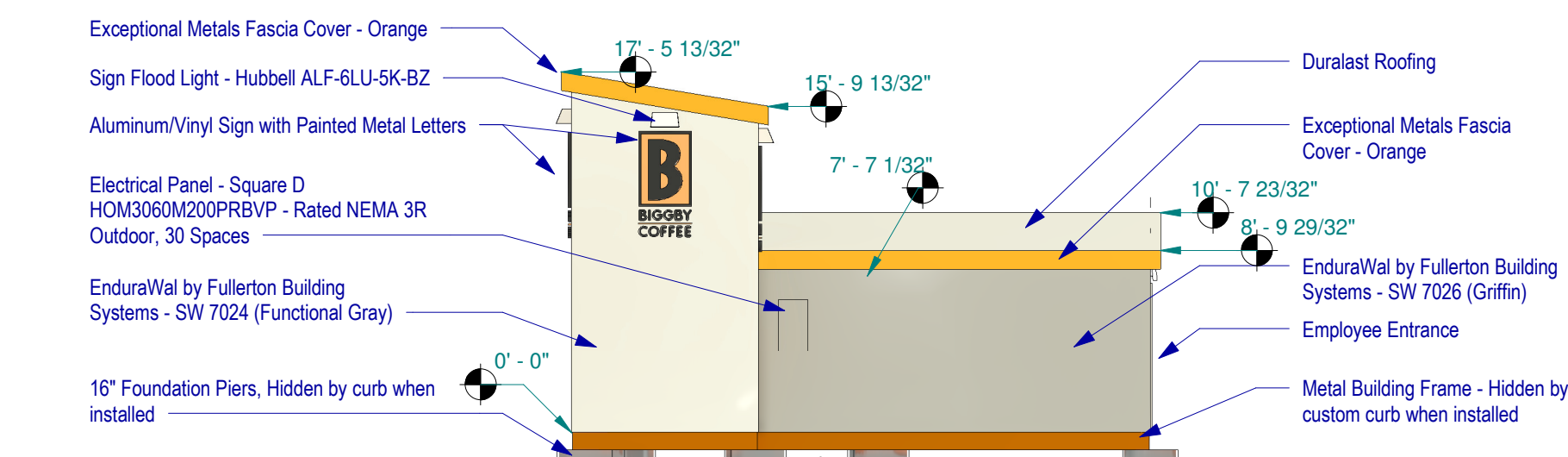
3 Front
1/8" = 1'-0"



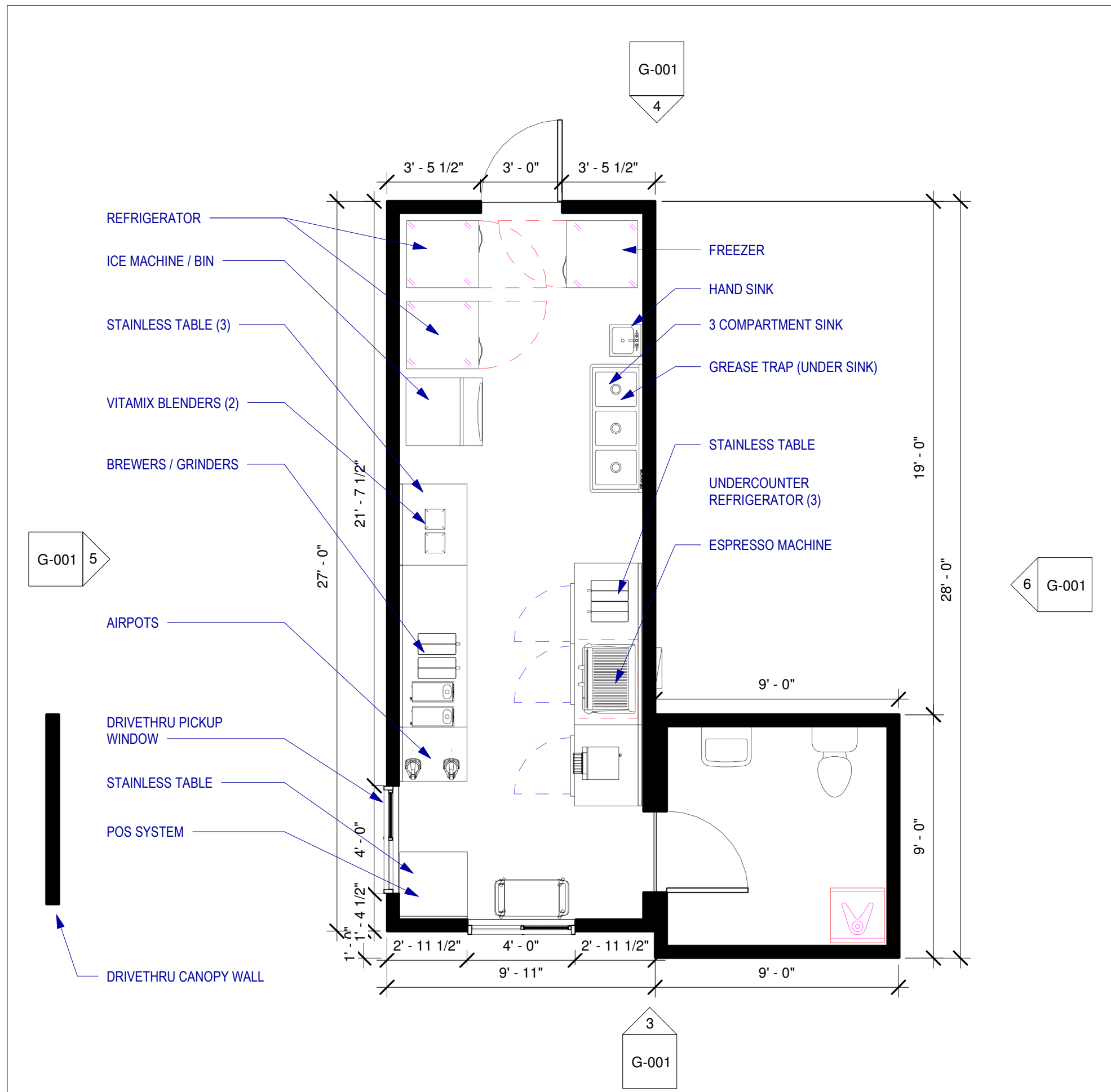
4 Rear
1/8" = 1'-0"



5 Service
1/8" = 1'-0"



6 Tower
1/8" = 1'-0"



2 Floor Plan
1/4" = 1'-0"



666 McKinley Ave.
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(877) 422-8233

NOTES

This sheet is intended to give a general overview of the design and configuration of the building and provide commonly requested details. To review full structural, mechanical, plumbing and electrical details please see state approved plans and permits.

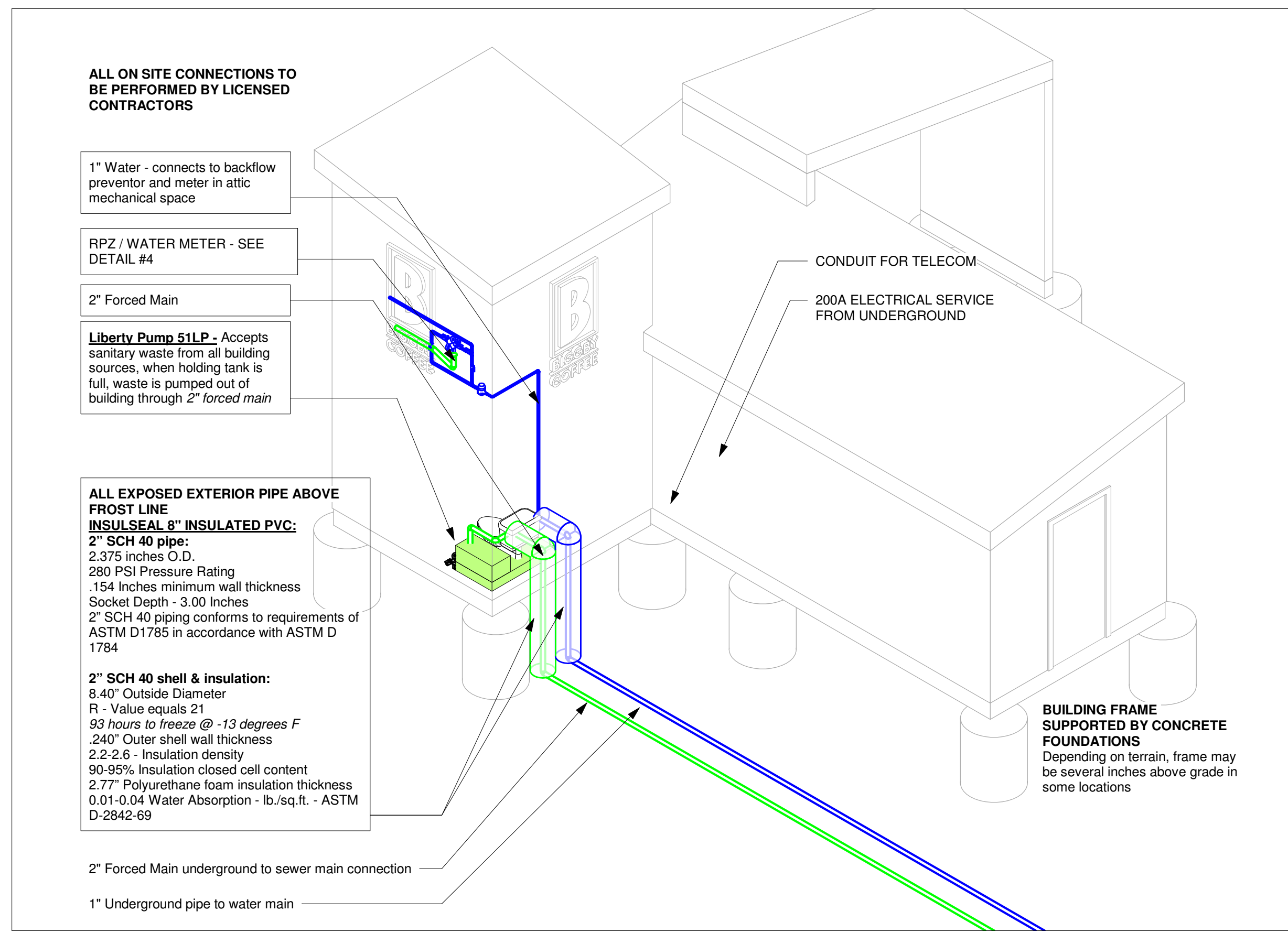
No.	Description	Date
1	Initial	10/22/2020

BIGGBY SMSD ARCHITECTURAL OVERVIEW

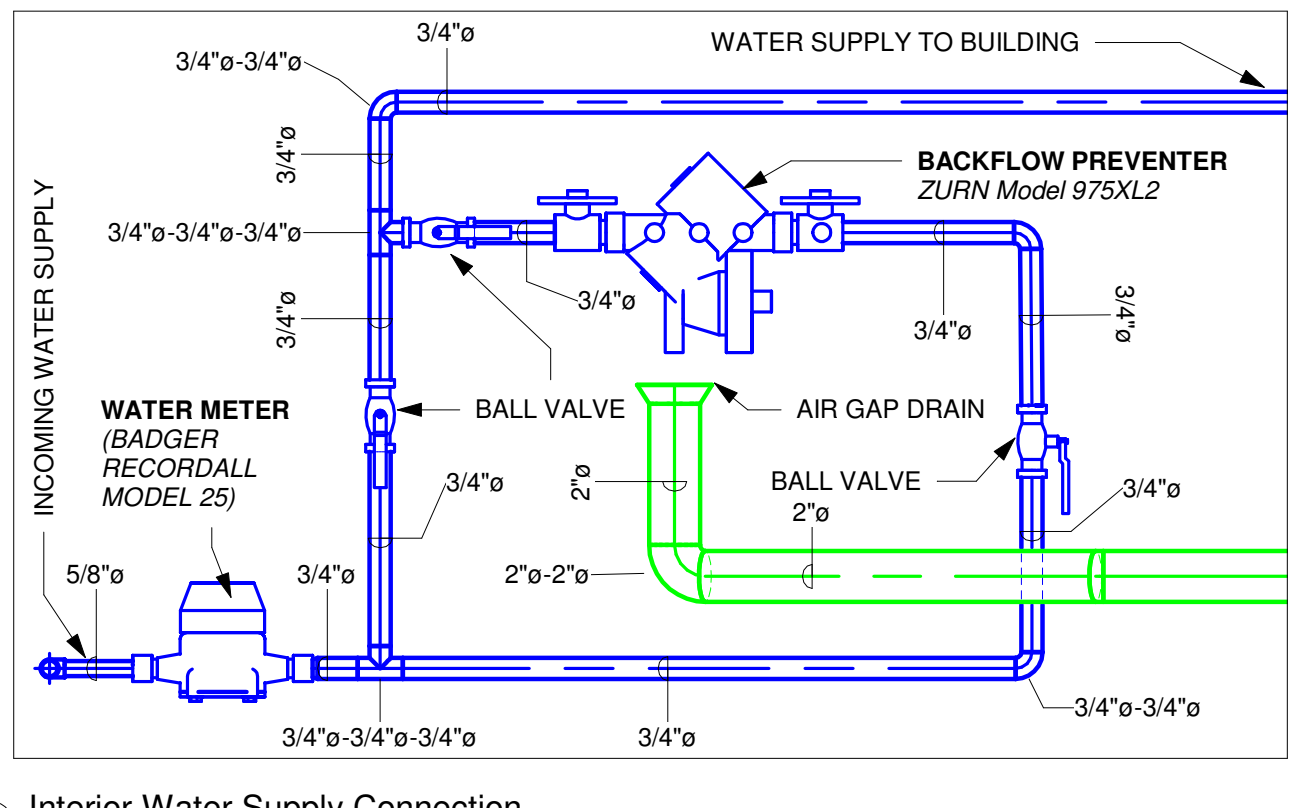
Date	Issue Date
Drawn by	Author
Checked by	Checker

G-001

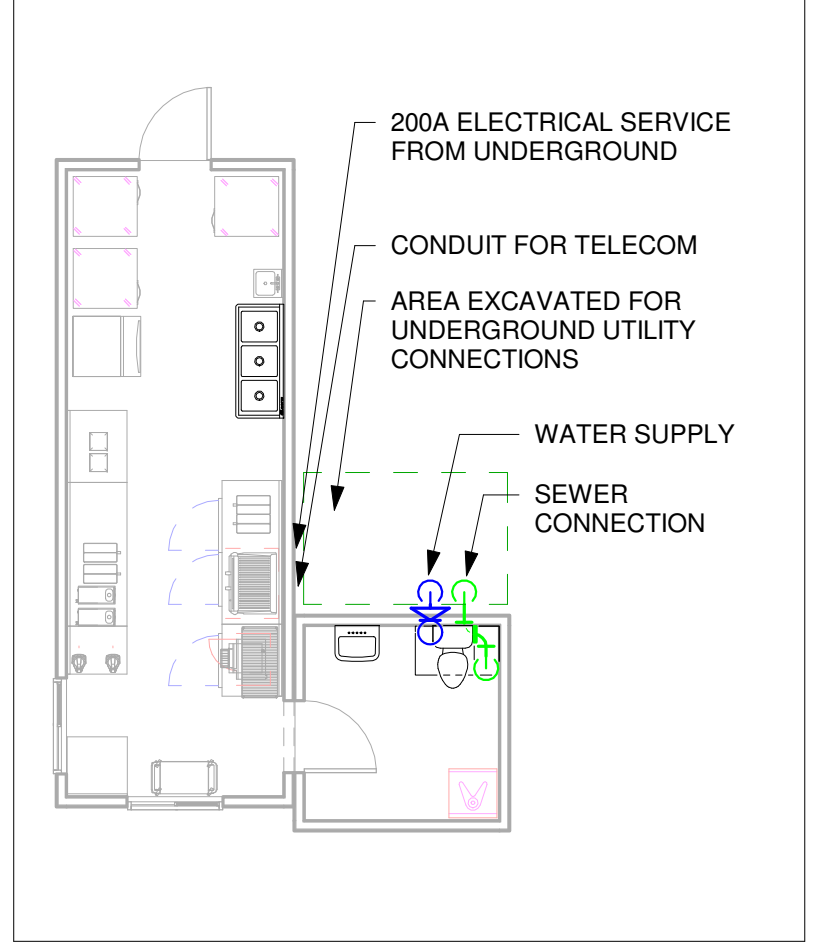
Scale	As indicated
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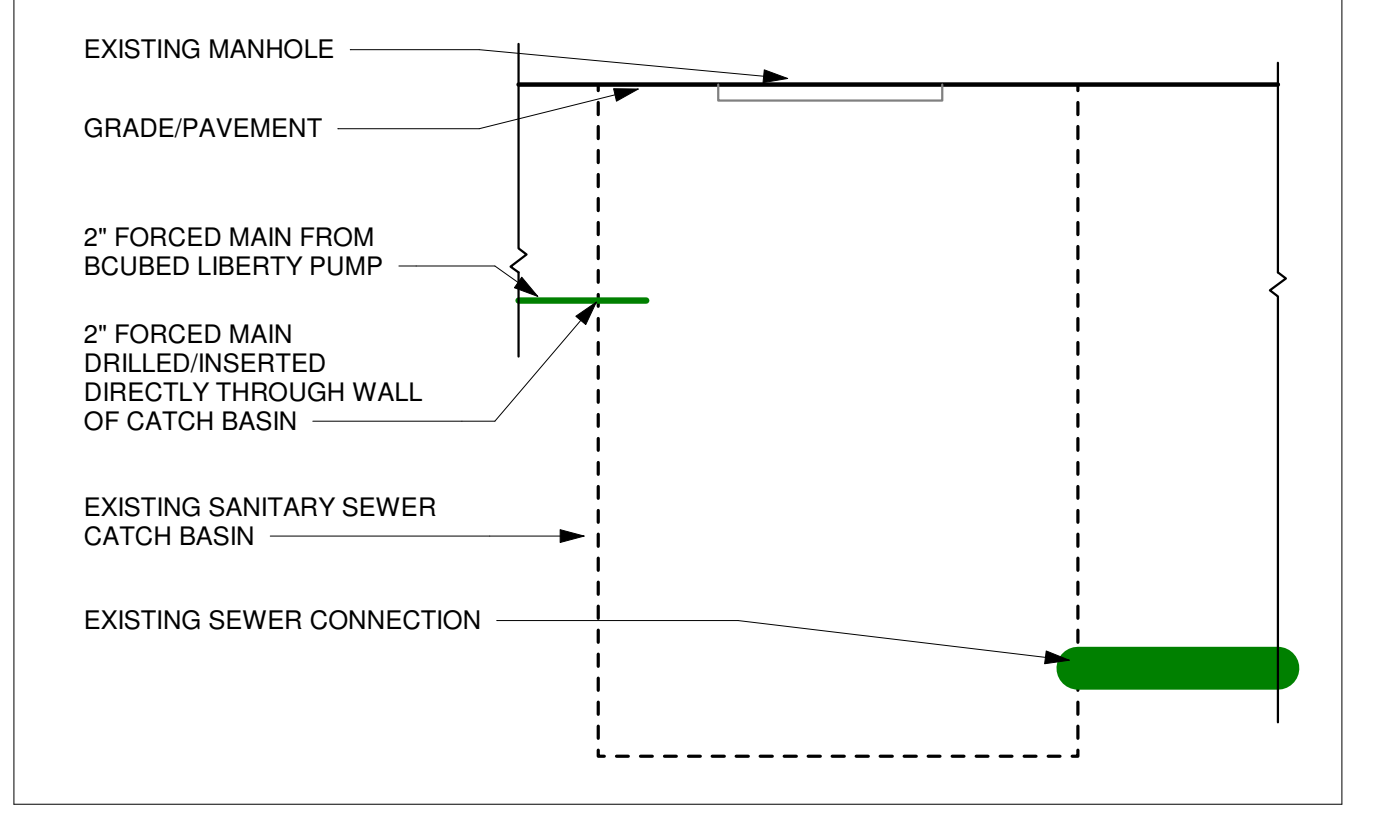
① Utility Connections- Orthographic



④ Interior Water Supply Connection
1 1/2" = 1'-0"



② Exterior Connection Points
1/8" = 1'-0"



③ Preferred Sewer Connection
1/2" = 1'-0"
AVERAGE WASTE DISCHARGE: <8 GAL/HOUR

BACKFLOW PREVENTOR
ZURN Model 975XL2
Reduced Pressure Principle Assembly

Standards Compliance

- ASSE® Listed 1013
- IAPMO® Listed
- CSA® Certified B64.4
- AWWA Compliant C511
- Approved by the Foundation for Cross Connection Control and Hydraulic Research at the University of Southern California
- Meets the requirements of NSF/ANSI 61*
- * (0.25% MAX. WEIGHTED AVERAGE LEAD CONTENT)
- UL® Classified (less shut-off valves or with OS&Y valves)
- C-UL® Classified

LowPro Low Profile Sewage System
 Pressure Rating: 280 PSI
 Maximum pumping distance: 1,250 feet
 Expected discharge: < .02 gallons per minute
 Discharge rating: > 140 gallons per minute
 Solids handling: Up to 2" solid sphere

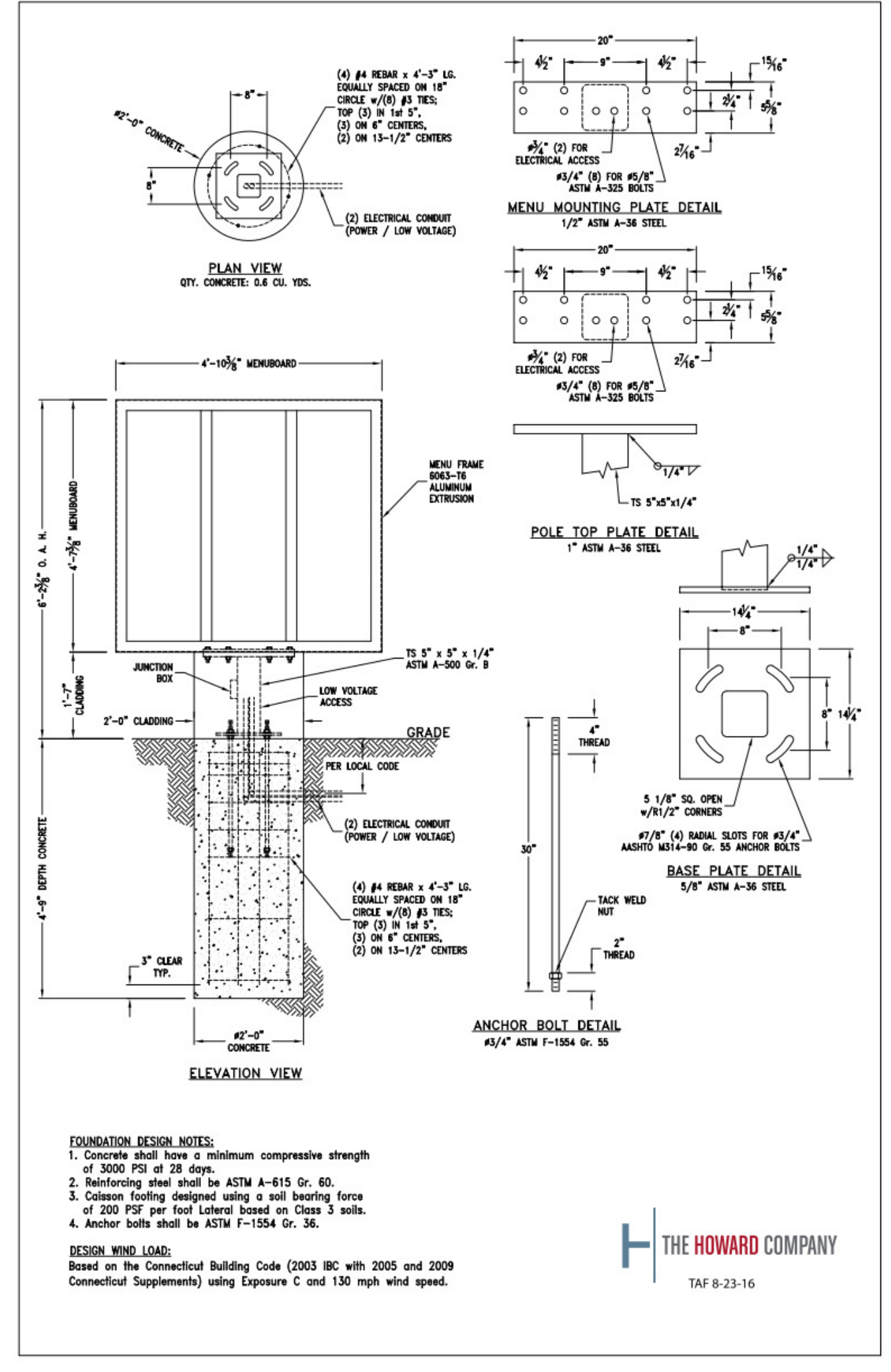
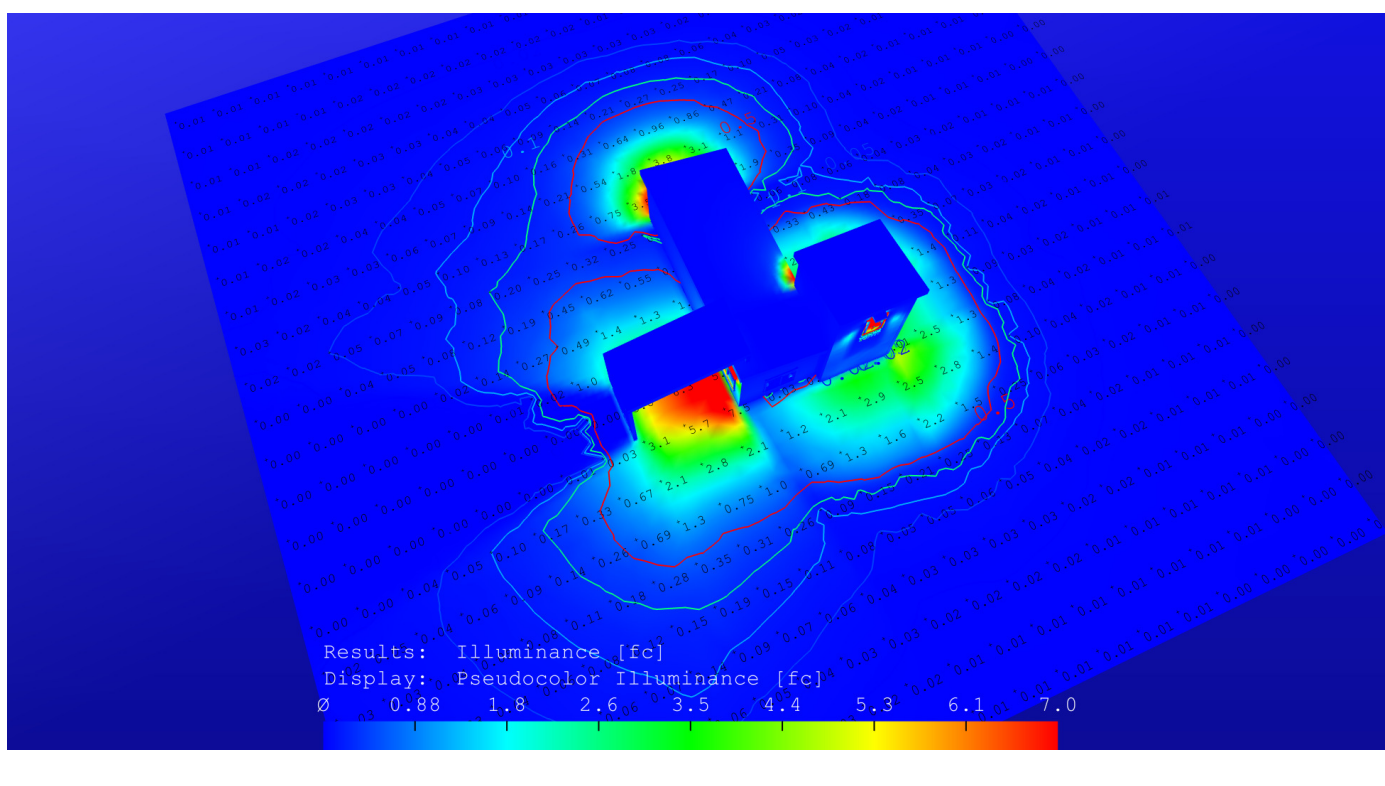
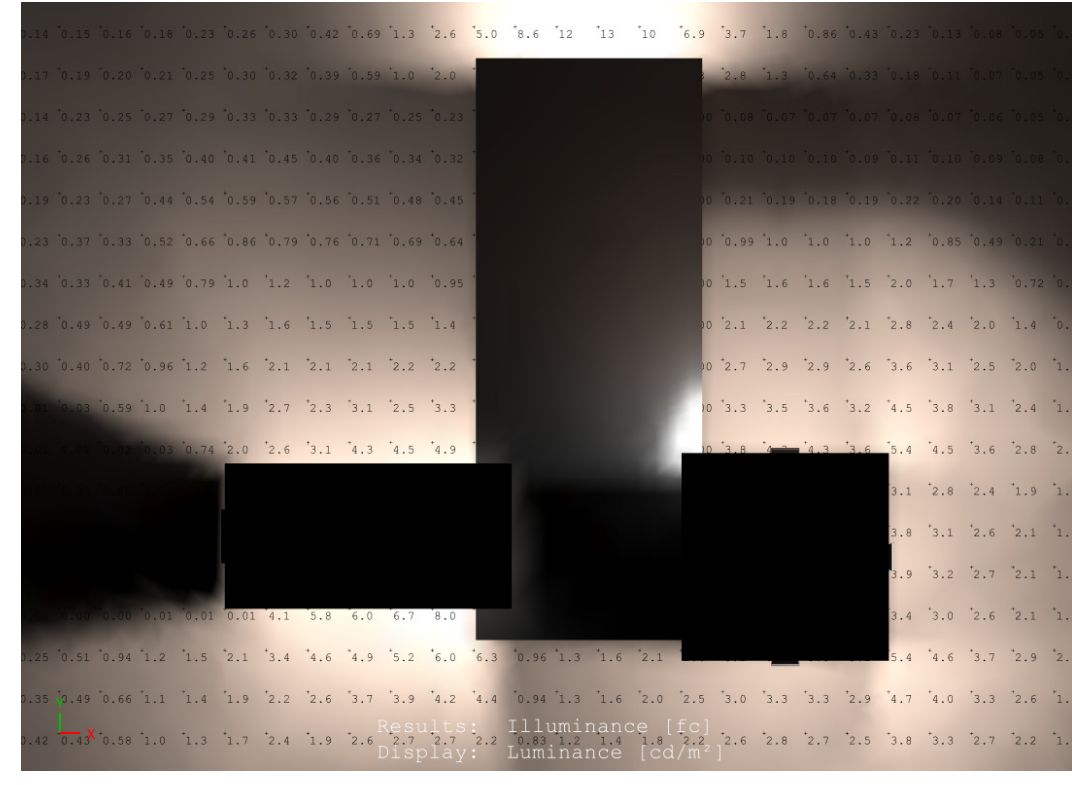
666 McKinley Ave.
 Alpena, MI 49707
 (877) 422-8233

NOTES

This sheet is intended to give a general overview of the design and configuration of the building and provide commonly requested details. To review full structural, mechanical, plumbing and electrical details please see state approved plans and permits.

0.08	0.09	0.11	0.12	0.14	0.17	0.23	0.33	0.49	0.78	1.19	1.74	2.29	2.69	2.79	2.54	2.03	1.45	0.97	0.59	0.37	0.24	0.15	0.09	0.07	0.05	0.03	
0.09	0.10	0.12	0.14	0.16	0.19	0.26	0.37	0.57	0.91	1.47	2.29	3.30	4.12	4.33	3.80	2.84	1.88	1.17	0.68	0.41	0.25	0.15	0.10	0.07	0.04	0.03	
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0.14	0.15	0.16	0.18	0.23	0.26	0.30	0.42	0.69	1.29	2.56	4.97	8.57	11.95	12.82	10.47	6.85	3.67	1.76	0.86	0.43	0.23	0.13	0.08	0.05	0.04	0.03	
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0.34	0.33	0.41	0.49	0.79	1.05	1.23	1.05	1.01	1.00	0.95																	
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0.27	0.36	0.47	0.57	0.89	1.15	1.42	1.26	1.22	1.22	1.16																	
0.32	0.32	0.38	0.45	0.71	0.97	1.02	0.89	0.66	0.82	0.60																	

⑤ Photometric
3/16" = 1'-0"



No.	Description	Date

BIGGBY SMSD

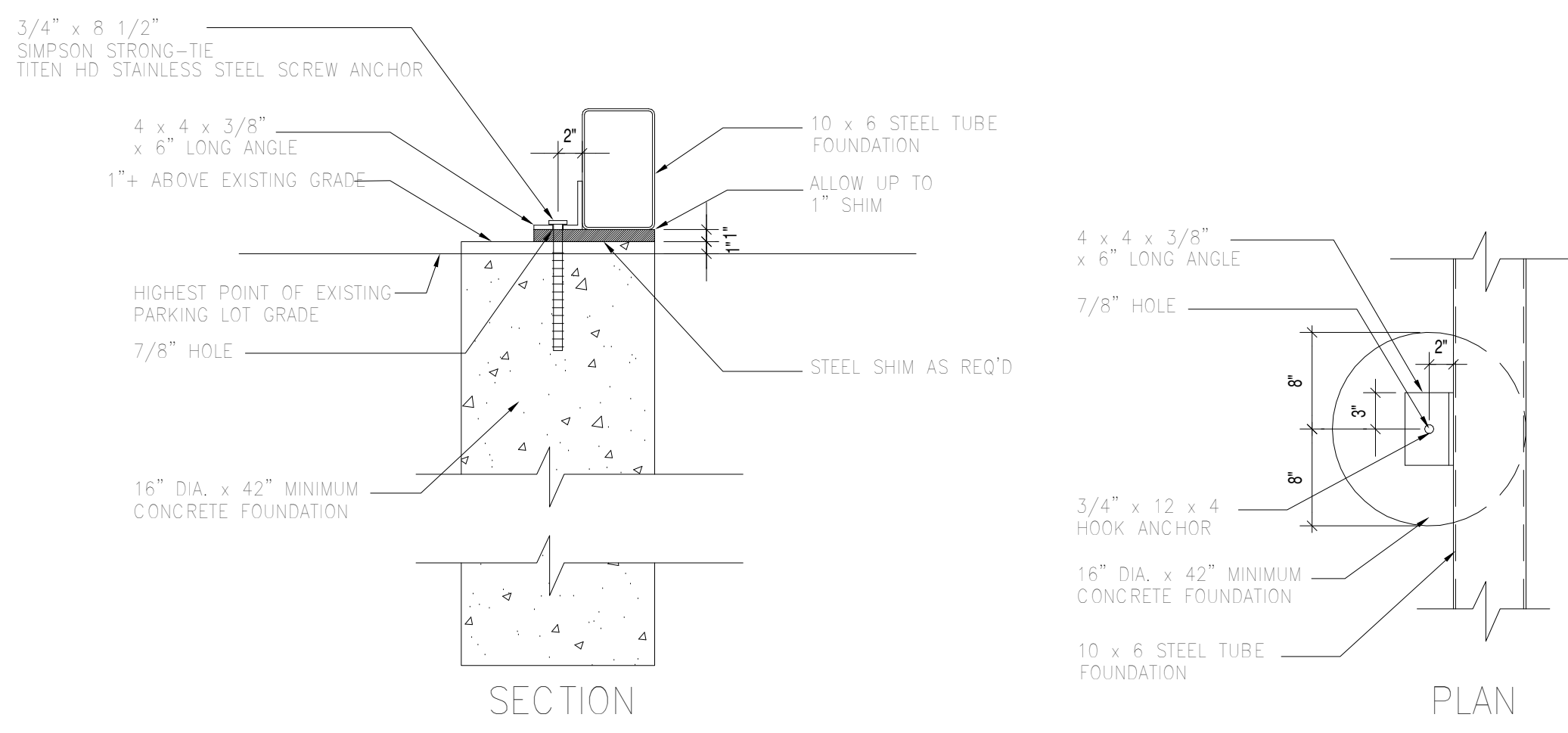
Utility Connections

Date _____ Issue Date _____
 Drawn by _____ Author _____
 Checked by _____ Checker _____

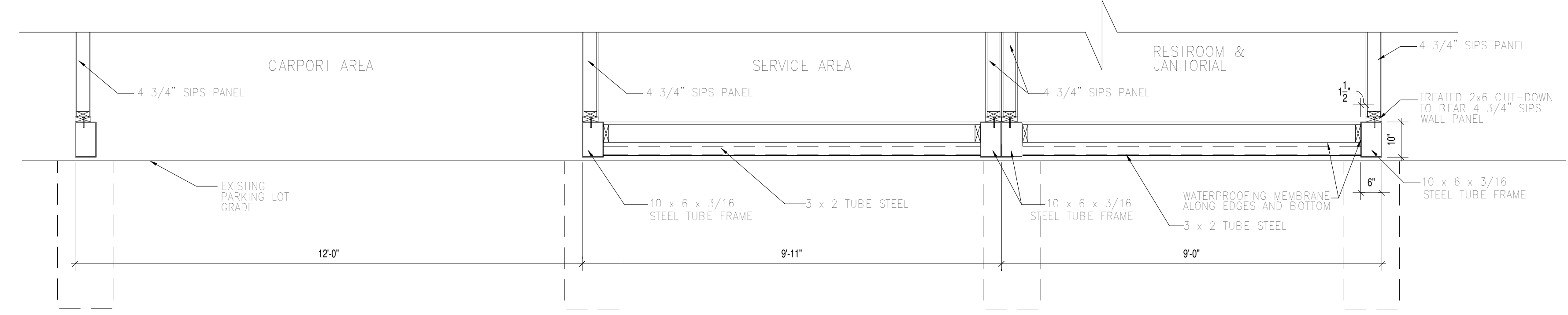
G-002

Scale _____ As indicated _____

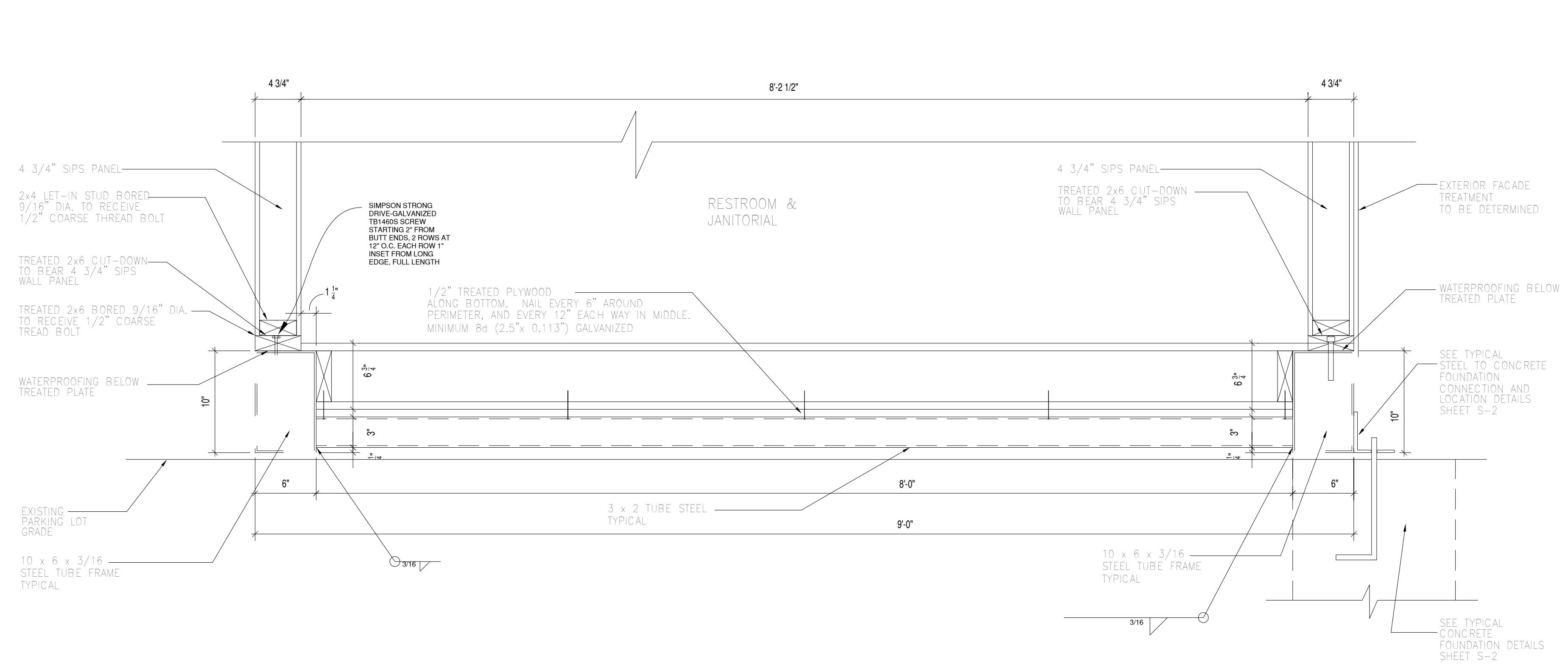
CONCRETE FOOTING INSTALLED AT HIGHEST POINT ON GRADE SHALL BE 1" ABOVE GRADE. ALL OTHER FOOTINGS TO BE LEVEL.



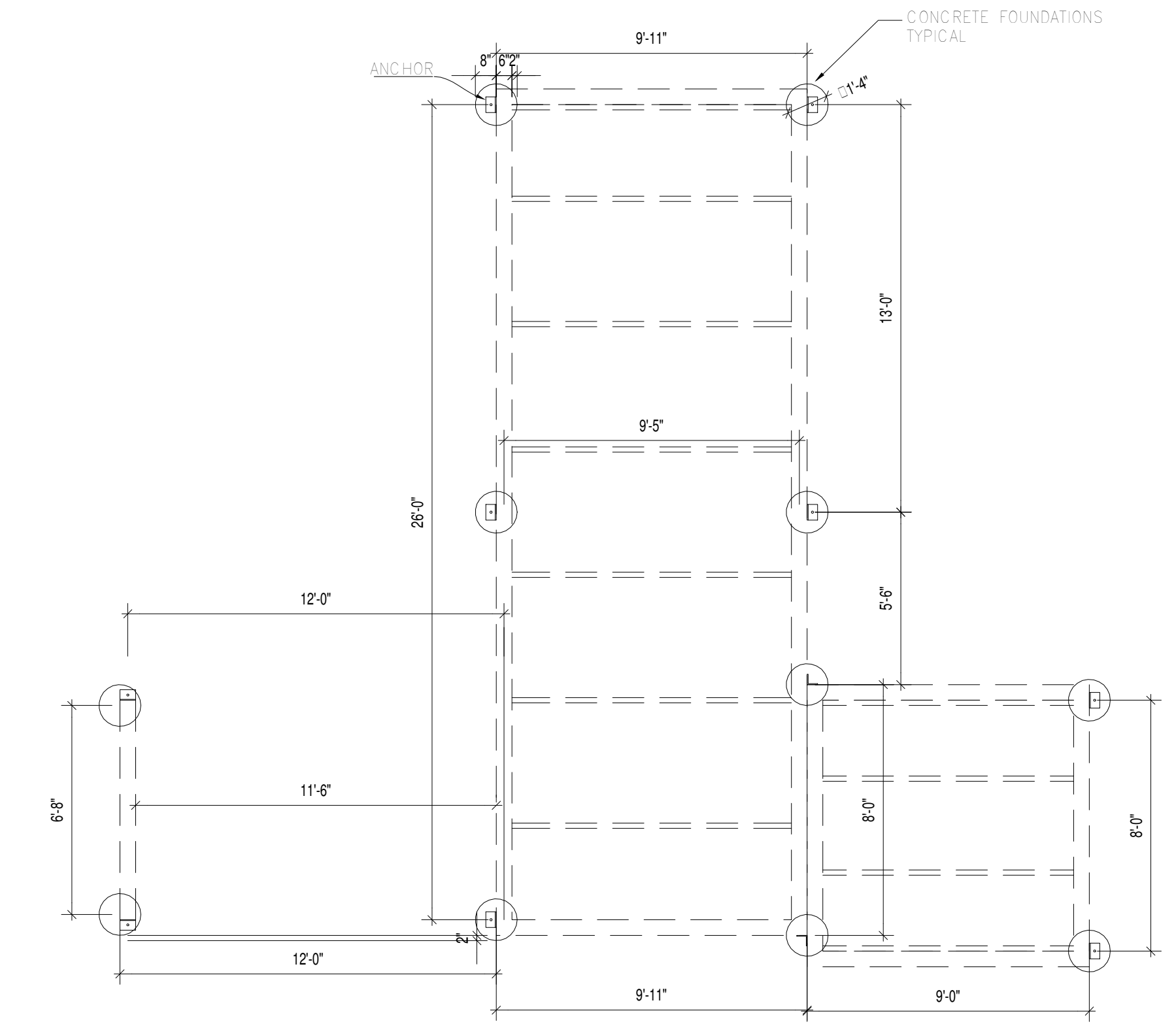
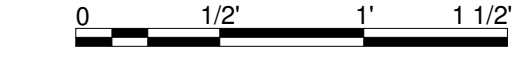
2 CONCRETE BASE FLOOR FRAME CONNECTION DETAIL
1" = 1'-0"



3 SECTION SHOWING STEEL BASE FLOOR FRAME
1/2" = 1'-0"



4 TYPICAL STEEL BASE FLOOR FRAME DETAIL
1 1/2" = 1'-0"



1 CONCRETE FOUNDATION PLAN
1/4" = 1'-0"



666 McKinley Ave.
Alpena, MI 49707
(877) 422-8233

SITE ADDRESS
Enter address here

CLIENT
BCUBED

ENGINEER

No.	Description	Date

Structural Details

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
S101	
Scale	As indicated

April 22, 2021



Mtg Date: April 29, 2021

To: Oshtemo Township Planning Commission

From: Iris Lubbert, Planning Director

Applicant: Gregg Watts, Prime Homes LLC

Owner: Prime Homes LLC

Property: Unaddressed, Parcel ID: 05-34-230-070

Zoning: R-2, Residence District

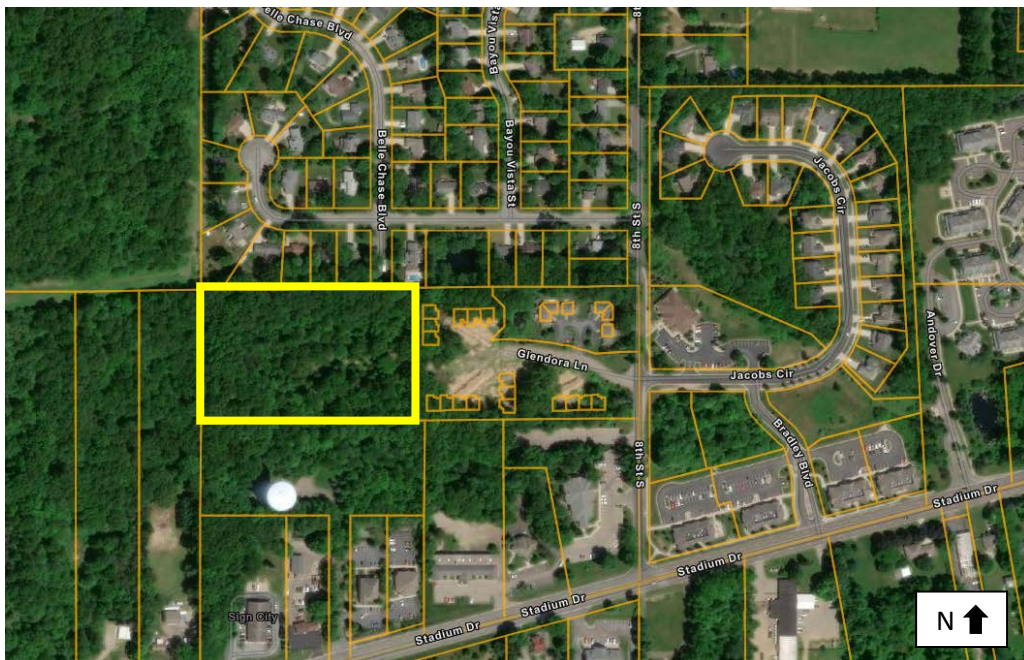
Request: Site Plan and Special Use approval to expand Emberly Acres II Condominium to the West including the extension of Glendora Lane and twenty (20) new condominium units.

Section(s): Article 7, R2: Residence District
Article 42, Residential Condominium Development Standards

Project Name: Emberly Acres II Condominium Expansion

PROJECT SUMMARY:

Prime Homes LLC is seeking special use and site plan approval to expand the Emberly Acres II Condominium to the West. The proposed expansion will include the extension of Glendora Lane and twenty new condominium units onto the neighboring 5.84 acre vacant parcel. The subject property is located north east of the S 8th Street and Stadium Drive intersection, directly south of the Lasalle Subdivision. The expansion site is outlined in yellow on the aerial image below.



OVERVIEW:

The Emberly Acres condominium project was originally approved by the Planning Commission as a special exception use on February 12, 1998. The previous project totaled six acres, which were zoned R-3, and included 23 units in eight building clusters. At some point past this date, construction on the project ceased and the builder walked away from the project. Only two of the three-unit buildings were constructed for a total of six units. In 2006, the original six acres was divided into two separate parcels, one totaling 1.56 acres and containing the original six units and is owned and maintained by the Emberly Acres Homeowners Association and one totaling 4.28 acres, which was sold to a new owner, Prime Homes LLC.

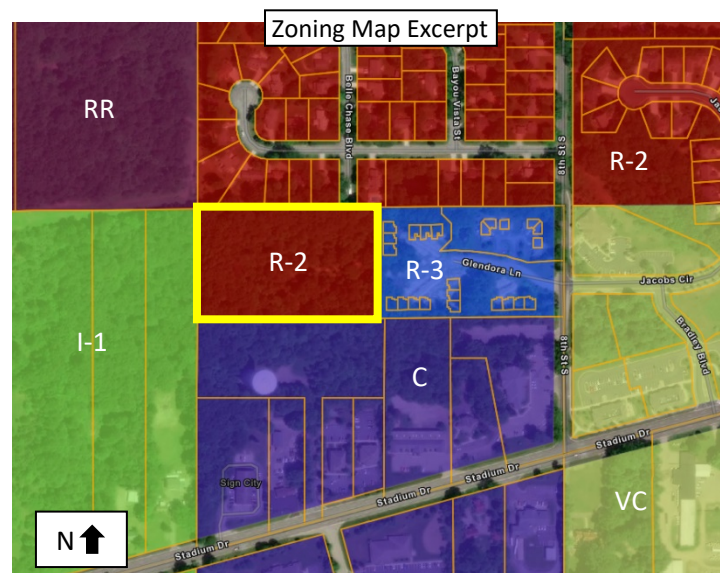
Prime Homes LLC approached the Township in the fall of 2017 indicating they wished to complete the development under the 1998 approved site plan. However, to continue with construction the new project would have had to conform to the original site plan. Due to storm water issues in this area and the developer wanting to make some changes to the site design, particularly the placement and design of the new residential units, a new site plan was required and special exception use approval sought through the Planning Commission.

A site plan for Emberly Acres II was submitted. The proposal was to extend the existing Glendora Lane to the west, ending in a one-way cul-de-sac. The proposal included 17 new units that were designed in five new building clusters. The Planning Commission reviewed and approved the new site plan at their June 28, 2018 regular meeting. Both the 1998 and the amended 2018 plan have been attached to this report for reference.

Prime Homes LLC is now requesting to expand Emberly Acres II to the West utilizing Article 42, Residential Condominium Development Standards, of the Ordinance. This Article of the code offers an alternative to traditional subdivisions through the use of the Condominium Act, Public Act 59 of 1978. Condominium developments are permitted as a special exception use in the R-2, R-3, and R-4 Residence Districts.

ANALYSIS:

Emberly Acres and Emberly Acres II fall within the R-3, Residence District. The 5.84 acre parcel for the proposed expansion of Emberly Acres II is zoned R-2, Residence District. The subject site is outlined in yellow on the zoning map excerpt at right. Per Article 42, Condominium developments are permitted as a special exception use in the R-2 Residence District. New construction of a Special Use requires the review and approval of the Planning Commission (Section 64.20). When reviewing a Special Use there are two sets of criteria that need to be considered: the general Special

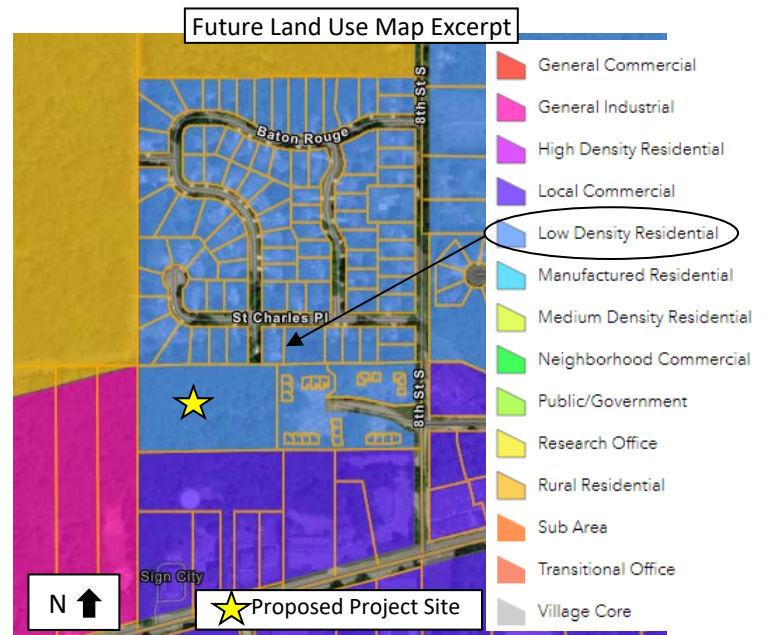


Use review criteria outlined in Section 65.30 and the specific requirements for the use in question outlined under Section 42.30. Below is an analysis of the proposal against Section 65.30 and 42.30.

Section 65.30: Special Use Review Criteria

A. Master Plan/Zoning Ordinance: The proposed use will be consistent with the purpose and intent of the Master Plan and Zoning Ordinance, including the District in which the use is located.

Oshtemo’s adopted Future Land Use map shows the property in question within a Low Density Residential area, see map to the right. The desired development within the Low Density Residential areas is described as: “Single-family residential development in connected, coordinated neighborhoods”, “Preservation and protection of existing neighborhoods and residential developments from incompatible land uses”, “Integration of new development into an interconnected street network”, “Residential areas connected with trails and walkways”, and “Parks and open space included with neighborhood



development to provide small recreation areas for residents” (Oshtemo Township Master Plan Update, page 64). This area is intended for low density development. The proposed condominium expansion with 10 proposed duplexes on a cul-de-sac does not meet the intent of the Low Density Residential future land use map designation.

However, from a zoning standpoint, the subject property is classified as R-2: Residence District, within which two family dwellings are permitted uses. Article 42, Residential Condominium Development standards, which this development is being proposed under, permits a density of 4 units per acre within the R-2 district. The expansion is proposed with a density of 3.4 (20 units are proposed on this 5.84 acre site). The proposed development is consistent with the properties current zoning designation and the Township’s zoning ordinance.

B. Site Plan Review: The Site Plan Review Criteria of Section 64

A site plan has been provided. See evaluation under Section 64: Site Plan Review.

C. Impacts:

- 1. The proposed use would be compatible, harmonious and appropriate with the existing or planned character and uses of adjacent properties; meaning the proposed use can coexist with neighboring uses in a stable fashion over time such that no neighboring use is unduly negatively impacted.**

There are a number of different uses and zoning classifications surrounding the project site. The LaSalle Subdivision to the North is zoned R-2, Residential. Emberly Acres and Emberly Acres II are to the East, both Zoned R-3, Residential. All three are residential uses allowing for a density of four dwelling units an acre. The property immediately to the South is zoned C, Commercial and currently houses a water tower. Commercial uses directly south of the water tower with frontage along Stadium Drive include: Auto Trim Group, Womens Healthcare Specialists, and DDS Comprehensive dentistry. Property to the West of the proposed expansion site is zoned I-1, Industrial.

As a residential district that supports up to four dwelling units per acre, the proposed Emberly Acres II expansion project is compatible with other existing residential uses surrounding it. The proposed continuation of the condominium residential use provides a transition to Stadium Drive, allowing a residential buffer to the single-family homes to the north. The proposed use is appropriate for this location and is compatible with the existing character of the area.

2. Potentially adverse effects arising from the proposed use on adjacent properties would be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the location of screening, fencing, landscaping, buffers or setbacks.

The adjacent properties to the east are the existing Emberly Acres and Emberly Acres II condominiums and to north the LaSalle Subdivision. Both are residential uses allowing four dwelling units per acre. The purpose statement of the R-2 zoning district states the following:

“This district classification is designed as a suburban residential district to permit a greater density of residential development than is provided in the rural districts of the Township, together with other residentially related facilities and activities which would serve the inhabitants of the area.”

Staff does not foresee the proposed 20-unit condominium expansion having a significant impact on neighboring properties. The proposed site plan is providing more parking than required and places the proposed units and the Glendora Lane extension on the south site of the parcel, providing over 100 feet of open space and landscaping between the proposed units and the single-family homes to the north. The proposed development does not connect to LaSalle Subdivision’s Belle Chase Boulevard to the north. The increase in traffic that this addition will create would only affect the existing Emberly Acres and Emberly Acres II condominium developments.

3. The proposed use would not be detrimental, hazardous, or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, smoke, odors, glare, or visual clutter.

Staff anticipates that the proposed expansion to Emberly Acres II will have no such negative impacts on adjacent properties. In terms of traffic, the proposed site plan does not introduce

a new curb cut on N 8th Street but will utilize the existing private drive, Glendora Lane. The proposed design meets code and safety standards.

D. Environment: The natural features of the subject property shall only be cleared or altered to the extent necessary to accommodate site design elements, particularly where the natural features assist in preserving the general character of the area.

The currently vacant site will require some clearing and alteration to accommodate the proposed development. The applicant will limit tree removal to only what is necessary. While underbrush will be removed from the common open spaces, the existing trees will be preserved.

E. Public Facilities: Adequate public and/or private infrastructure and services already exist or would be provided, and will safeguard the health, safety, and general welfare of the public.

The applicant proposes to extend the existing utilities currently serving both Emberly Acres and Emberly Acres II to serve the expansion area. Prein & Newhof, the Township's civil engineering agent, has reviewed the existing and proposed infrastructure and found it sufficient.

The road and utilities to service this expansion crosses two parcels: Emberly Acres and Emberly Acres II. Each of the two parcels are owned and managed separately. Because these are two separate parcels, cross access agreements were entered into to ensure continued access for both parties to the road and the utilities. Prime Homes LLS, Emberly Acres II, and the Emberly Acres Homeowners Association, Emberly Acres, came to an agreement to allow shared use of the road and utilities when Emberly Acres II was first developed. It should be noted that staff has been made aware that the Emberly Acres Homeowners Association does not approve of the proposed expansion to Emberly Acres II and have noted that they will not allow Prime Homes to utilize the utilities they share to service the proposed project. This issue will need to be resolved privately between the two parties.

F. Specific Use Requirements: The Special Use development requirements of Article 49.

Article 49 of the Zoning Ordinance dictates no specific considerations for residential condominium developments. Specific requirements for residential condominium developments are outlined in Section 42.30 of the Ordinance. See evaluation under Section 42.30: Development Standards.

Section 64: Site Plan Review

General Zoning Compliance:

Zoning: Parcel 05-34-230-070 is zoned R-2, Residence District. The proposed residential condominium development is permitted as a Special Use within this district.

Parcel Dimensions: The proposed project is an expansion of Emberly Acres II. Both R-3 and R-2 zoning districts require a minimum width of 200 feet for parcels. Emberly Acres II, which this expansion will become a part of, has 200 feet of frontage along 8th Street. The property under consideration exceeds the code lot dimensions standards.

Setbacks: Properties within a R-2 Residence district require a 30 foot front yard setback from the street right of way. As the development has a private drive and is over 600 feet from S 8th Street this requirement is not applicable. The newly proposed structures will be 32 feet from the

southern property line, 70 feet from the western property line, and over 100 feet from the northern property line. The proposed site layout exceeds the minimum setbacks required by the code.

Access and Circulation

Access: The proposed site plan does not introduce a new curb cut on S 8th Street but will utilize the existing private drive, Glendora Lane. The proposed development does not connect to LaSalle Subdivision’s Belle Chase Boulevard to the north. Glendora Lane’s proposed expansion meets all width and circulation standards.

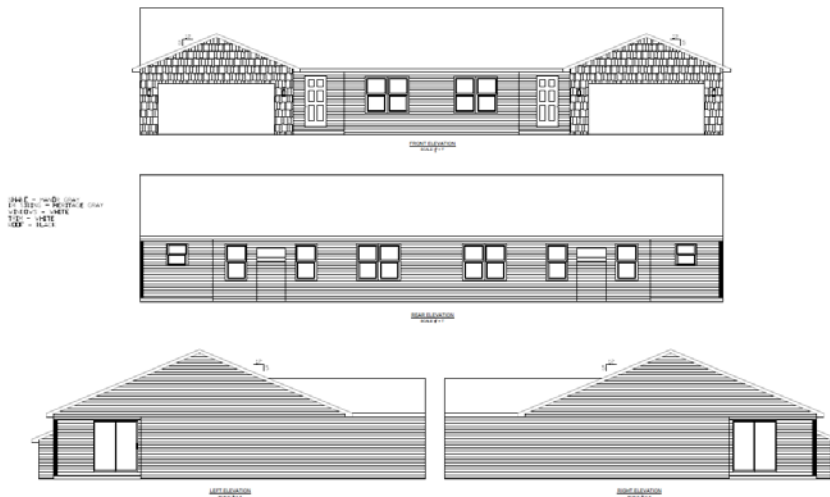
There are two conditions that our code provide in which a secondary point of access is required. The first is if the proposed overall length of a drive or street exceeds 1,500 feet. With the expansion Glendora Lane will have a total drive length of 1,202 feet. The second is if the condominium is proposing 50 or more units. If the expansion is approved, Emberly Acres II would have 37 units total. The neighboring Emberly Acres has 6 units that also utilize Glendora Lane. Overall, with this expansion, there would be 43 units total. A secondary access point is not required by code.

Parking: Per Section 52.50 a minimum of 2.5 parking spaces are required for each proposed dwelling unit. Each proposed unit in the development has a two-car garage with a 16 foot wide paved driveway. Four cars could be accommodated per unit, two in the garage and two in front.

Sidewalk: Per Section 57.90 sidewalks indicated on the Township’s Non-motorized Plan shall be installed by the developer when properties adjacent to planned nonmotorized facilities receive site plan approval from the municipality. The Township’s adopted Non-motorized Plan shows a 6-foot-wide path along this section of S 8th Street. The segment of the shared use path along the frontage of Emberly Acres II is included as part of the site plan set for the proposed development.

Building Design

Elevations for the proposed duplex units within the Emberly Acres II expansion were provided, see image below. The duplexes will be one story with a double car garage. Grey siding and shake are proposed for the body of the buildings with white trim and windows and black roofs.



Per section 50.20 of the Township Ordinance, two family dwellings are required to have a minimum of 1,000 sqft of living area. Each duplex is shown with a footprint of 3,520 square feet (each unit 1,760 sqft). The proposed garages are 21 feet by 21 feet (441 square feet). Minimum unit size requirements are met.

Landscaping

The submitted landscaping plan for this development was reviewed against Sections 53.40 Screening Between Land Uses, 53.70 Interior Site Landscaping, and 53.100 Landscape Elements. All landscaping requirements have been met.

Photometric Plan

The only lighting proposed to be installed in the Emberly Acres II expansion are outdoor lanterns that are to be placed on each side of every unit's garage. An image of the proposed lantern is shown to the right. Typical residential light fixtures on residential buildings are exempt from the cut off fixture requirements of the code. It should be noted that providing lighting in residential condominium developments is not required.



Engineering

Prein & Newhof, the Township's civil engineering agent, has reviewed the project site plan. Overall, all onsite concerns have been addressed. Both water and sanitary sewer are being provided (private utilities).

Fire Department

The Township Fire Marshal has reviewed the project site plan and is satisfied with the site design.

Section 42.30: Development Standards

Density

The overall density of a condominium development in the R-2 District shall be 4 dwelling units per acre. Emberly Acres II expansion is proposed with a density of 3.4 (20 units on 5.84 acres).

Units Per Building

Two-unit buildings shall be permitted in the R-2 District. Duplexes are proposed.

Height

No unit shall be taller than two stories or 25 feet. Single story units are proposed under 25 feet in height.

Interior Transportation Network

Private drives are permitted within a condominium development. All private drives must be two way with a minimum surface width of 24 feet exclusive of any area used for parking. The proposed private drive expansion is 24 feet wide. No on street parking shall be permitted. The applicant

intends to install no parking signs on the sides of the drive. One access point is proposed. For condominium developments with 50 or more units, at least two primary points of ingress or egress must be provided. Overall, including this expansion, there would be 43 units total that utilize Glendora Lane. A secondary access point is not required by code.

Nonmotorized Transportation

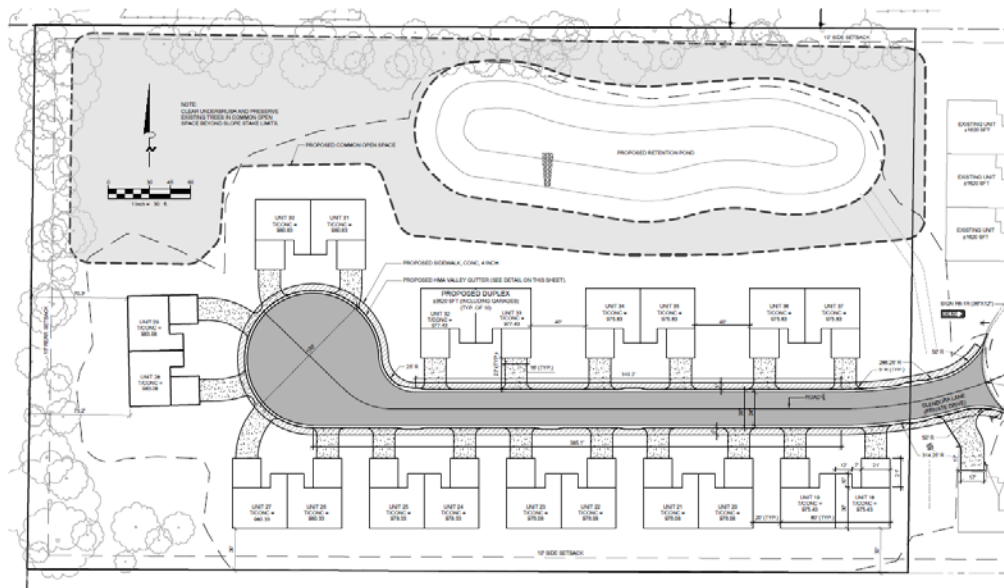
Sidewalks shall be provided on both sides of any transportation network within the condominium development. Sidewalks are proposed within the Emberly Acres II expansion. Note that when the existing Condominium for Emberly Acres II, Phase I, was approved it was under a previous version of the code where sidewalks were not required. For continuity staff anticipates the developer would extend the sidewalk through Phase I.

The Township’s adopted Non-motorized Plan shows a 6-foot-wide path along this section of S 8th Street. The segment of the shared use path along the frontage of Emberly Acres II is included as part of the site plan set for the proposed development.

Open Space

At least 10 percent of the total condominium project must be dedicated as common open space for residents’ recreational use. 12.7 percent common open space is proposed, see shaded area in the image below. Per code the dedicated common open space shall be easily accessible to residents of the condominium, including both visual accessibility from the residential units as well as pedestrian linkages through sidewalks and/or trails.

The applicant is proposing to limit the use of the proposed common open space to walking paths and other activities entailing enjoyment of the natural environment through a declaration of restrictions. However, no pedestrian linkages are proposed in the submitted plan set to provide clear access to this space. There are no visual indications that this space can be utilized as common open space for residents’ recreational use. The site plan should be updated to include the walking paths noted by the applicant.



Utilities

Public water and sanitary sewer shall be provided as part of the development. All private utilities shall be placed underground. Both public water and sanitary sewer are being provided underground.

Master Deed and Bylaws

Language shall be included in the master deed and bylaws indicating that common elements are to be properly and adequately maintained and that failure to do so will permit the Township to intervene, make the necessary improvements and ensure adequate maintenance, through an assessment to the property owners. The version of the Master Deed that staff has on file for Emberly Acres II does not provide such language. The applicant has provided an amendment to the master deed of Emberly Acres II Condominium. Said amendment does not reference the common elements of the development.

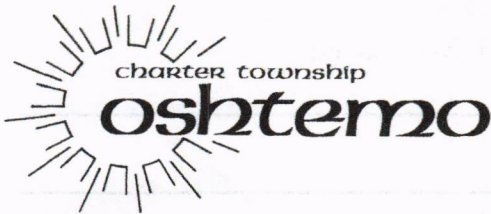
RECOMMENDATION

Staff recommends approval of the requested site plan and special use for the Emberly Acres II expansion, with the following conditions:

1. No on street parking shall be permitted. No parking signs shall be installed on the sides of the private drive.
2. Prior to building permit issuance, the site plan shall be modified so that the common open space is easily accessible to residents of the condominium. Walking paths in the common open space shall be included in the site plan and installed, including a pedestrian linkage to the paths through sidewalks and/or trails.
3. Sufficient documentation of ownership or control in the form of agreements, contracts, covenants, and/or deed restrictions shall be provided to the Township that address the dedicated common open space requirements outlined in the code.
4. The amendment to the master deed shall be updated to include language indicating that common elements are to be properly and adequately maintained and that failure to do so will permit the Township to intervene, make the necessary improvements and ensure adequate maintenance, through an assessment to the property owners.
5. General items
 - a. A SESC Permit will be required from the Kalamazoo County Drain Commission prior to building permit issuance.
 - b. The proposed water main connection shall be coordinated with the City of Kalamazoo Department of Public Services.

Attachments: Application, Site plan, First Amendment to Master Deed of Emberly Acres II Condominiums, 1998 Emberly Acres Site Plan, Amended 2018 Emberly Acres II Site Plan

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7275 W. Main Street, Kalamazoo, Michigan 49009-9334
Phone: 269-216-5223 Fax: 269-375-7180

PLEASE PRINT

PROJECT NAME & ADDRESS _____

PLANNING & ZONING APPLICATION

Applicant Name : Greg Watts
Company Prime Homes LLC
Address 415 Treasure Island Drive
Kalamazoo, MI 49071
E-mail Greg@myprimehome.net
Telephone 269-207-2495 Fax _____
Interest in Property Owner

THIS
SPACE
FOR
TOWNSHIP
USE
ONLY

OWNER*:

Name Prime Homes LLC
Address 415 Treasure Island Drive
Kalamazoo, MI 49071
Email _____
Phone & Fax 269-207-2495

Fee Amount _____
Escrow Amount _____

NATURE OF THE REQUEST: (Please check the appropriate item(s))

- | | |
|---|---|
| <input type="checkbox"/> Planning Escrow-1042 | <input type="checkbox"/> Land Division-1090 |
| <input checked="" type="checkbox"/> Site Plan Review-1088 | <input type="checkbox"/> Subdivision Plat Review-1089 |
| <input type="checkbox"/> Administrative Site Plan Review-1086 | <input type="checkbox"/> Rezoning-1091 |
| <input type="checkbox"/> Special Exception Use-1085 | <input type="checkbox"/> Interpretation-1082 |
| <input type="checkbox"/> Zoning Variance-1092 | <input type="checkbox"/> Text Amendment-1081 |
| <input type="checkbox"/> Site Condominium-1084 | <input type="checkbox"/> Sign Deviation-1080 |
| <input type="checkbox"/> Accessory Building Review-1083 | <input type="checkbox"/> Other: _____ |

BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary): _____

Review of a site plan depicting the addition of 20 condominium units (10 duplexes)
to the Emberly Acres II Condominium. The project entails extension of public
water and private sanitary sewer, a new drive, private storm sewer, and retention pond.

LEGAL DESCRIPTION OF PROPERTY (Use Attachments if Necessary):

See Attached

PARCEL NUMBER: 3905- 05-34-230-070

ADDRESS OF PROPERTY: S 8th Street

PRESENT USE OF THE PROPERTY: Vacant

PRESENT ZONING R-2 Residential **SIZE OF PROPERTY** 5.84 Acres

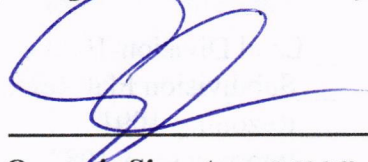
**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS
HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)

Address(es)

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshtemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.



Owner's Signature(* If different from Applicant)

2-24-21

Date

Applicant's Signature

Date

- Copies to:
- Planning -1
- Applicant -1
- Clerk -1
- Deputy Clerk -1
- Attorney-1
- Assessor -1
- Planning Secretary - Original

PLEASE ATTACH ALL REQUIRED DOCUMENTS

PRIME HOMES LLC EMBERLY ACRES II ADDITION

OWNER INFORMATION

PRIME HOMES, LLC
415 TREASURE ISLAND DRIVE
KALAMAZOO, MI 49071
269-207-2495

APPLICANT INFORMATION

PRIME HOMES, LLC
415 TREASURE ISLAND DRIVE
KALAMAZOO, MI 49071
269-207-2495

NOTES

- THE "2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND "STANDARD PLANS" BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) AND CITY OF PORTAGE "GENERAL SPECIFICATIONS" AND "STANDARD DETAILS" ARE HEREBY INCORPORATED INTO THESE CONTRACT DOCUMENTS. COPIES OF THESE STANDARDS ARE AVAILABLE FOR INSPECTION AT THE OFFICE OF THE ENGINEER.
- THE "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE INSTALLATION REV. 2020" BY THE CITY OF KALAMAZOO ARE HEREBY INCORPORATED INTO THESE CONTRACT DOCUMENTS. COPIES OF THESE STANDARDS ARE AVAILABLE FOR INSPECTION AT THE OFFICE OF THE ENGINEER.
- THE PLACING OF TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL BE DONE IN ACCORDANCE WITH THE 2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD), AS AMENDED.
- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND/OR PLANS PREPARED BY OTHERS. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSTING ALL BONDS AND INSURANCE CERTIFICATES AND SUBMITTING TRAFFIC CONTROL PLANS FOR REVIEW AND APPROVAL WHICH MAY BE REQUIRED BY THE CITY OF PORTAGE FOR THE PERMITS UNLESS OTHERWISE NOTED. WITHIN THE RESPECTIVE ROAD RIGHT-OF-WAY. THE CONTRACTOR SHALL APPLY FOR THESE PERMITS UNLESS OTHERWISE NOTED.
- IN CONFORMANCE WITH PUBLIC ACT 174 OF 2013, ALL CONTRACTORS SHALL CALL MISS DIG @ 811 OR 800-482-7171 FOR PROTECTION OF UNDERGROUND UTILITIES A MINIMUM OF THREE FULL WORKING DAYS (EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS) PRIOR TO BEGINNING EACH EXCAVATION IN ANY AREA. MEMBERS WILL THIS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
- THE CONTRACTOR SHALL LOCATE ALL ACTIVE UNDERGROUND UTILITIES PRIOR TO STARTING WORK AND SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING KALAMAZOO COUNTY TO NOTIFY THEM THAT WORK IS COMMENCING.
- FILL SHALL BE PLACED AND ADEQUATELY KEVED INTO STRIPPED AND SCARIFIED SOILS PER THE MDOT 2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION. ALL FILL MATERIAL SHOULD BE AT APPROXIMATELY THE OPTIMUM MOISTURE CONTENT DURING COMPACTION. FURTHERMORE, FILL MATERIAL SHOULD NOT BE FROZEN NOR BE PLACED ON A FROZEN BASE. IT IS RECOMMENDED THAT ALL EARTHWORK AND SITE PREPARATION ACTIVITIES BE CONDUCTED UNDER ADEQUATE SUPERVISION AND PROPERLY CONTROLLED IN THE FIELD BY A GEOTECHNICAL ENGINEERING TESTING FIRM.
- COMPACTION OF ANY FILL BY FLOODING IS NOT ACCEPTABLE. THIS METHOD WILL GENERALLY NOT ACHIEVE THE DESIRED COMPACTION, AND THE LARGE QUANTITIES OF WATER WILL TEND TO SOFTEN THE FOUNDATION SOILS.
- REFER TO SUBSURFACE SOIL INVESTIGATION PREPARED BY WAI ON OCTOBER 20, 2017 FOR FURTHER INFORMATION AND SITE DEVELOPMENT REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING DRAINAGE PATTERNS, AND SHALL RESOLVE ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WHICH MAY RESULT FROM THE CONTRACTOR'S ACTIVITIES.
- ADEQUATE DUST CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR AS DIRECTED BY THE ENGINEER IN THE FIELD, TO BE INCLUDED IN THE VARIOUS ITEMS OF WORK.
- MULCH BLANKET HIGH VELOCITY SHALL BE PLACED ON THE BOTTOM OF ALL DITCHES WHEN THE LONGITUDINAL GRADE IS GREATER THAN OR EQUAL TO 2.00% UNLESS OTHERWISE NOTED, OR AS DIRECTED BY THE ENGINEER IN THE FIELD.
- MATERIAL FOR AGGREGATE BASE SHALL BE MDOT 22A GRAVEL, 22A SLAG, 22A LIMESTONE, 22A RECYCLED CONCRETE, OR COLD MILLED, HMA MATERIAL WHICH APPROXIMATES THE GRADATION OF 22A MATERIAL. IF MILLED HMA MATERIAL IS USED, IT MAY BE USED FULL DEPTH OR ON TOP OF 22A AGGREGATE TO OBTAIN THE REQUIRED THICKNESS. 22A GRAVEL SHALL NOT BE PLACED ON TOP OF MILLED HMA MATERIAL. A MIX GREATER THAN 50% MILLED HMA MATERIAL SHALL NOT BE USED AS AN AGGREGATE FROM SEPTEMBER 15 TO MAY 1 WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
- DATUM REFERS TO NAVD88 DATUM.
- ALL SCALES FOR DRAWINGS AND DETAILS ARE BASED ON 24"x36" PRINTED PLANS. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- ALL RADII FOR CURB AND GUTTER ARE DIMENSIONED TO THE BACK OF THE CURB.
- HMA MATERIALS FOR THIS PROJECT SHALL BE PERFORMANCE GRADE 58-28.
- MAINTAIN 10 FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN THE SANITARY OR STORM SEWER AND WATER MAIN UTILITIES. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE THE WATER MAIN CROSSES A SANITARY OR STORM SEWER.
- ANY SANITARY SEWER, SANITARY SEWER SERVICE LEADS, WATER MAIN, WATER SERVICES, OR STORM SEWER THAT IS DAMAGED BY THE CONTRACTOR DURING THEIR OPERATIONS SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
- THE TELEPHONE, GAS, AND CABLE COMPANIES SHALL PROVIDE UNDERGROUND SERVICES TO THE MAIN BUILDING AT THE OWNER'S EXPENSE. THE CONTRACTOR SHALL PROVIDE SERVICE TO THE RIGHT-OF-WAY LINE. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THESE UTILITIES WITH THEIR WORK.
- ALL PERMANENT SIGNAGE SHALL COMPLY WITH THE MICHIGAN'S BARRIER FREE DESIGN REQUIREMENTS AND THE AMERICANS WITH DISABILITIES ACT.
- ALL PLUMBING WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED PLUMBER AND ACCORDING TO THE NATIONAL PLUMBING CODE AS MODIFIED BY THE STATE OF MICHIGAN AND LOCAL HEALTH DEPARTMENT. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A COMPLETE WORKING SYSTEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, INSPECTIONS AND ALL FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY. THE CONTRACTOR SHALL MAKE ALL PERMANENT UTILITY APPLICATIONS AND SHALL BE RESPONSIBLE FOR ALL APPLICABLE FEES AND UTILITY SERVICE INSTALLATION FEES, THIS INCLUDES BUT IS NOT LIMITED TO PRIMARY AND SECONDARY ELECTRICAL SERVICES, PERTAINING TO SUCH, ON BEHALF OF THE OWNER.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL PRE-EXISTING ON-SITE IMPROVEMENTS WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED. THIS INCLUDES BUT IS NOT LIMITED TO BUILDINGS, FOUNDATIONS, FOOTINGS, CURBS, ASPHALT, TREES, SHRUBS, EXISTING UTILITY LINES, DEBRIS AND ALL OTHER ITEMS AND UTILITIES TO BE ABANDONED.
- TESTING REQUIREMENTS (ALL CONTRACTORS) SOIL AND AGGREGATE DENSITY TESTING - CONTRACTOR SHALL EMPLOY AN INDEPENDENT TESTING CONSULTANT TO VERIFY THE DENSITY OF ALL FILL EXCAVATION AS SPECIFIED AND ALL SLAB, FOUNDATIONS, AND FOOTING SURFACES AS RECOMMENDED BY ENGINEER. TESTING SHALL TAKE PLACE PRIOR TO INSTALLATION OF THE AGGREGATE BASE AND PRIOR TO THE INSTALLATION OF THE HMA PAVEMENT. COPIES OF ALL COMPACTION TEST RESULTS SHALL BE FORWARDED TO THE ENGINEER.
- PROPERTY OWNER OWNS THE ADJACENT PARCEL TO THE EAST.

UTILITIES

CABLE:	CHARTER COMMUNICATIONS 4176 COMMERCIAL AVENUE PORTAGE, MI 49002 JASON TILLER (269) 459-8724 EXT 61224
ELECTRIC:	CONSUMERS ENERGY 2500 E. CORK STREET KALAMAZOO, MI 49001 MIKE SOKOLOV (269) 337-2246
GAS:	CONSUMERS ENERGY 2500 E. CORK STREET KALAMAZOO, MI 49001 KYLE OAK (269) 337-2366
TELEPHONE:	AT&T 2919 MILLCORK STREET KALAMAZOO, MI 49001 TODD BERGHUIS (269) 384-4475
FIBER OPTIC:	Q3 TECHNOLOGIES 1005 FOSTER AVENUE KALAMAZOO, MI 49048 TROY QUAKENBUSH (269) 377-1308
WATER & STORM SEWER:	CITY OF KALAMAZOO 13800 EAST MICHIGAN AVENUE GALESBURG, MI 49053 ROY SCHOONHOVEN (269) 209-4828
SEWER:	CITY OF KALAMAZOO 415 STOCKBRIDGE AVENUE KALAMAZOO, MI 49001 RYAN STOUGHTON (269) 337-8601
"MISS DIG":	811

PROJECT DESCRIPTION

PRIME HOMES, LLC IS CONTINUING THE DEVELOPMENT OF EMBERLY ACRES II WITH THE ADDITION OF TEN DUPLEXES. EXISTING PRIVATE SANITARY SEWER WILL BE EXTENDED TO EACH NEW UNIT AS INDICATED ON THE PLAN. EXISTING PUBLIC WATER MAIN WILL BE EXTENDED AND TAPPED FOR EACH NEW UNIT. THE PROPOSED SITE PLAN INCLUDES A NEW STORM INFRASTRUCTURE AND A RETENTION POND.

SITE INFORMATION

ZONING: R2
SITE AREA: 254,337 SFT (5.94 AC)
BUILDING HEIGHT: 16'-11" TO PEAK

LAND COVERAGE - PHASE II ONLY*

	EXISTING	PROPOSED
BUILDING	0 SF (0%)	35,220 SF (13.9%)
PAVEMENT	0 SF (0%)	28,830 SF (11.3%)
PERVIOUS	254,337 SF (100.0%)	190,287 SF (74.8%)
TOTAL	254,337 SF	254,337 SF

*CALCULATIONS FOR PAVEMENT INCLUDE DRIVEWAYS AND ROAD
*EXISTING AND PROPOSED AREA CALCULATIONS DO NOT INCLUDE EMBERLY ACRES PHASE I

LAND COVERAGE - TOTAL

	PROPOSED - TOTAL
TOTAL UNITS	37 UNITS
DWELLING UNIT DENSITY	3.62 UNITS / AC
OPEN COMMON AREA	56,660 SF (12.7%)(SEE SHEET C104 FOR LOCATION)
TOTAL OPEN SPACE	319,095 SF (71.8%)
TOTAL	444,582 SF (10.21 AC)

INDEX OF PLANS

C101	COVER SHEET
C102	BOUNDARY AND TOPOGRAPHIC SURVEY
C103	SOIL EROSION AND SEDIMENTATION CONTROL PLAN
C104	PROPOSED LAYOUT
C105	STORMWATER MANAGEMENT PLAN
C106	ENTIRE CONDOMINIUM DRAWING
CG101	PLAN AND PROFILE - STA 0+00 TO STA 6+25
CL101	LANDSCAPE PLAN
CU101	WATER MAIN DETAILS
CU102	SANITARY SEWER DETAILS
A101	CONCEPTUAL EXTERIOR ELEVATIONS

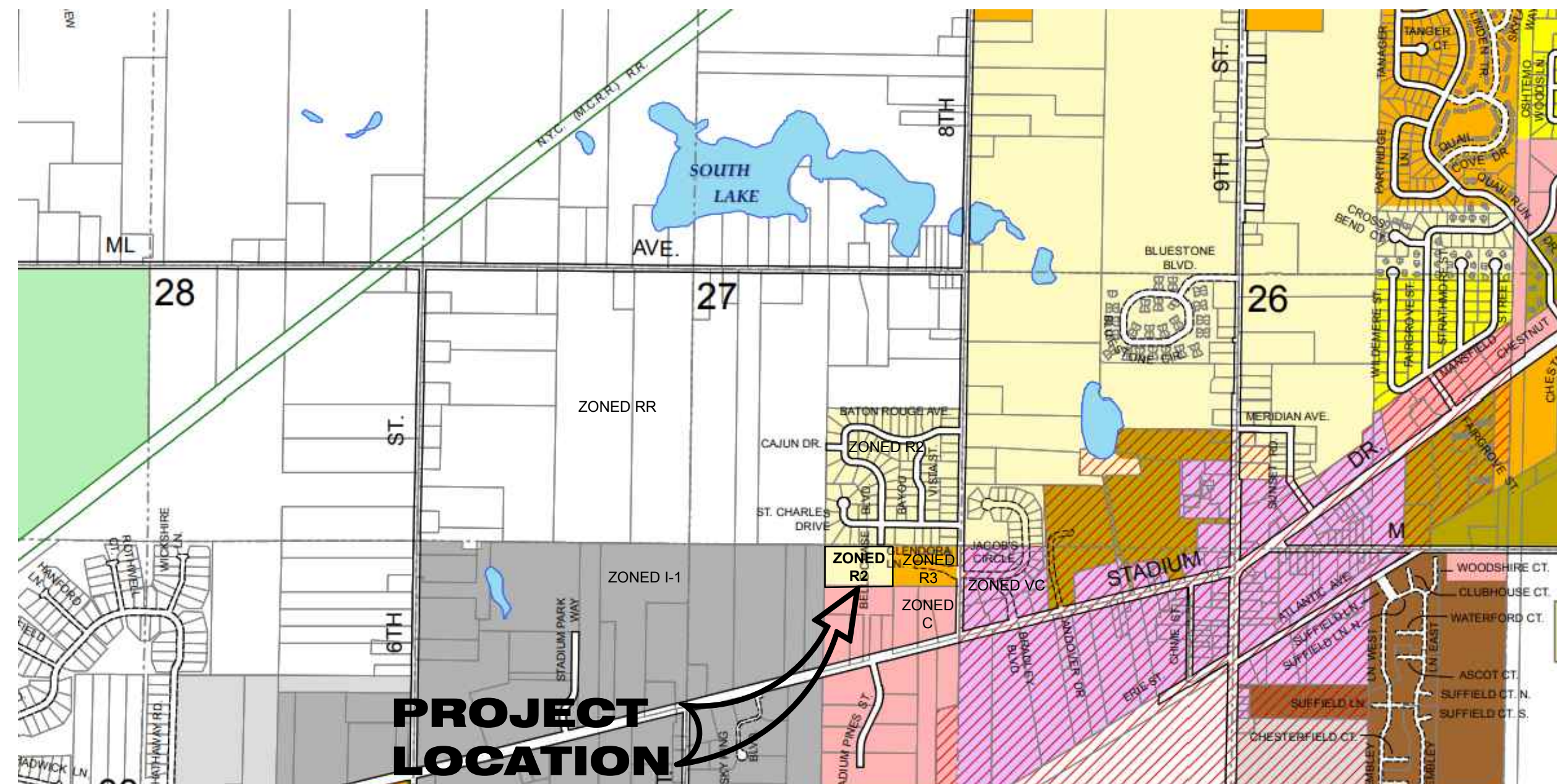
LEGEND

	= EXISTING CABLE
	= EXISTING ELECTRIC LINE
	= EXISTING ELECTRIC LINE (OVERHEAD)
	= EXISTING FIBER OPTIC LINE
	= EXISTING GAS LINE
	= EXISTING TELEPHONE LINE
	= EXISTING FENCE
	= EXISTING FORCEMAIN
	= EXISTING GUARDRAIL
	= EXISTING SANITARY SEWER
	= EXISTING STORM SEWER
	= EXISTING TREE LINE
	= EXISTING WATER MAIN
	= EXISTING DITCH LINE
	= TO BE ABANDONED
	= PROPOSED ELECTRIC LINE
	= PROPOSED FENCE
	= PROPOSED FORCEMAIN
	= PROPOSED GAS LINE
	= PROPOSED GUARDRAIL
	= PROPOSED SANITARY SEWER
	= PROPOSED STORM SEWER
	= PROPOSED TELEPHONE LINE
	= PROPOSED WATER MAIN
	= EXISTING CENTER LINE
	= PROPOSED CENTER LINE
	= EASEMENT LINE/GRADING PERMIT
	= GRADING LIMITS/LIMITS OF DISTURBANCE
	= PROPERTY LINE
	= RIGHT-OF-WAY LINE
	= SECTION LINE

	= ANTENNA
	= CATCH BASIN
	= CABLE RISER BOX
	= CLEAN OUT
	= CURB INLET
	= ELECTRIC MANHOLE
	= FIRE HYDRANT
	= FOUND IRON PIPE
	= GAS VALVE
	= GULLY ANCHOR
	= LIGHT POLE
	= MAILBOX
	= MONITORING WELL
	= POST
	= SATELLITE DISH
	= SANITARY MANHOLE
	= SECTION CORNER
	= SIGN
	= PAVEMENT/SOIL BORING
	= PROPOSED HYDRANT
	= PROPOSED GATE VALVE & BOX
	= PROPOSED LIGHT POLE
	= PROPOSED REDUCER
	= PROPOSED SANITARY MANHOLE
	= PROPOSED STORM MANHOLE
	= STORM MANHOLE
	= TELEPHONE MANHOLE
	= TELEPHONE RISER BOX
	= TURNING POINT/TRVERSE
	= UTILITY POLE
	= VAULT
	= WATER ELEVATION
	= WATER MANHOLE
	= WATER METER
	= WATER VALVE
	= WATER SPIGOT
	= WELL
	= NFFV = NOT FIELD VERIFIED

TREE DESIGNATORS

	= BUSH
	= CONIFEROUS TREE
	= CONIFEROUS TREE TO BE REMOVED
	= DECIDUOUS TREE
	= DECIDUOUS TREE TO BE REMOVED
	= EXISTING STUMP



PROJECT LOCATION

VICINITY MAP NOT TO SCALE

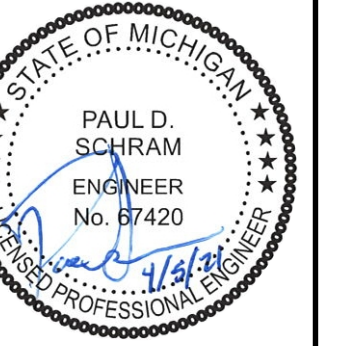


BENTON HARBOR
2303 Pipestone Road
Benton Harbor, MI 49022
Phone: 269.927.0100

PORTAGE
9835 Portage Road
Portage, MI 49002
Phone: 269.327.3532

ALLEGAN
1670 Lincoln Road
Allegan, MI 49010
Phone: 269.673.8465

www.gowightman.com



PROJECT NAME:
**EMBERLY ACRES II
ADDITION**
OSHTEMO TOWNSHIP

PRIME HOMES LLC
415 TREASURE ISLAND DRIVE
KALAMAZOO, MI 49071

02/04/2021 PDS
REVISIONS PER TOWNSHIP
COMMENTS

01/02/2021 PDS
SUBMITTED FOR SITE PLAN
REVIEW

REVISIONS

DATE: FEBRUARY 2021
SCALE: NTS

COVER SHEET

JOB No. 204172

C101



WIGHTMAN

BENTON HARBOR

269.927.0100

KALAMAZOO

269.327.3532

ALLEGAN

269.673.8465

ROYAL OAK

248.791.1371

www.gowightman.com

PROJECT NAME:
**EMBERLY ACRES II
ADDITION**
OSHTEMO TOWNSHIP

PRIME HOMES LLC
415 TREASURE ISLAND DRIVE
KALAMAZOO, MI 49071

02 04/02/2021 PDS
REVISIONS PER TOWNSHIP
COMMENTS

01 02/23/2021 PDS
SUBMITTED FOR SITE PLAN
REVIEW

REVISIONS

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DATE: FEBRUARY 2021

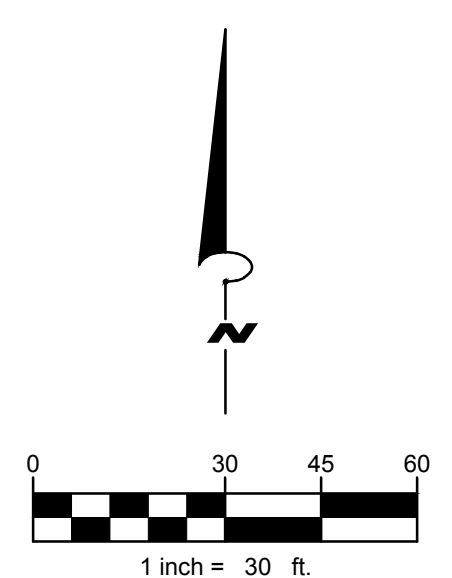
SCALE: 1" = 30'

**BOUNDARY AND
TOPOGRAPHIC
SURVEY**

JOB No. 204172

C102

OF 11



LEGEND

- | | | | | |
|----------------------|---------------------------|---------|---------|--------------------------|
| ○ = FOUND IRON | ○ = STORM MANHOLE | — C — | — C — | CABLE |
| ⚡ = ANTENNA | ○ = TELEPHONE MANHOLE | — E — | — E — | ELECTRIC LINE |
| □ = CATCH BASIN | □ = TELEPHONE RISER BOX | — O/E — | — O/E — | ELECTRIC LINE (OVERHEAD) |
| □ = CABLE RISER BOX | ● = TURNING POINT/TRVERSE | — FO — | — FO — | FIBER OPTIC LINE |
| ○ = CLEAN OUT | ⚡ = UTILITY POLE | — G — | — G — | GAS LINE |
| ■ = CURB INLET | ⌘ = VAULT | — T — | — T — | TELEPHONE LINE |
| ⊙ = ELECTRIC MANHOLE | ⊙ = WATER ELEVATION | — F — | — F — | FENCE |
| ⊙ = FIRE HYDRANT | ⊙ = WATER MANHOLE | — FM — | — FM — | FORCEMAIN |
| ● = FOUND IRON PIPE | ⊙ = WATER METER | — SS — | — SS — | SANITARY SEWER |
| ⊙ = GAS VALVE | ⊙ = WATER VALVE | — S — | — S — | STORM SEWER |
| ⊙ = GUY ANCHOR | ⊙ = WATER SPIGOT | — W — | — W — | WATER MAIN |
| ⊙ = LIGHT POLE | ⊙ = WELL | — EA — | — EA — | EDGE OF ASPHALT |
| ⊙ = MAILBOX | | — E — | — E — | EASEMENT LINE |
| ⊙ = MONITORING WELL | | — P — | — P — | PROPERTY LINE |
| ⊙ = POST | | — RW — | — RW — | RIGHT-OF-WAY LINE |
| ⊙ = SATELLITE DISH | | — S — | — S — | SECTION LINE |
| ⊙ = SANITARY MANHOLE | | | | |
| ⊙ = SECTION CORNER | | | | |
| ⊙ = SIGN | | | | |

LEGAL DESCRIPTION

THE NORTH 396.00 FEET OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 2 SOUTH, RANGE 12 WEST, OSHTEMO TOWNSHIP, KALAMAZOO COUNTY, MICHIGAN, EXCEPT THE EAST 670.00 FEET THEREOF. CONTAINING 5.84 ACRES MORE OR LESS.

SUBJECT TO SURVEY.

SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE SEARCH.

SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD OR OTHERWISE.

SURVEY NOTES

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

THIS PARCEL IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER INFORMATION OBTAINED FROM NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, MAP NUMBER 26077C0175D, EFFECTIVE DATE FEBRUARY 17, 2010.

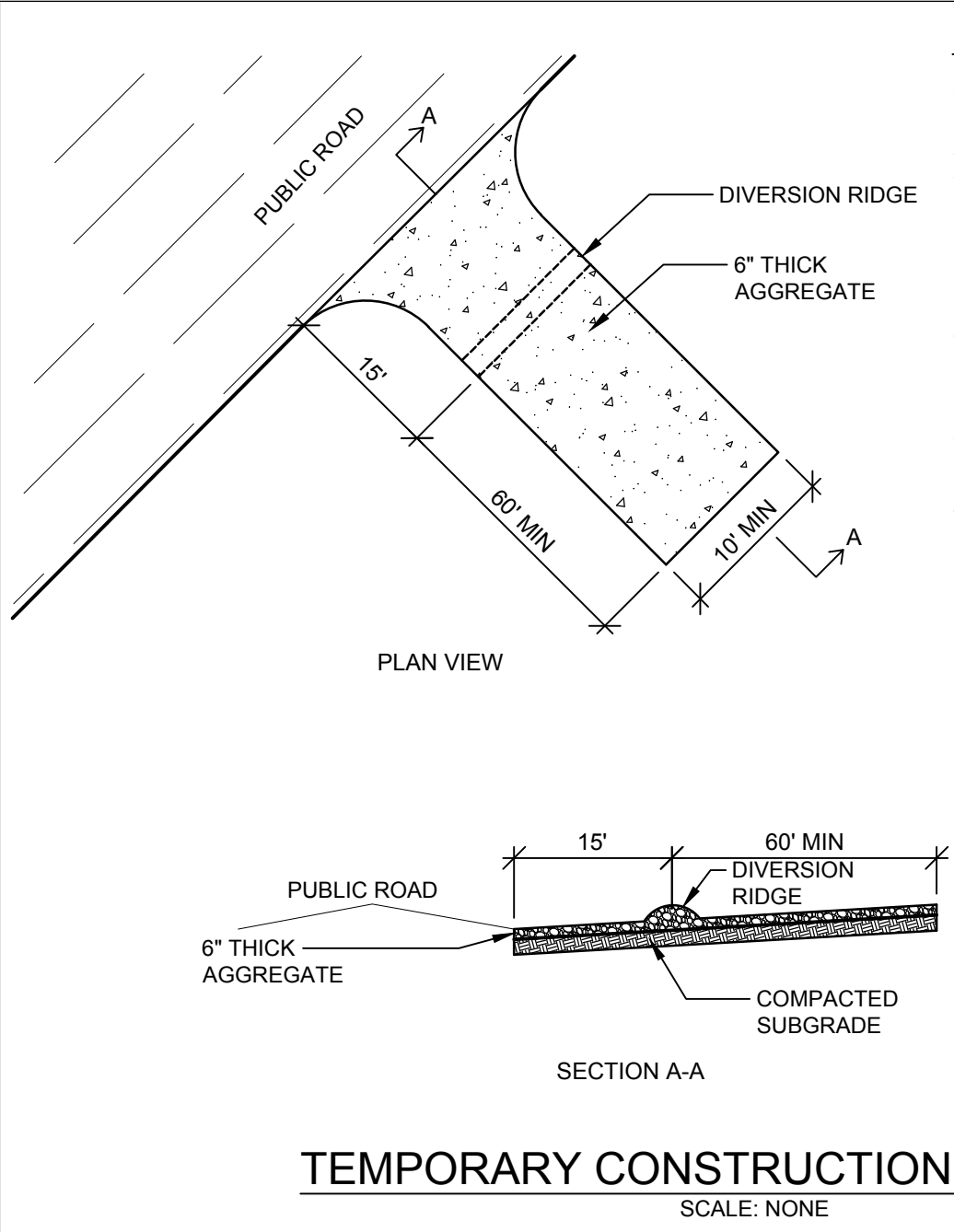
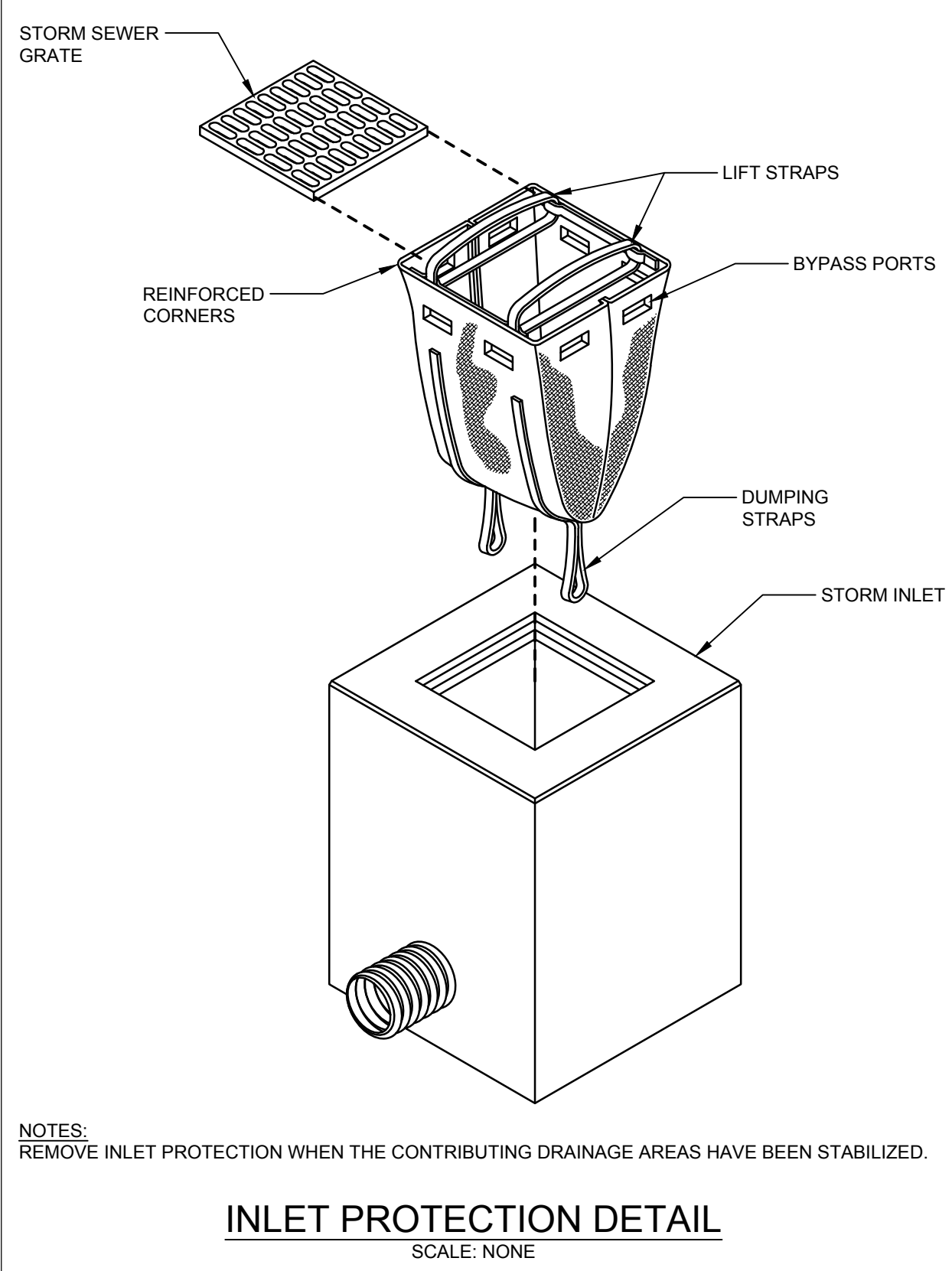
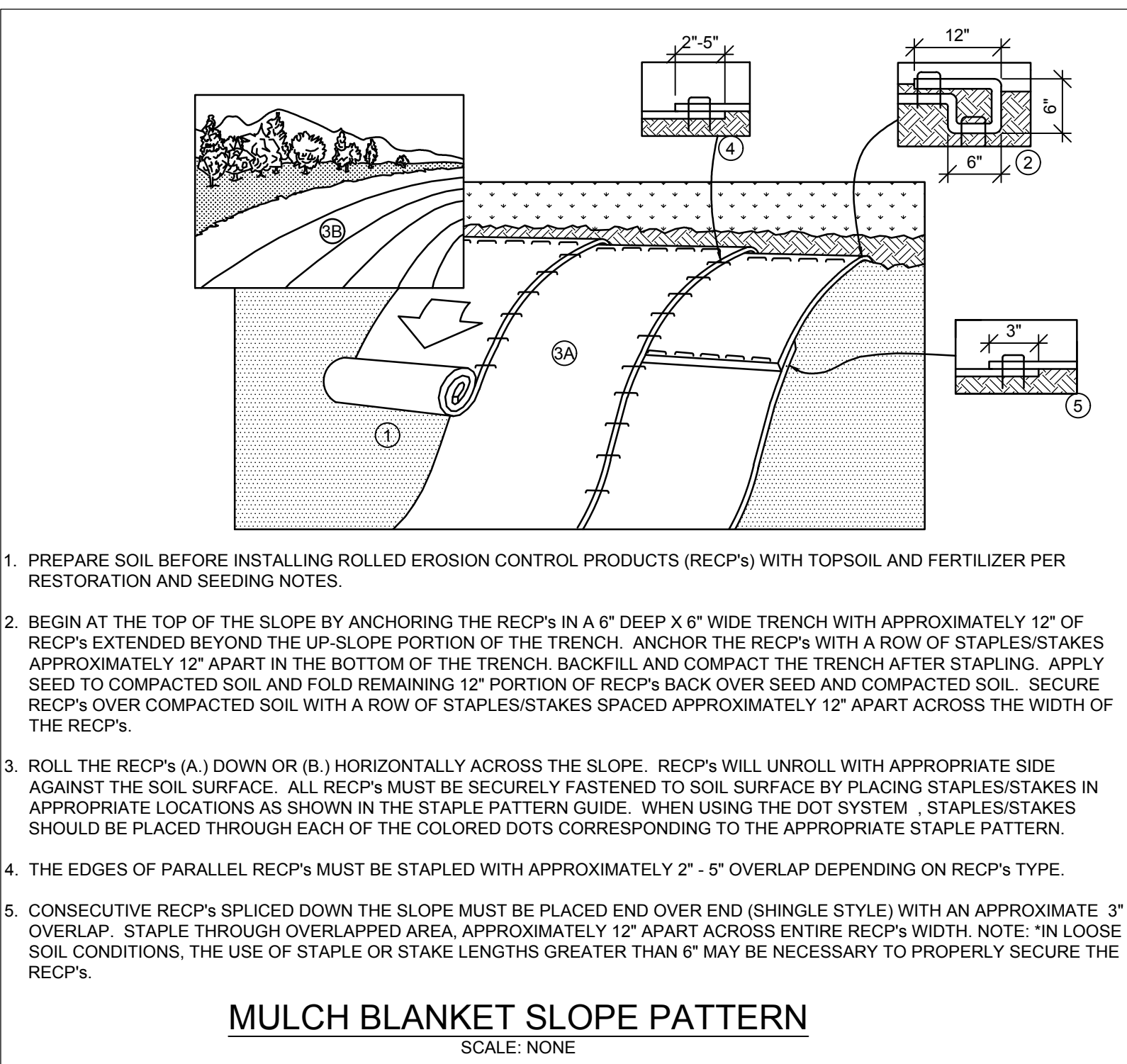
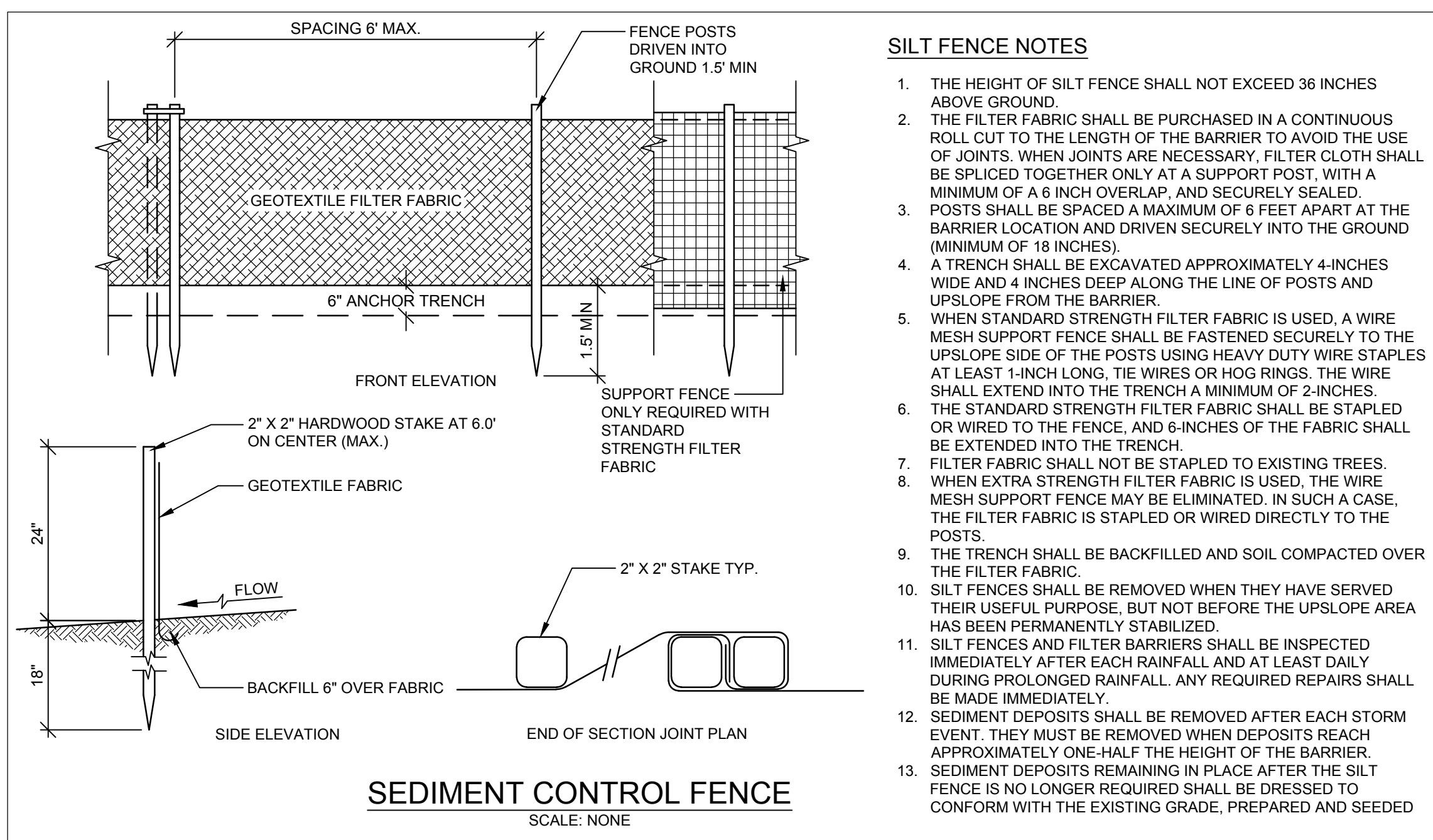
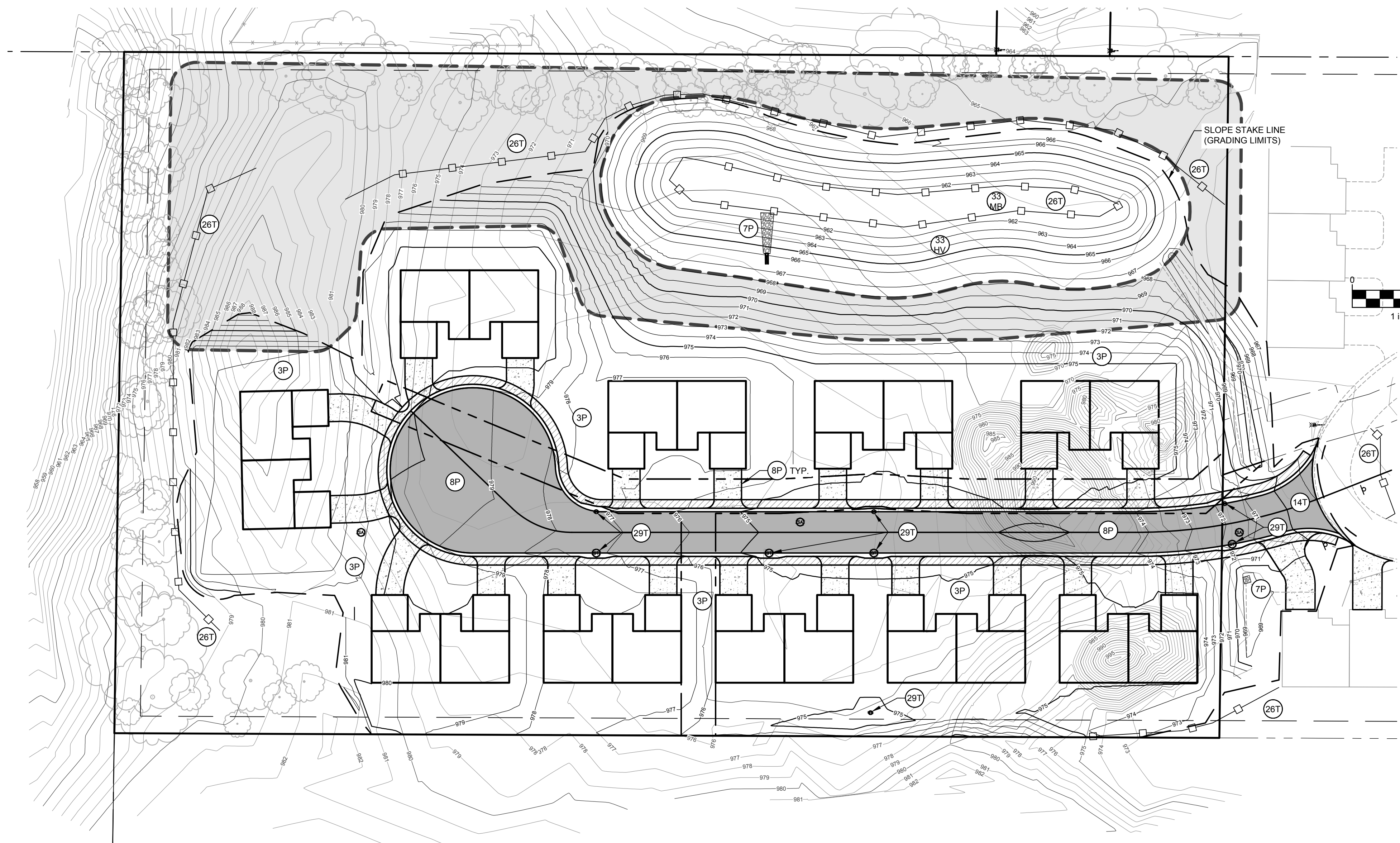
CONCRETE MONUMENTS TO BE SET AT ALL CONDOMINIUM PERIMETER CORNERS PRIOR TO RECORDING OF MASTER DEED

SOIL EROSION & SEDIMENTATION CONTROL NOTES

- ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH THE MICHIGAN SOIL EROSION AND SEDIMENTATION CONTROL ACT. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE CITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE CITY "SOIL EROSION PERMIT." EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.
- AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER, THESE COVERED AREAS ACT AS SEDIMENT FILTERS.
- ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.
- GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSEWHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SODDING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.
- MAINTENANCE, CLEANING, AND REMOVAL OF THE VARIOUS SEDIMENT CONTROL MEASURES SHALL BE INCLUDED IN THE VARIOUS EROSION CONTROL ITEMS.

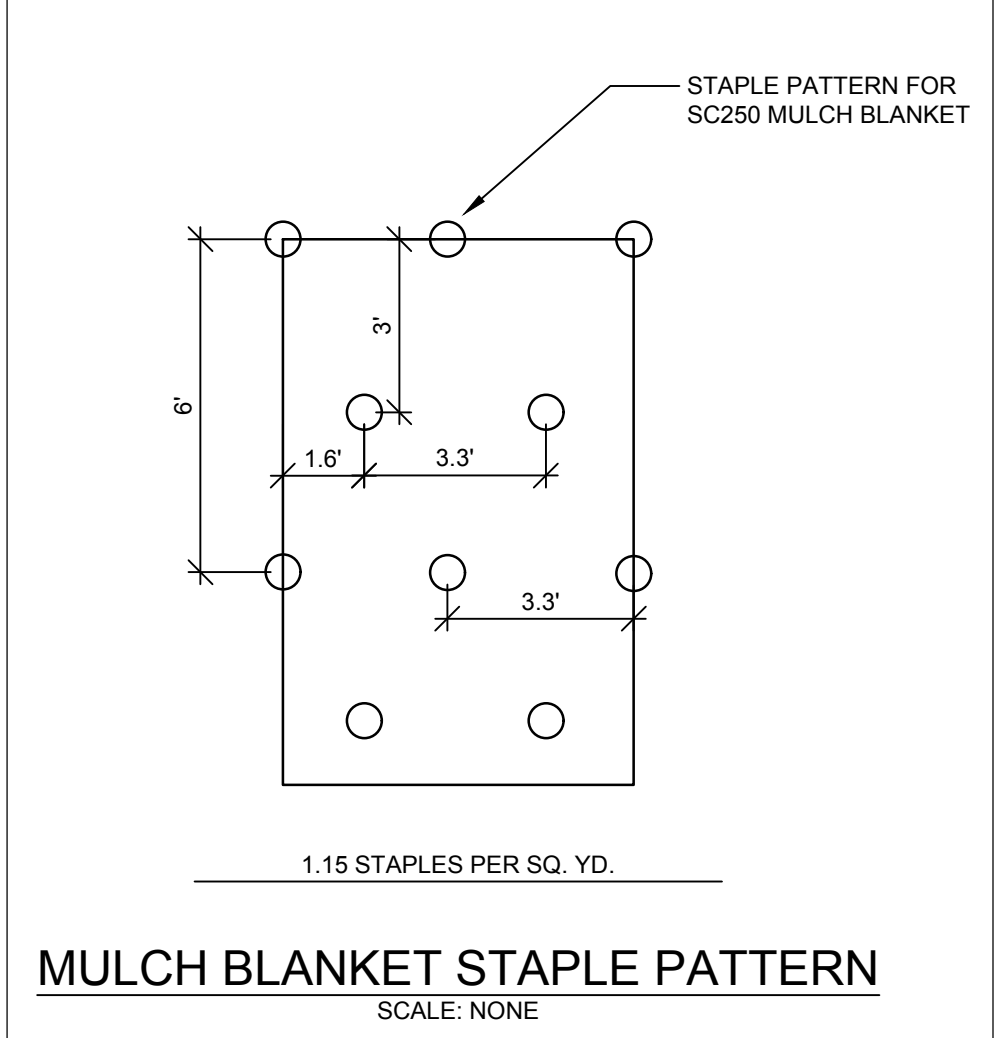
NUMBER IN CIRCLE REFERS TO NUMBERED DETAILS ON MDOT STANDARD PLAN R-96 SERIES, SOIL EROSION & SEDIMENTATION CONTROL MEASURES. "P" DENOTES PERMANENT MEASURE AND "T" DENOTES TEMPORARY MEASURE. SOIL EROSION CONTROL PLANS DENOTE MINIMUM EROSION MEASURES REQUIRED AS DESCRIBED BELOW.

- 3P DENOTES PERMANENT SEEDING. ALL DISTURBED AREAS NOT PAVED OR GRAVELED SHALL BE RESTORED. PLACE TOPSOIL SURFACE, SALV. 4 INCH; MDOT SEEDING, MIXTURE THM APPLIED AT A RATE OF 176 LB/ACRE; FERTILIZER, CHEMICAL NUTRIENT, CL A APPLIED AT A RATE OF 228 LB/ACRE; MULCH AT A RATE OF 2 TON/ACRE AND MULCH ANCHORING. (APPLIES TO ENTIRE PROJECT)
- 7P DENOTES RIPRAP, PLAIN. INSTALL RIPRAP, PLAIN AS DIRECTED BY THE ENGINEER IN THE FIELD. THE RIPRAP, PLAIN PAY ITEM SHALL INCLUDE A GEOTEXTILE UNDERLAYMENT.
- 8P DENOTES AGGREGATE COVER/PERMANENT PAVEMENT RESTORATION
- 14T DENOTES GRAVEL ACCESS APPROACH. APPROACH SHALL BE INSTALLED TO PROVIDE STABLE ACCESS TO ROADWAYS AND MINIMIZE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS. THE APPROACH SHALL BE A MINIMUM OF 10' WIDE, 6" DEEP, AND CONSIST OF 2"-4" AGGREGATE
- 26T DENOTES TEMPORARY SILT FENCE. SILT FENCE SHALL BE INSTALLED AT CREEK CROSSINGS, ADJACENT TO ALL WETLANDS AND SURFACE WATERS, AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. EACH SILT FENCE SHALL BE INSTALLED GENERALLY ALONG THE SAME CONTOUR ELEVATION.
- 29T DENOTES INLET PROTECTION FABRIC DROP. SHALL BE INSTALLED AT EXISTING AND PROPOSED STORM SEWER INLETS TO PROVIDE SETTLING AND FILTERING OF SILT LADEN WATER PRIOR TO ENTRY INTO THE DRAINAGE SYSTEM.
- 33 MP DENOTES MULCH BLANKETS. MULCH BLANKET SHALL BE PROVIDED AT LOCATIONS SHOWN ON THE PLANS, AT SLOPES GREATER THAN 1:3, AREAS WITH CONCENTRATED FLOWS, AND AS DIRECTED BY THE ENGINEER IN THE FIELD, TO PREVENT RUNOFF AND EROSION.
- 33 HV DENOTES HIGH VELOCITY MULCH BLANKETS FOR USE ON STEEP BANKS. PROVIDE MULCH BLANKET, HIGH VELOCITY CENTERED ON ALL DITCH BOTTOMS WITH A LONGITUDINAL GRADE OF 2.00% OR GREATER AND AT OTHER LOCATIONS AS DIRECTED BY THE ENGINEER IN THE FIELD.



NOTES

- UTILIZE EXISTING DRIVEWAY AND ADD STONE AS REQUIRED WHEN POSSIBLE.
- COARSE AGGREGATE (2" TO 4" DIA.)
- PLACE GEOTEXTILE OVER ENTIRE AREA PRIOR TO AGGREGATE PLACEMENT.
- SURFACE WATER TO BE ROUTED AROUND CONSTRUCTION ENTRANCE WITH CULVERT UNDER ENTRANCE OR MOUNTABLE BERM AROUND ENTRANCE.
- THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC ROAD. PERIODIC PLACEMENT OF ADDITIONAL AGGREGATE MAY BE REQUIRED.
- ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROAD SHALL BE REMOVED IMMEDIATELY.
- WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING PUBLIC ROADS. IF WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PROVIDE PERIODIC INSPECTION AND MAINTENANCE, INCLUDING AFTER EACH RAIN EVENT.



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ALLEGAN
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ROYAL OAK
248.791.1371

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PROJECT NAME:
EMBERLY ACRES II ADDITION
OSHTEMO TOWNSHIP

PRIME HOMES LLC
415 TREASURE ISLAND DRIVE
KALAMAZOO, MI 49071

02/04/2021 PDS REVISIONS PER TOWNSHIP COMMENTS
01/02/23/2021 PDS SUBMITTED FOR SITE PLAN REVIEW

REVISIONS

DATE: FEBRUARY 2021
SCALE: 1" = 40'

SOIL EROSION AND SEDIMENTATION CONTROL PLAN

Job No. 204172
C103
OF 11



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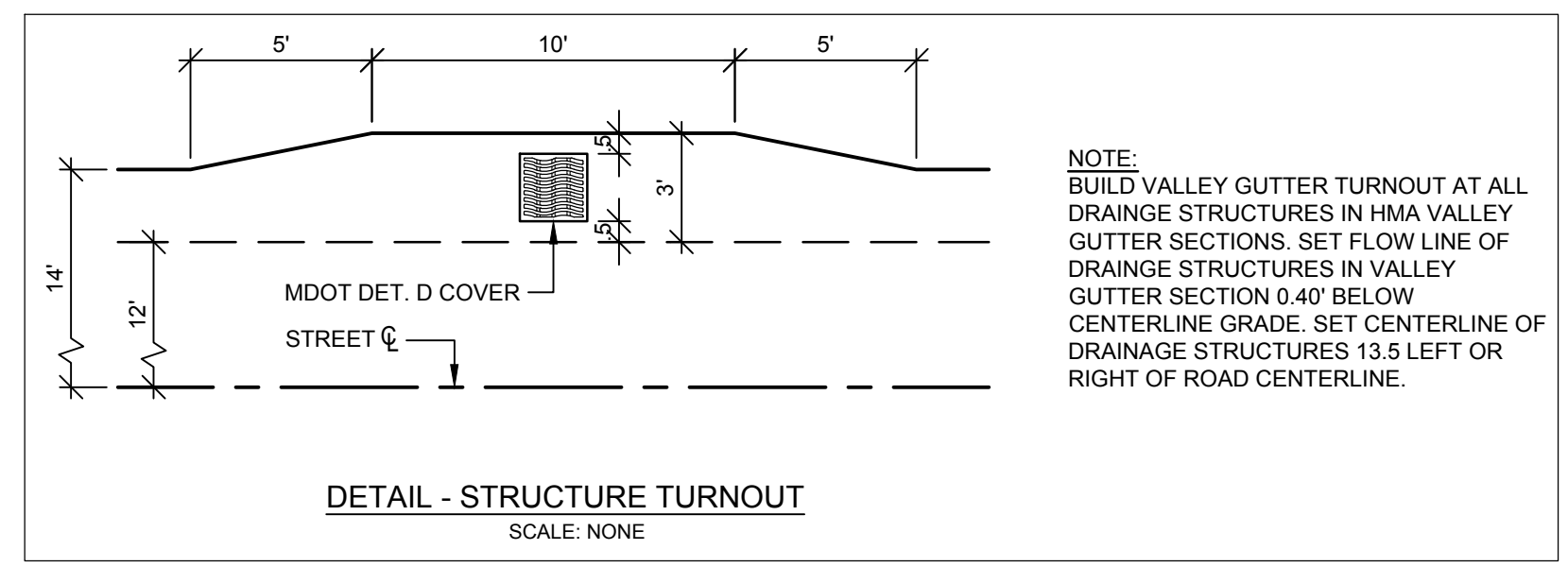
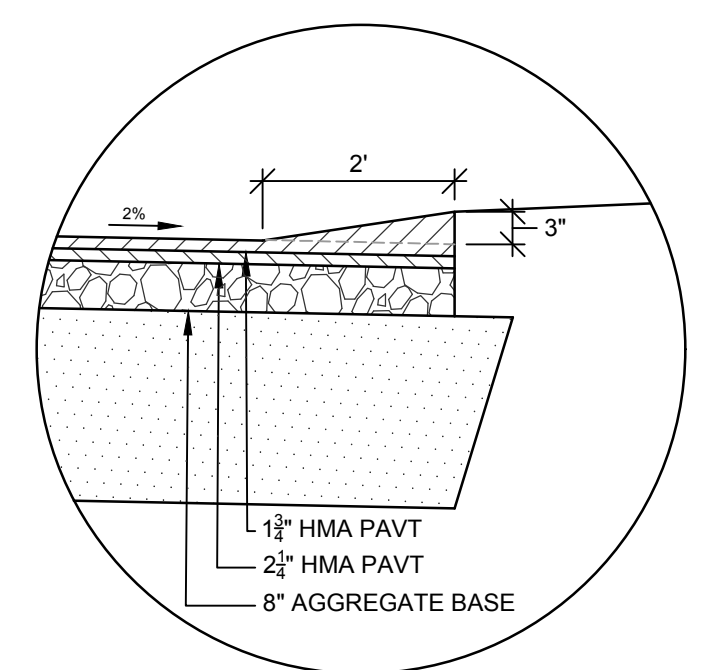
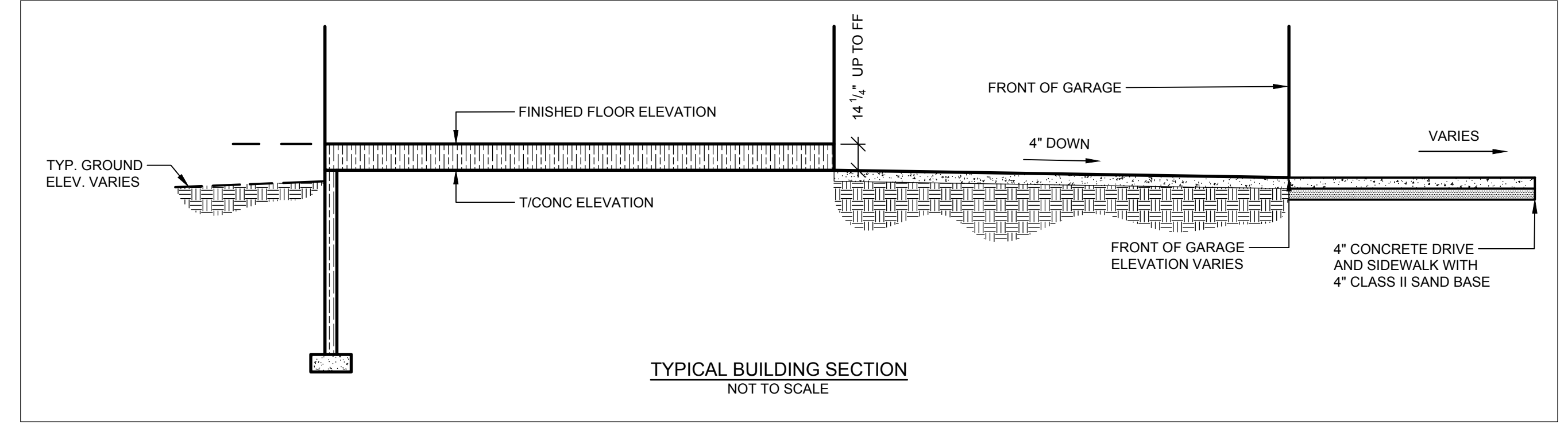
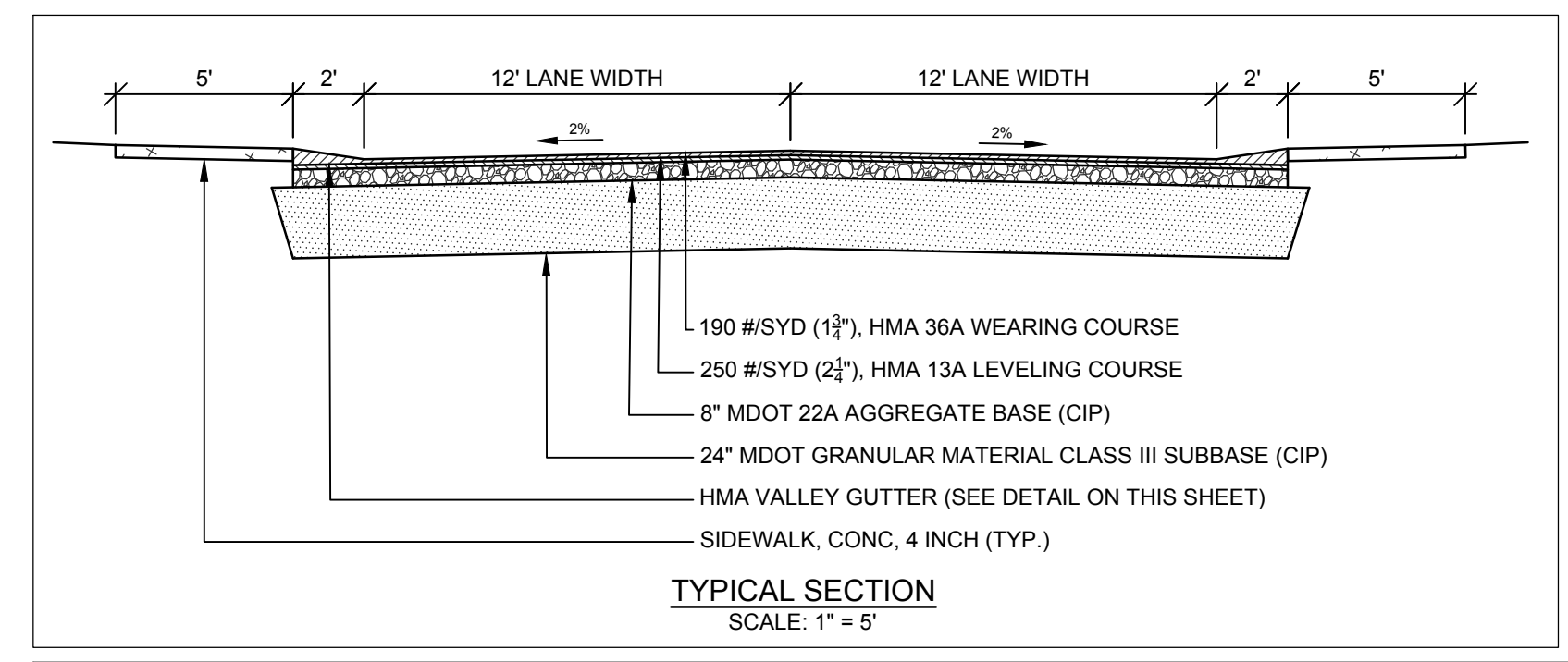
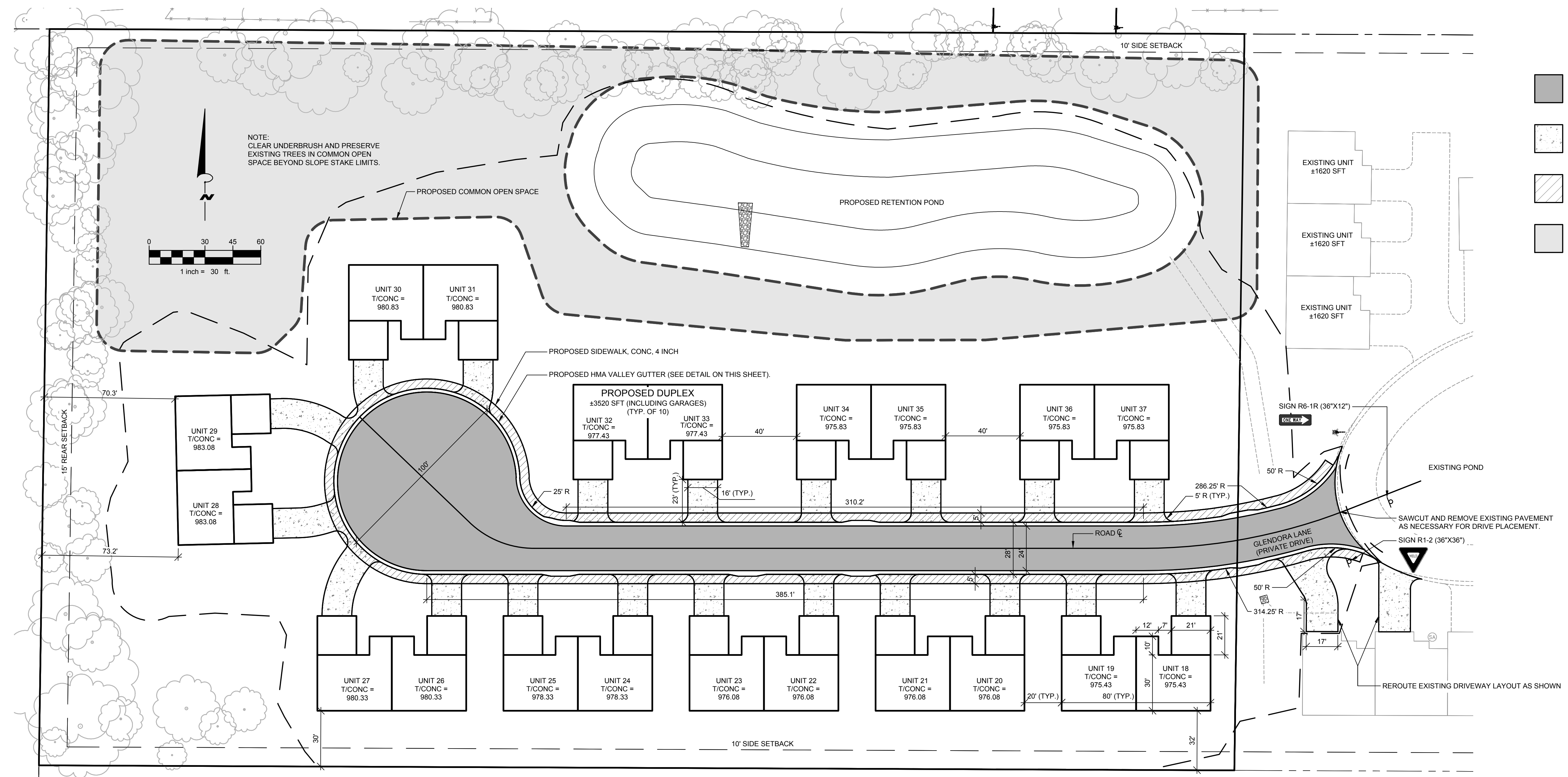
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LEGEND

- SURFACE WITH AGGREGATE BASE, 8 INCH, 22A; 190 #/SYD HMA, 13A LEVELING; AND 250 #/SYD HMA, 36A WEARING.
- CONCRETE PAVEMENT, NONREINF, 4 INCH
- SIDEWALK, CONC, 4 INCH
- COMMON OPEN SPACE



PROJECT NAME:
EMBERLY ACRES II ADDITION
OSHTEMO TOWNSHIP

PRIME HOMES LLC
415 TREASURE ISLAND DRIVE
KALAMAZOO, MI 49071

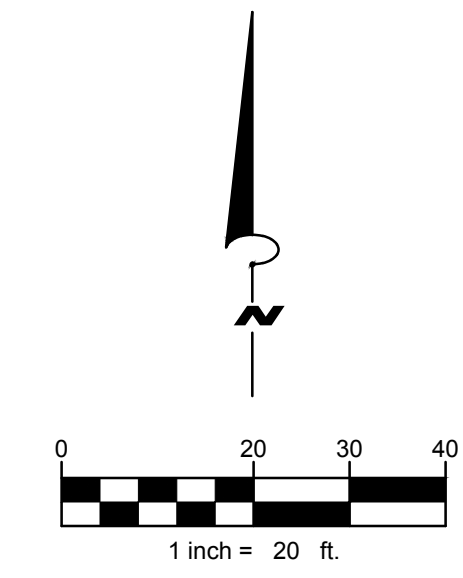
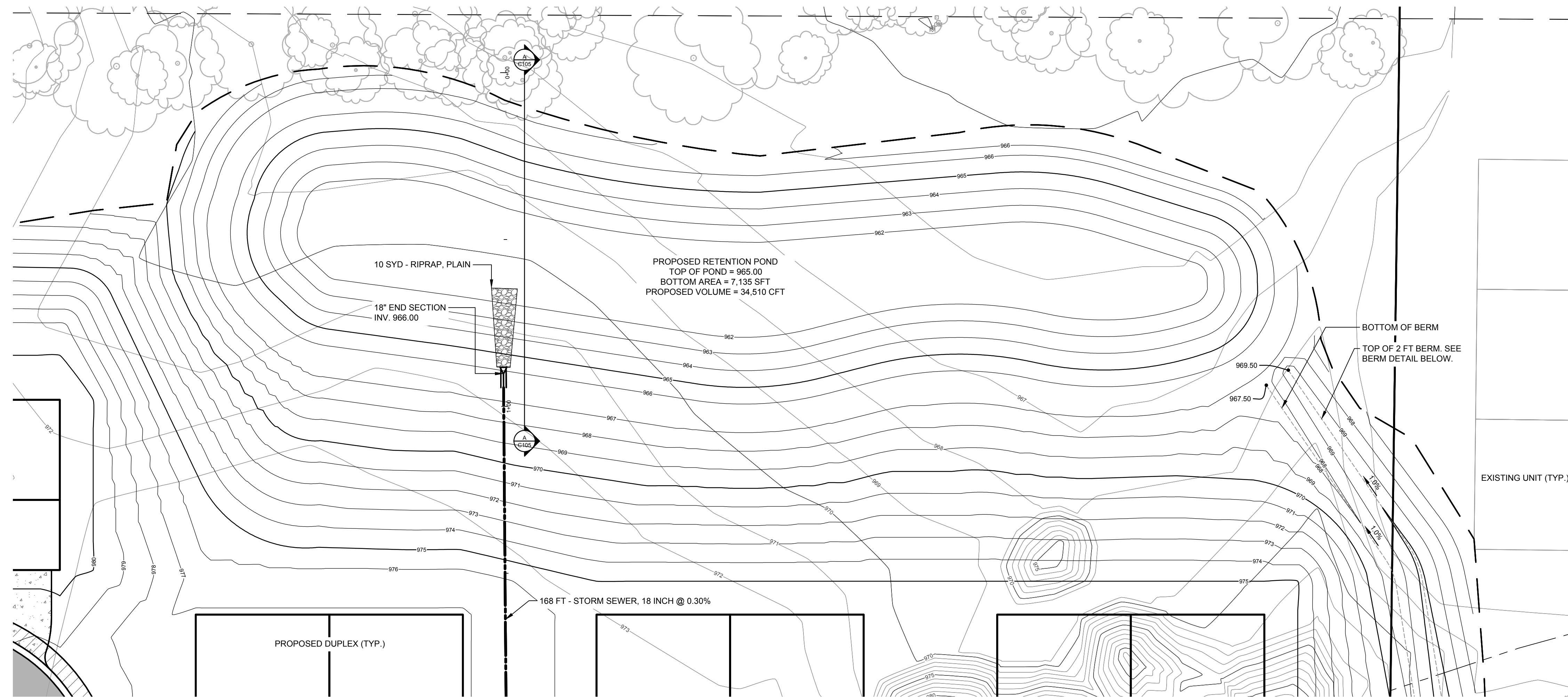
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01/02/23/2021 PDS SUBMITTED FOR SITE PLAN REVIEW

REVISIONS

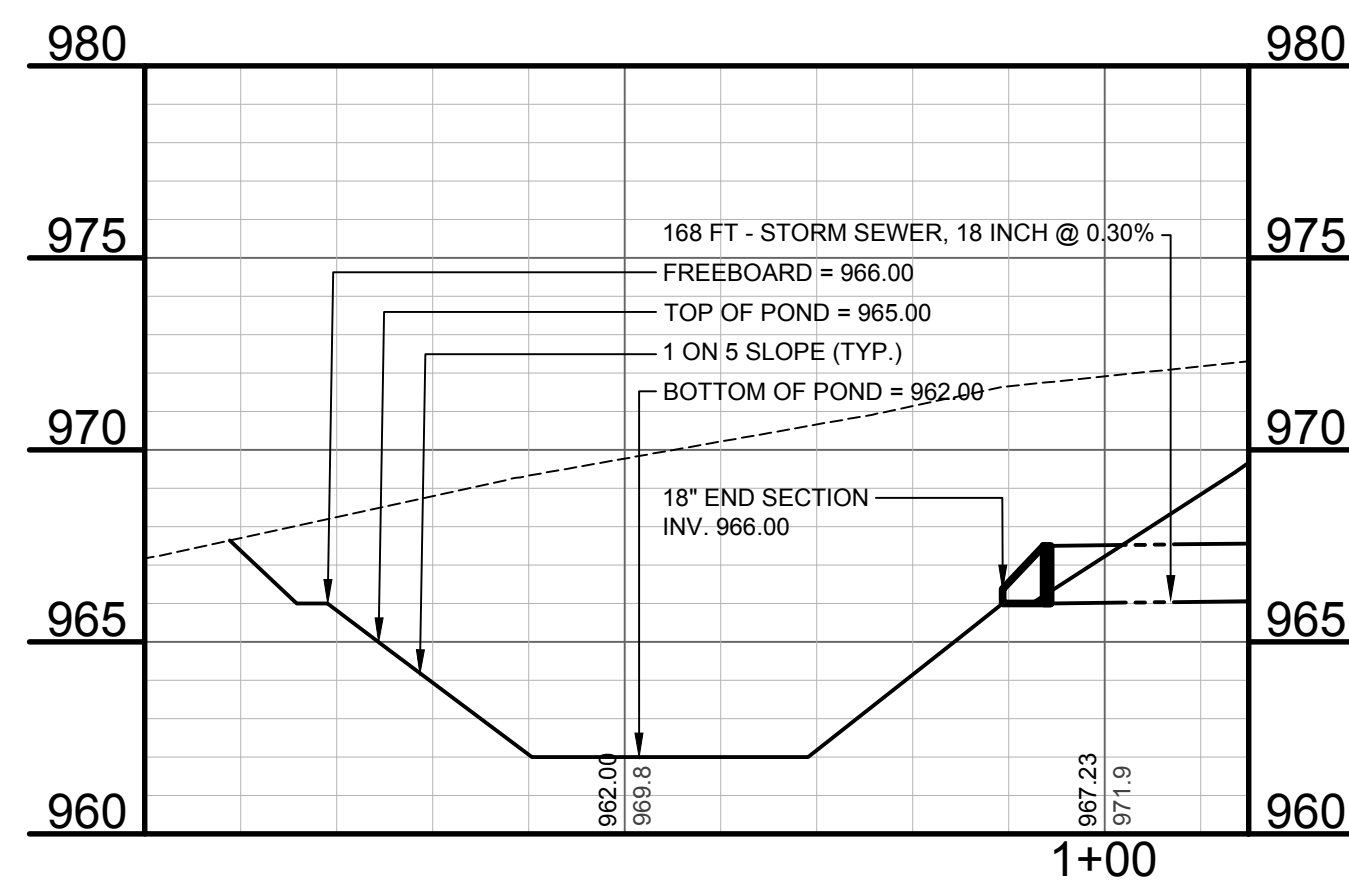
DATE: FEBRUARY 2021
SCALE: VARIES

PROPOSED LAYOUT



PLAN - PROPOSED RETENTION POND
SCALE: 1" = 20'

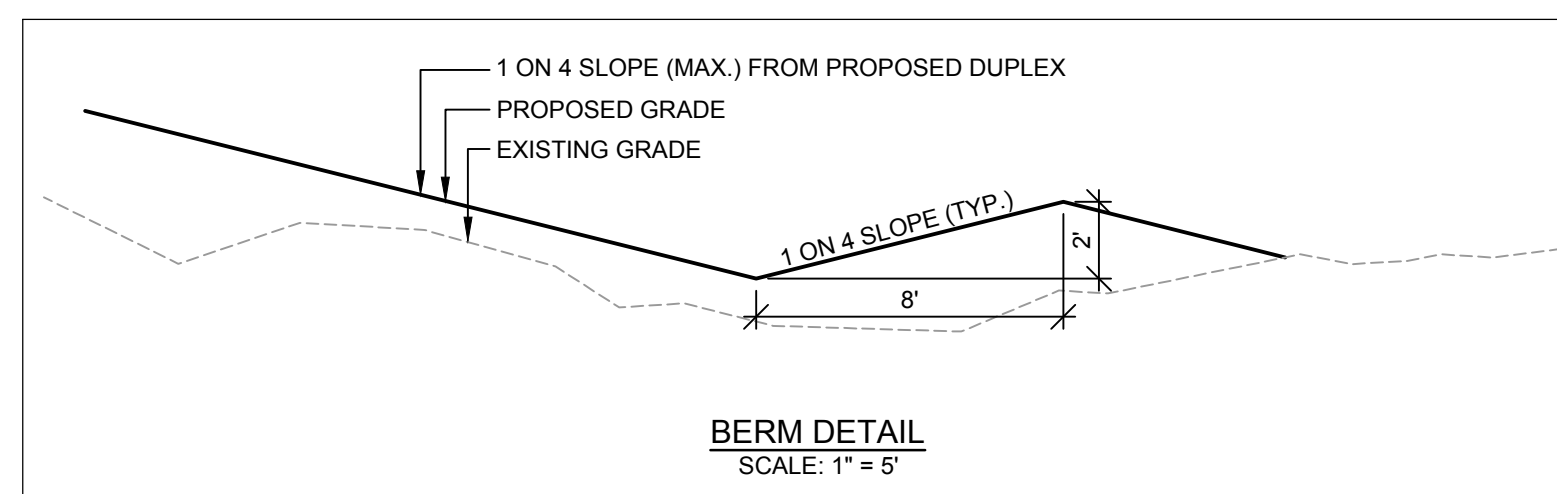
STAGE STORAGE TABLE					
ELEV	AREA (sq. ft.)	DEPTH (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	REMARK
962.00	7,134.36	N/A	N/A	0.00	BOTTOM
963.00	10,103.06	1.00	8618.71	8618.71	N/A
964.00	13,228.80	1.00	11665.93	20284.64	N/A
965.00	16,511.44	1.00	14870.12	35154.75	TOP
966.00	19,949.50	1.00	18230.47	53385.22	FREEBOARD



SECTION A-A: PROPOSED RETENTION POND
SCALE: 1" = 20'H, 5'V

C Value Calculation			
	Area (SF)	Area (AC)	C
Building Area	35,220	0.81	0.9
Paved Area	28,830	0.66	0.9
Open Space	153,640	3.53	0.2
Total Catchment Area	217,690	5.00	
Composite C			0.406

Required Storage Volume	
Total Area (SF)	217,690
Total Area (AC)	5.00
Impervious Area (SF)	64,050
Impervious Area (AC) A ₁	1.47
Pervious Area (AC) A ₂	3.53
C (Impervious) C ₁	0.9
C (Pervious) C ₂	0.2
Hydraulically Engaged Area (SF)	16,515
Design Infiltration Rate (IN/HR)	0.52
Q ₀ (CFS)	0.20
25 Year Required Storage (CF)	23,544
100 Year Required Storage (CF)	33,480





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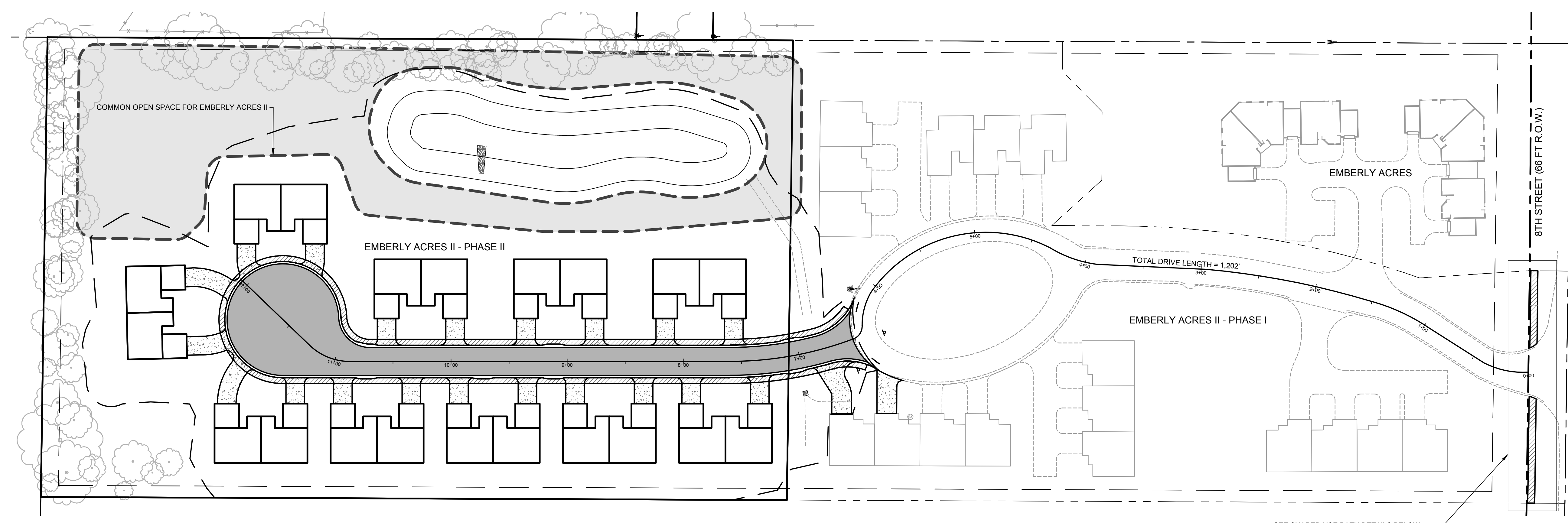
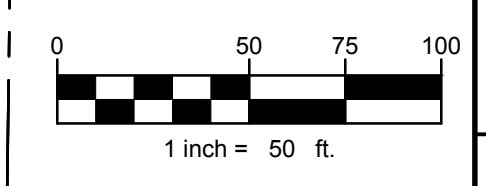
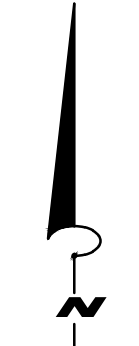
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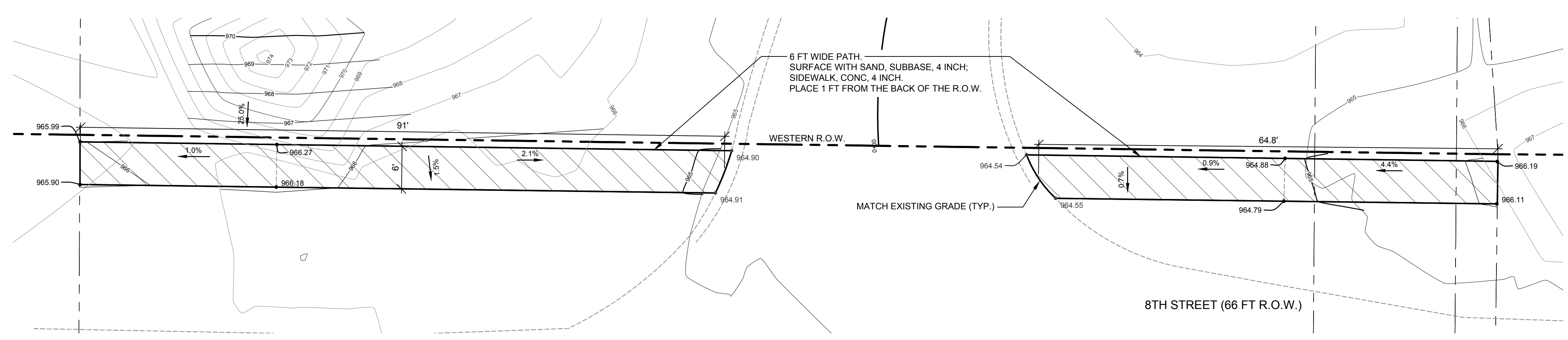
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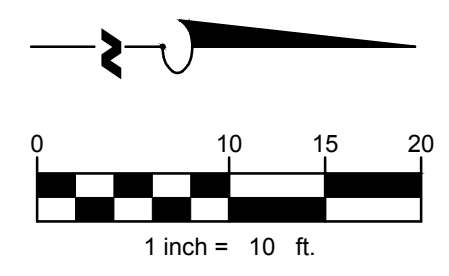
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TOTAL EMBERLY ACRES II PROJECT: PHASES I & II
SCALE: 1" = 50'



SHARED USE PATH @ 8TH STREET
SCALE: 1" = 10'



PROJECT NAME:
**EMBERLY ACRES II
ADDITION**
OSHTEMO TOWNSHIP

PRIME HOMES LLC
415 TREASURE ISLAND DRIVE
KALAMAZOO, MI 49071

02 04/02/2021 PDS
REVISIONS PER TOWNSHIP
COMMENTS

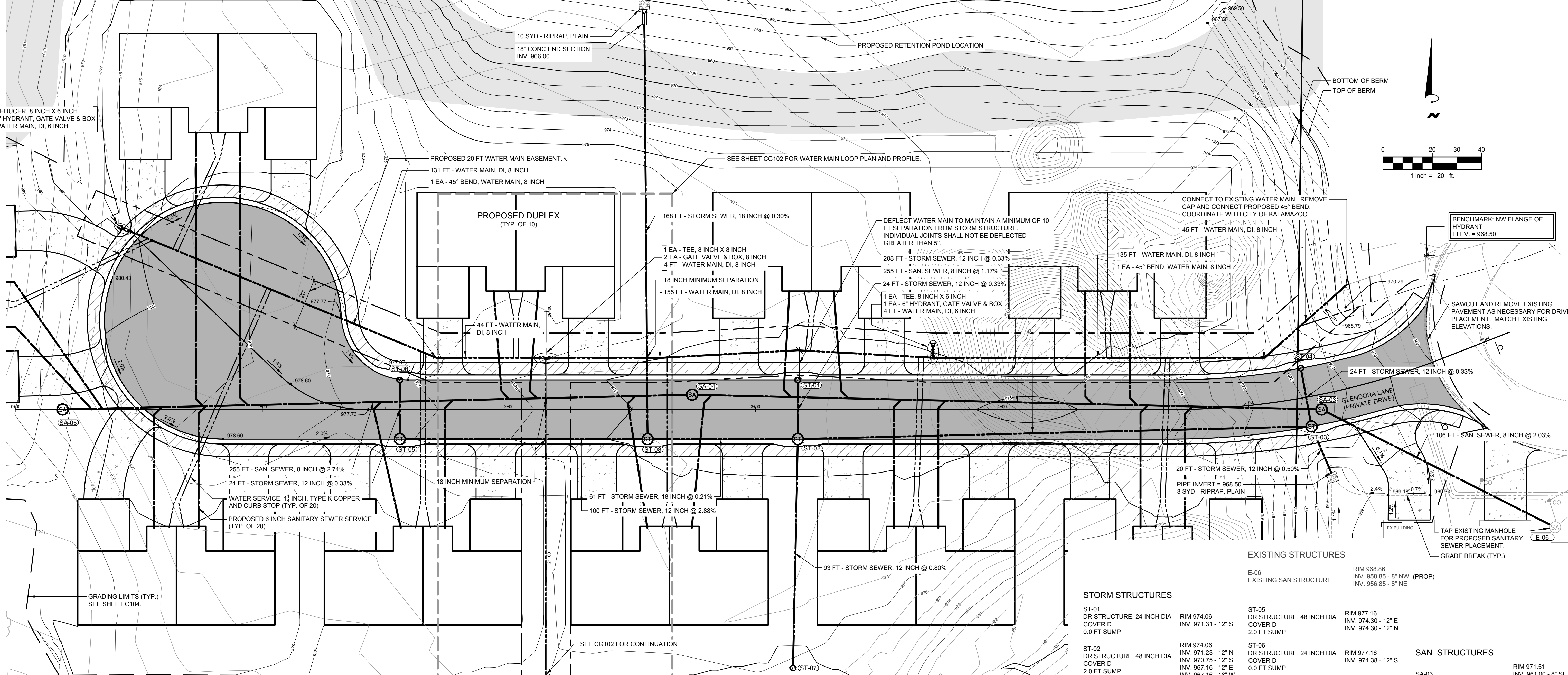
01 02/23/2021 PDS
SUBMITTED FOR SITE PLAN
REVIEW

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DATE: FEBRUARY 2021
SCALE: VARIES

ENTIRE CONDOMINIUM
DRAWING



PLAN - STA. 0+00 TO STA. 6+25
 SCALE: 1" = 20'

STORM STRUCTURES

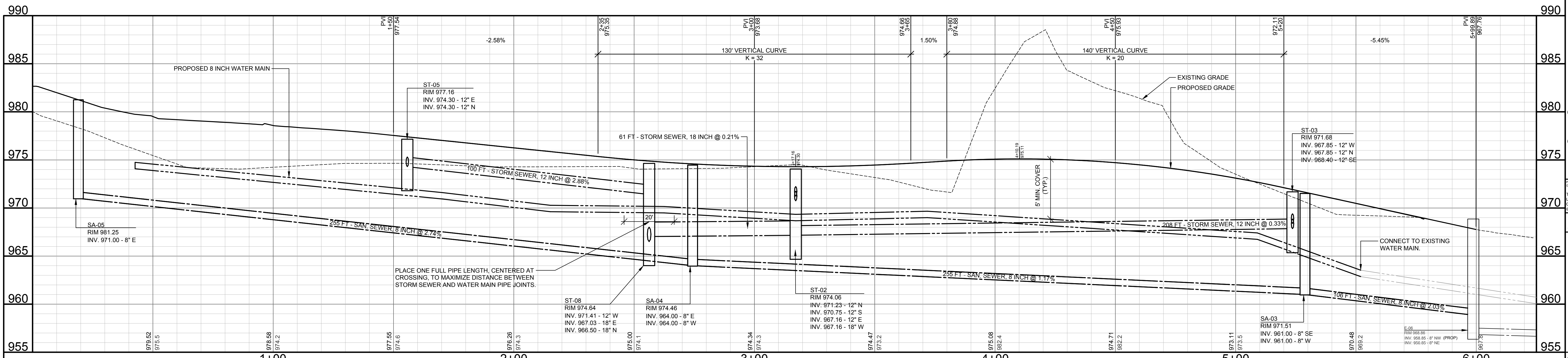
ST-01 DR STRUCTURE, 24 INCH DIA COVER D 0.0 FT SUMP	RIM 974.06 INV. 971.31 - 12" S
ST-02 DR STRUCTURE, 48 INCH DIA COVER D 2.0 FT SUMP	RIM 974.06 INV. 971.23 - 12" N INV. 970.75 - 12" S INV. 967.16 - 12" E INV. 967.16 - 18" W
ST-03 DR STRUCTURE, 48 INCH DIA COVER D 2.0 FT SUMP	RIM 971.68 INV. 967.85 - 12" W INV. 967.85 - 12" N INV. 968.40 - 12" SE
ST-04 DR STRUCTURE, 24 INCH DIA COVER D 0.0 FT SUMP	RIM 971.68 INV. 967.93 - 12" S

EXISTING STRUCTURES

E-06 EXISTING SAN STRUCTURE	RIM 968.86 INV. 958.85 - 8" NW (PROP) INV. 956.85 - 8" NE
ST-05 DR STRUCTURE, 48 INCH DIA COVER D 2.0 FT SUMP	RIM 977.16 INV. 974.30 - 12" E INV. 974.30 - 12" N
ST-06 DR STRUCTURE, 24 INCH DIA COVER D 0.0 FT SUMP	RIM 977.16 INV. 974.38 - 12" S
ST-07 DR STRUCTURE, 24 INCH DIA COVER E 2.0 FT SUMP	RIM 974.24 INV. 971.49 - 12" N
ST-08 DR STRUCTURE, 48 INCH DIA COVER D 2.0 FT SUMP	RIM 974.64 INV. 967.03 - 18" E INV. 971.41 - 12" W INV. 966.50 - 18" N

SAN. STRUCTURES

SA-03	RIM 971.51 INV. 961.00 - 8" SE INV. 961.00 - 8" W
SA-04	RIM 974.46 INV. 964.00 - 8" E INV. 964.00 - 8" W
SA-05	RIM 981.25 INV. 971.00 - 8" E



PROFILE - STA. 0+00 TO STA. 6+25
 SCALE: 1" = 20'H, 5'V

02/04/2021 PDS REVISIONS PER TOWNSHIP COMMENTS
 01/02/23/2021 PDS SUBMITTED FOR SITE PLAN REVIEW
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PLAN AND PROFILE
 STA 0+00 TO STA 6+25



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PROJECT NAME:

**EMBERLY ACRES II
ADDITION**
OSHTEMO TOWNSHIP

PRIME HOMES LLC
415 TREASURE ISLAND DRIVE
KALAMAZOO, MI 49071

02 04/02/2021 PDS
REVISIONS PER TOWNSHIP
COMMENTS

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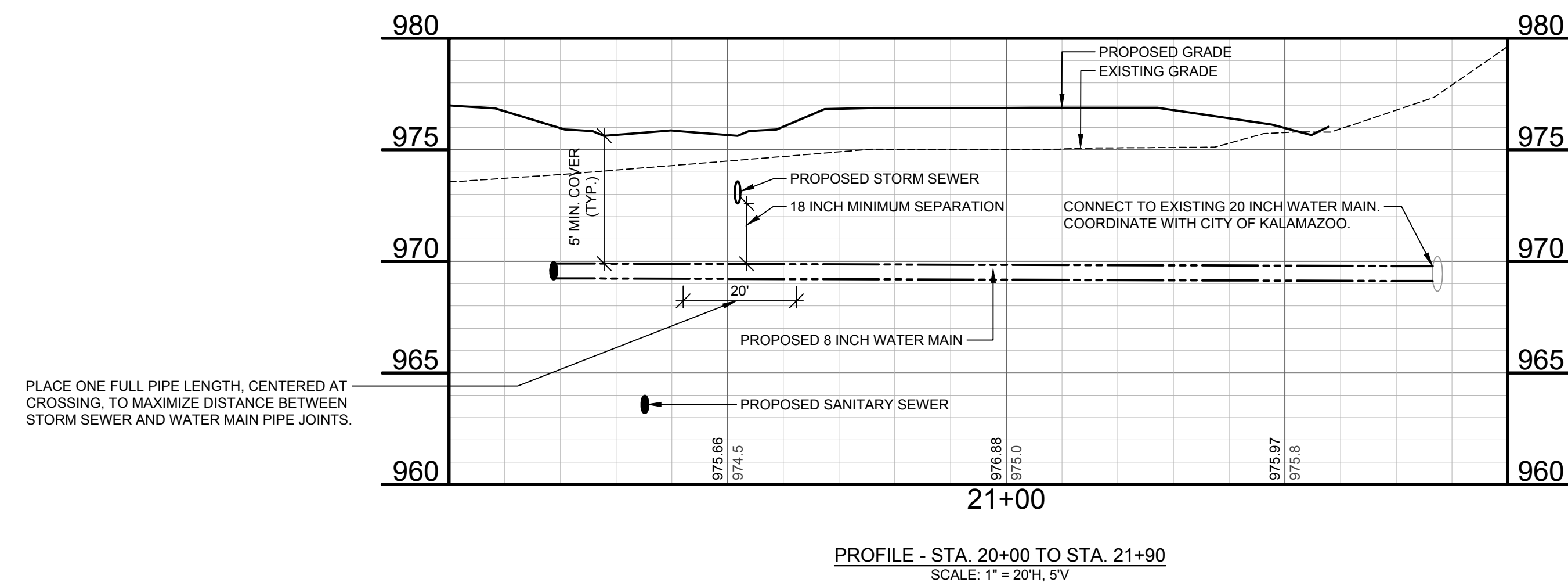
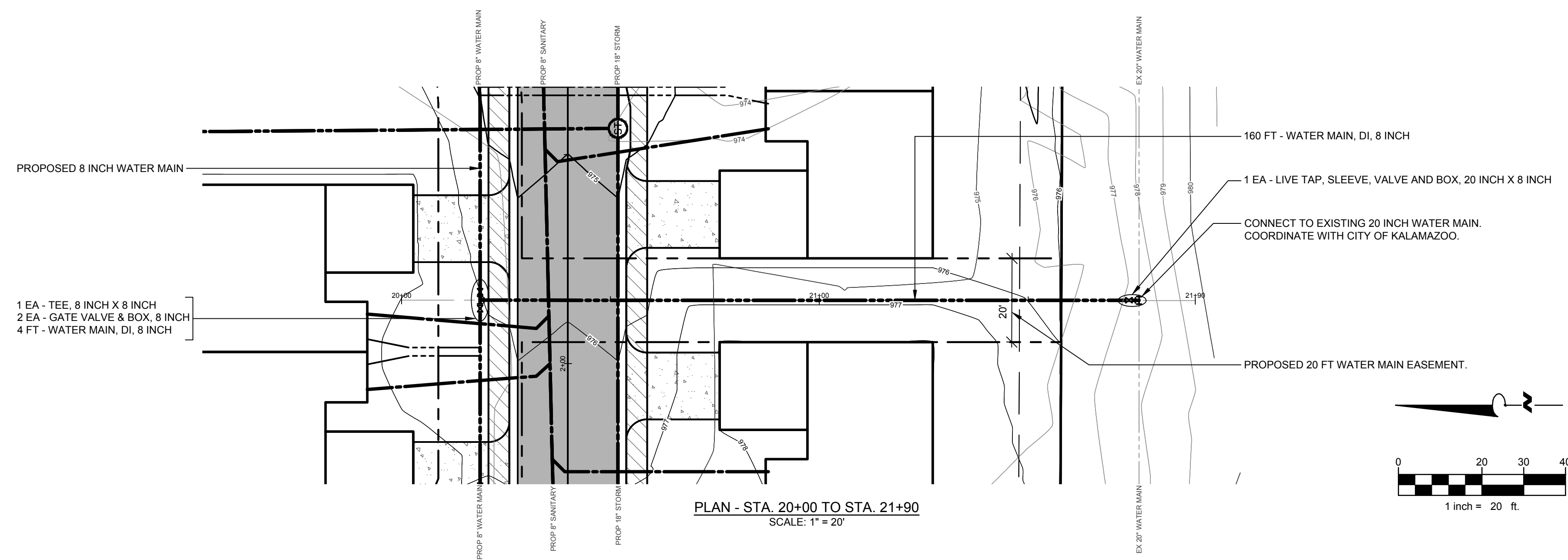
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PLAN AND PROFILE
WATER MAIN LOOP

JOB No. 204172

CG102

OF 11



LANDSCAPE REQUIREMENTS

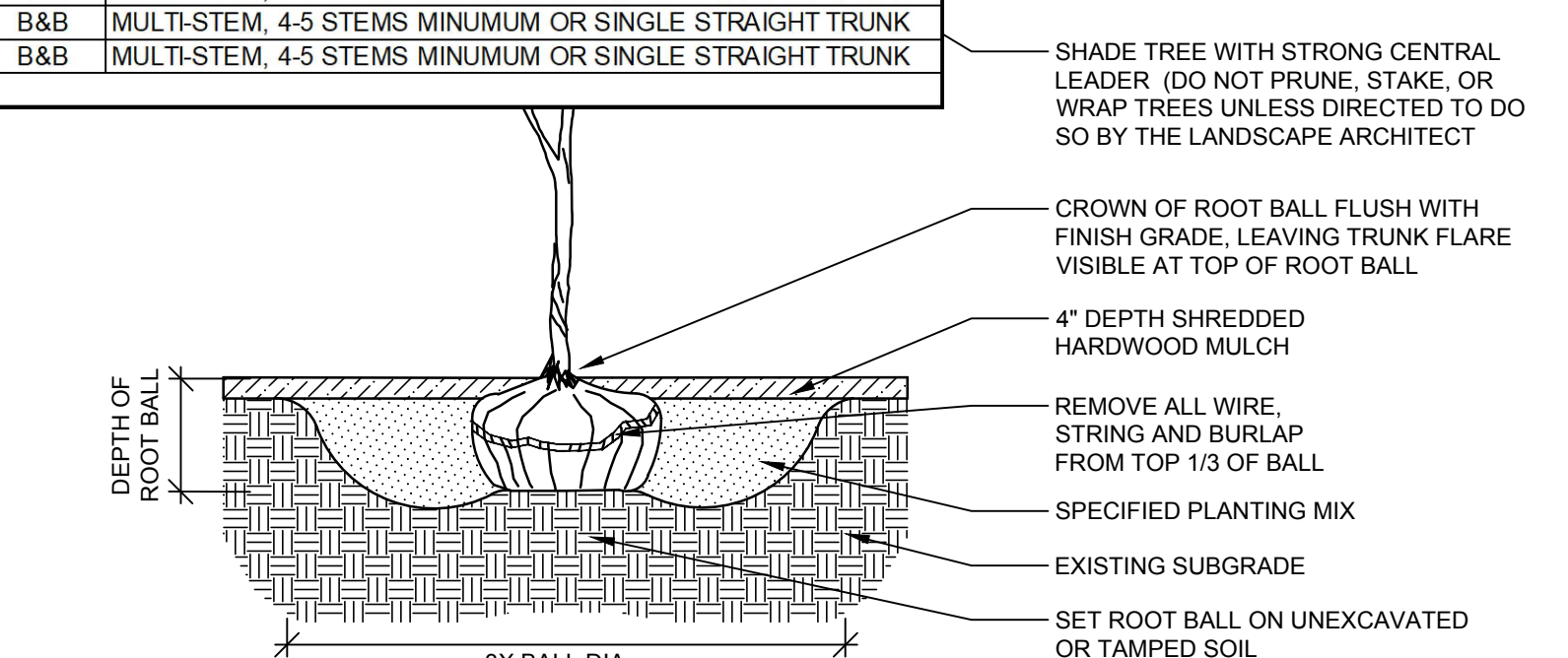
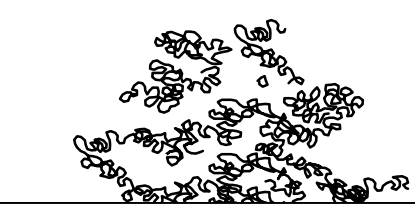
REQUIRED	PROVIDED	NOTES
53.40 SCREENING BETWEEN LAND USES		
NORTH PROPERTY LINE - 642 LINEAR FEET		
2 CANOPY TREE PER 100 LINEAR FEET	= 13 CANOPY TREES	0 CANOPY TREES
2 EVERGREEN TREE PER 100 LINEAR FEET	= 13 EVERGREEN TREES	0 UNDERSTORY TREES
2 UNDERSTORY TREE PER 100 LINEAR FEET	= 13 UNDERSTORY TREES	0 UNDERSTORY TREES
TREES PROVIDED WITH 53.110 TREE PRESERVATION CREDIT		
WEST PROPERTY LINE - 396 LINEAR FEET		
2 CANOPY TREE PER 100 LINEAR FEET	= 8 CANOPY TREES	0 CANOPY TREES
2 EVERGREEN TREE PER 100 LINEAR FEET	= 8 EVERGREEN TREES	0 UNDERSTORY TREES
2 UNDERSTORY TREE PER 100 LINEAR FEET	= 8 UNDERSTORY TREES	0 UNDERSTORY TREES
TREES PROVIDED WITH 53.110 TREE PRESERVATION CREDIT		
SOUTH PROPERTY LINE - 642 LINEAR FEET		
2 CANOPY TREE PER 100 LINEAR FEET	= 13 CANOPY TREES	26 CANOPY TREES
2 EVERGREEN TREE PER 100 LINEAR FEET	= 13 EVERGREEN TREES	0 EVERGREEN TREES
2 UNDERSTORY TREE PER 100 LINEAR FEET	= 13 UNDERSTORY TREES	13 UNDERSTORY TREES
EVERGREEN TREES SUBSTITUTED FOR CANOPY TREES		
53.70 INTERIOR SITE LANDSCAPING		
REQUIRED		
DEVELOPED PARCEL = 198,271 SQFT - 10% OF DEVELOPED PARCEL - 19,827 SQUARE FEET		
1 CANOPY TREE PER 1,500 SQFT	= 13 CANOPY TREES	13 CANOPY TREES
1 UNDERSTORY TREE PER 2,500 SQFT	= 8 UNDERSTORY TREES	8 UNDERSTORY TREES
INTERIOR TREES PROVIDED AS SCREENING OF RETENTION POND PER 53.70-D.		
53.110 TREE PRESERVATION CREDITS		
DIAMETER OF PRESERVED TREE & NUMBER OF TREES CREDITED	NUMBER OF TREES PRESERVED	TOTAL NUMBER OF TREES CREDITED
OVER 24" = 4 TREES CREDITED	7	28
12" - 24" = 3 TREES CREDITED	44	132
8" - 11.9" = 2 TREES CREDITED	33	66
		TOTAL OF 226 TREES CREDITED

PLANT LIST

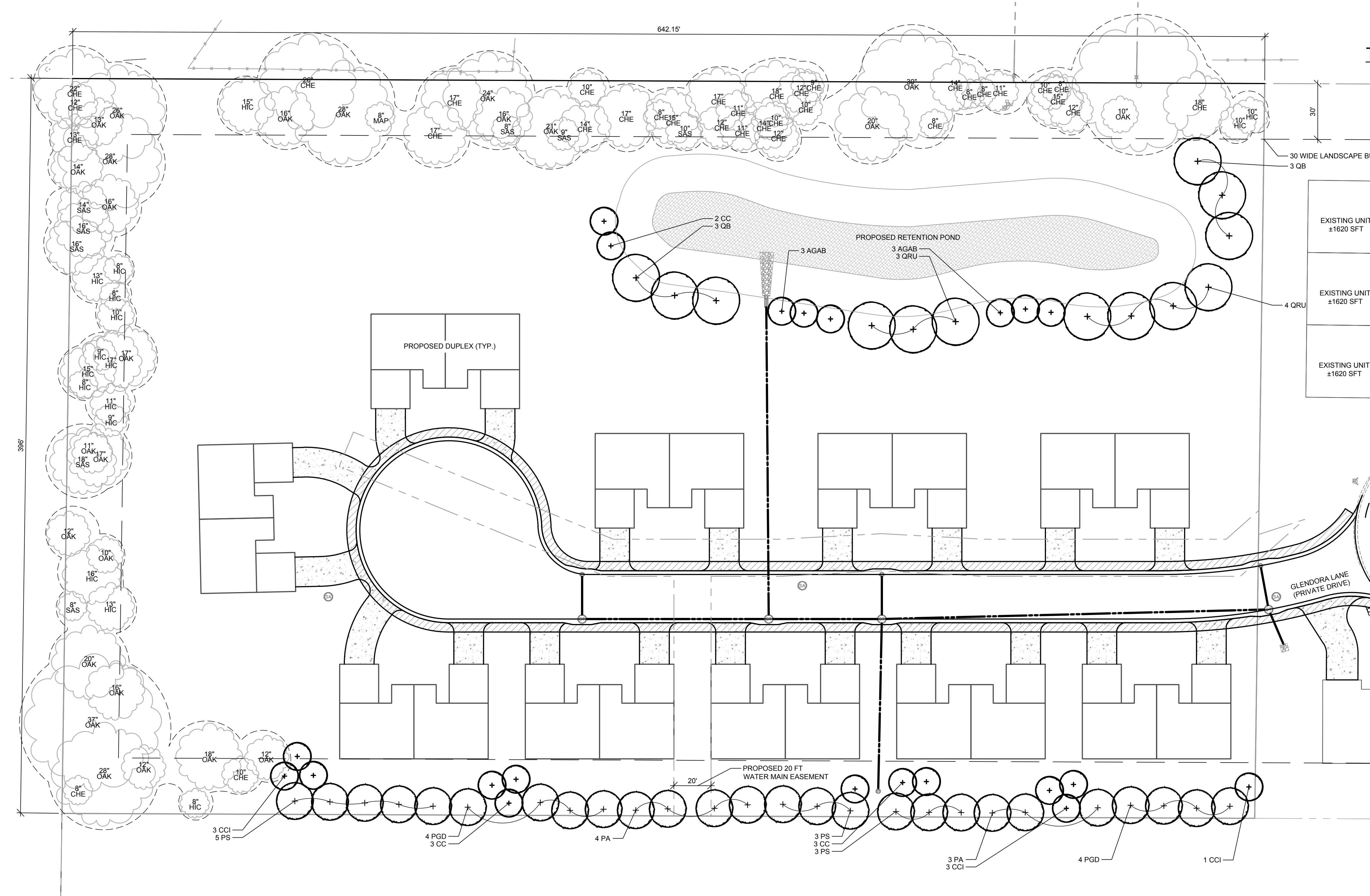
NOTE: QUANTITIES ON THE PLANT LIST ARE PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.

CODE	BOTANICAL NAME	COMMON NAME	NATIVE TO MI	QTY	CAL	HT	ROOT	REMARKS
Shade Trees								
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	X	6	2"		B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
QRU	QUERCUS RUBRA	NORTHERN RED OAK	X	7	2"		B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
Evergreen Trees								
PA	PICEA ABIES	NORWAY SPRUCE		7		5'	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
PGD	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE		8		5'	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
PS	PINUS STROBUS	EASTERN WHITE PINE	X	11		5'	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
Ornamental / Understory Trees								
AGAB	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE APPLE SERVICEBERRY	X	6		8'	B&B	MULTI-STEM, 4-5 STEMS MINIMUM OR SINGLE STRAIGHT TRUNK
CC	CERCIS CANADENSIS	EASTERN REDBUD	X	8		8'	B&B	MULTI-STEM, 4-5 STEMS MINIMUM OR SINGLE STRAIGHT TRUNK
CCI	CRATAEGUS CRUS-GALLI VAR. INERMIS	THORNLESS COCKSPUR HAWTHORN	X	7		8'	B&B	MULTI-STEM, 4-5 STEMS MINIMUM OR SINGLE STRAIGHT TRUNK

NUMBER OF NATIVE TREES	45
TOTAL NUMBER OF TREES	60
PERCENT OF NATIVE TREES	75%



TREE/SHRUB PLANTING SECTION
NOT TO SCALE.



LEGEND

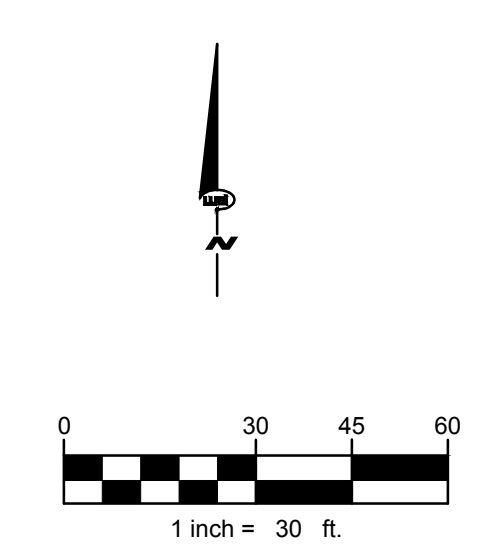
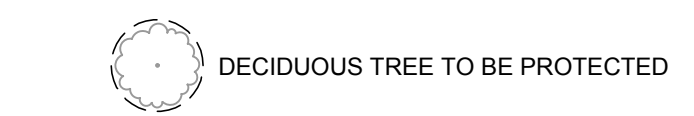
EXISTING TREE LEGEND

CHE - CHERRY
HIC - HICKORY
MAP - MAPLE
OAK - OAK
SAS - SASSAFRAS

○ + SHADE TREE
○ + ORNAMENTAL TREE
▨ RETENTION POND SEED MIX

- NOTES**
- LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES CONTRACTOR MUST CALL 811 FOR UTILITY LOCATIONS THREE DAYS PRIOR TO DIGGING.
 - LANDSCAPE BEDS TO RECEIVE 4" SHREDDED HARDWOOD BARK. APPLY PRE-EMERGENT HERBICIDE TO ALL LANDSCAPE BEDS.
 - CONDUCT SOIL TEST TO VERIFY FERTILITY OF TOPSOIL. AMEND SOIL IF PH IS LESS THAN 5.0 OR GREATER THAN 7.5. MAKE OTHER ADJUSTMENTS AS SOIL ANALYSIS INDICATES
 - PLANTING MIX TO BE A 12" MINIMUM DEPTH IN ALL PLANTING BEDS.
 - PLANT TREES SO THAT TOP OF ROOTBALL IS EVEN WITH THE FINISHED GRADE. FOR BACKFILL AREAS, PLANT BALL UP TO 3" HIGH TO ALLOW FOR SETTLING. ALL TREE WRAP/TWINE ETC TO BE REMOVED FROM TREE IN ONE YEAR AS PART OF MAINTENANCE.
 - ALL AREAS OF THE SITE NOT DESIGNATED AS PAVED OR LANDSCAPE BED TO BE PLANTED IN TURFGRASS. REWORK ANY AREAS OF EXISTING TURFGRASS TO A FULL STAND. SEED MIXTURE SHALL BE 40% CREEPING RED FESCUE, 30% PERENNIAL RYEGRASS AND 30% 90/85 KENTUCKY BLUEGRASS OR APPROVED EQUAL. ALL LAWN AREAS TO RECEIVE 4" OF TOPSOIL.
 - ALL LANDSCAPE BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE.
 - LANDSCAPE ARCHITECT TO REVIEW ALL TREES EITHER IN THE NURSERIES OR VIA PHOTOGRAPHS OF EACH PLANT. CONTRACTOR TO COORDINATE.
 - CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUBSURFACE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
 - RETENTION POND SEED MIX TO BE STORMWATER MIX FROM NATIVE CONNECTIONS. WWW.NATIVECONNECTIONS.NET OR APPROVED EQUAL.

- TREE PROTECTION NOTES**
- ALL TREES INDICATED TO REMAIN THAT ARE IN THE VICINITY OF CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION FENCE.
 - TREE PROTECTION FENCING SHALL BE 4' IN HEIGHT, ORANGE PLASTIC SAFETY FENCING MOUNTED TO METAL POSTS AT 8' MAXIMUM SPACING.
 - TREE PROTECTION FENCING SHALL BE PLACED TO THE TREE'S DRIP LINE.
 - NO STORAGE OF MATERIALS, CONSTRUCTION TRAFFIC, OR ENTRY SHALL BE PERMITTED WITHIN THE TREE PROTECTION ZONE.



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PROJECT NAME:
EMBERLY ACRES II ADDITION
OSHTEMO TOWNSHIP

PRIME HOMES LLC
415 TREASURE ISLAND DRIVE
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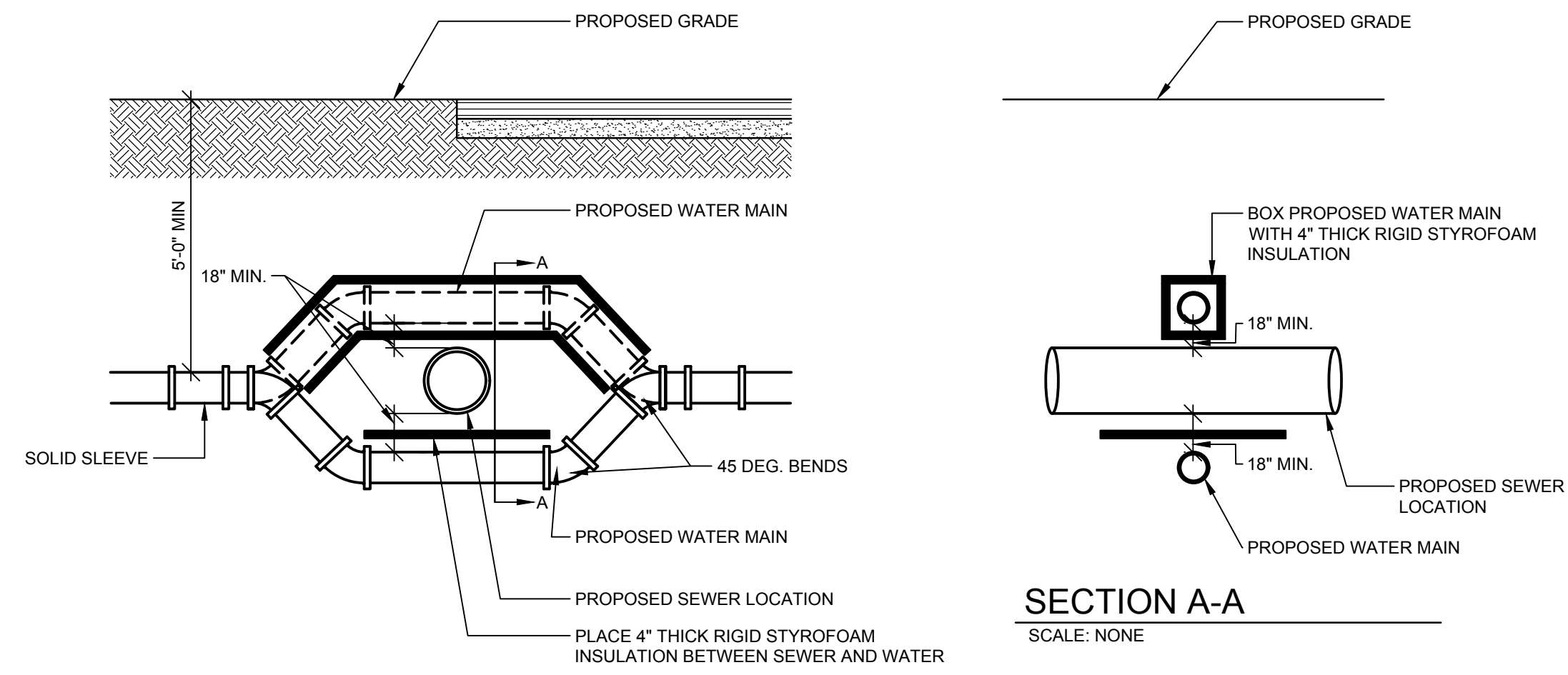
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REVISIONS

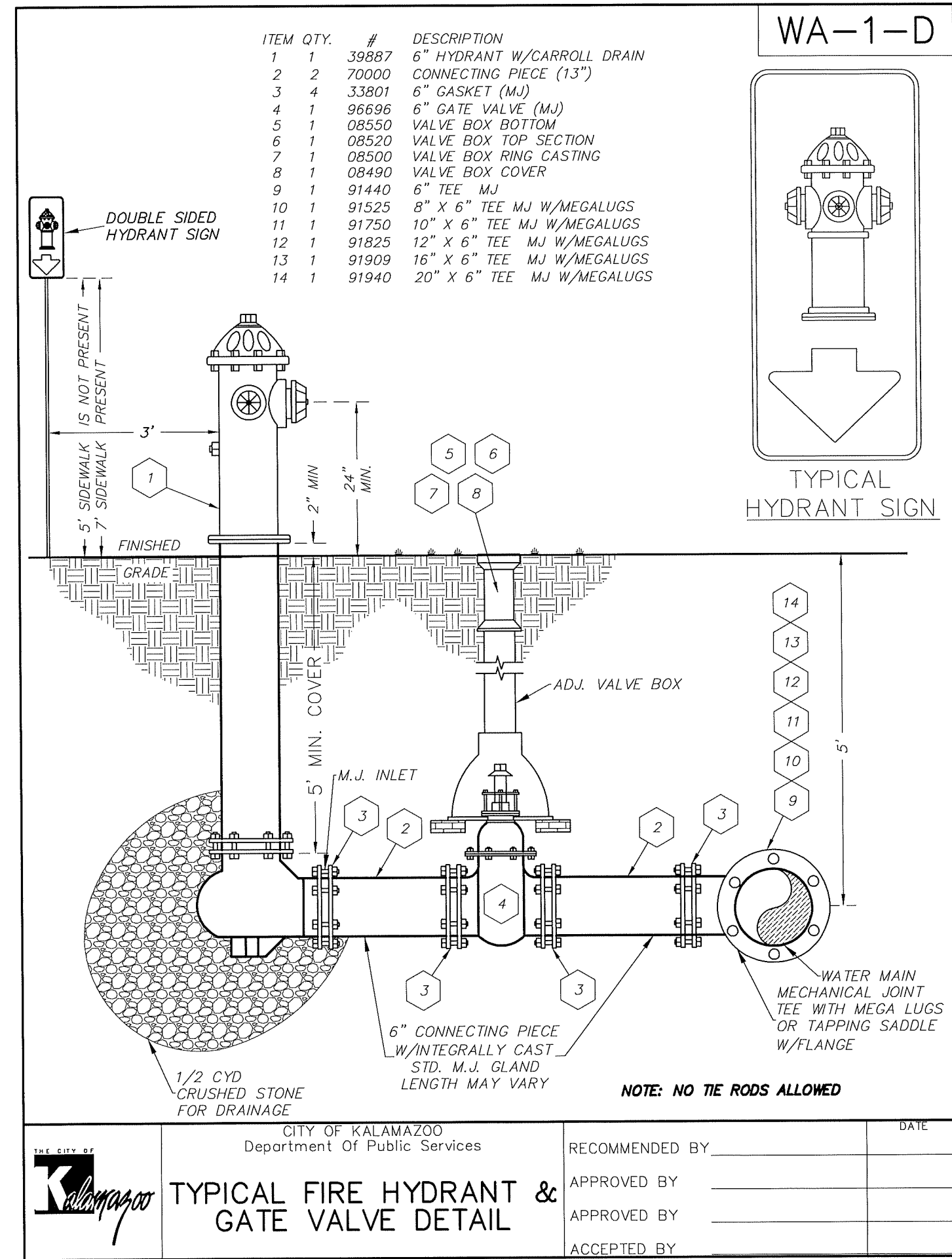
DATE: FEBRUARY 2021
SCALE: 1" = 30'

LANDSCAPE PLAN

JOB No. 204172
CL101
OF 11



WATER MAIN INSULATION
 SCALE: NONE

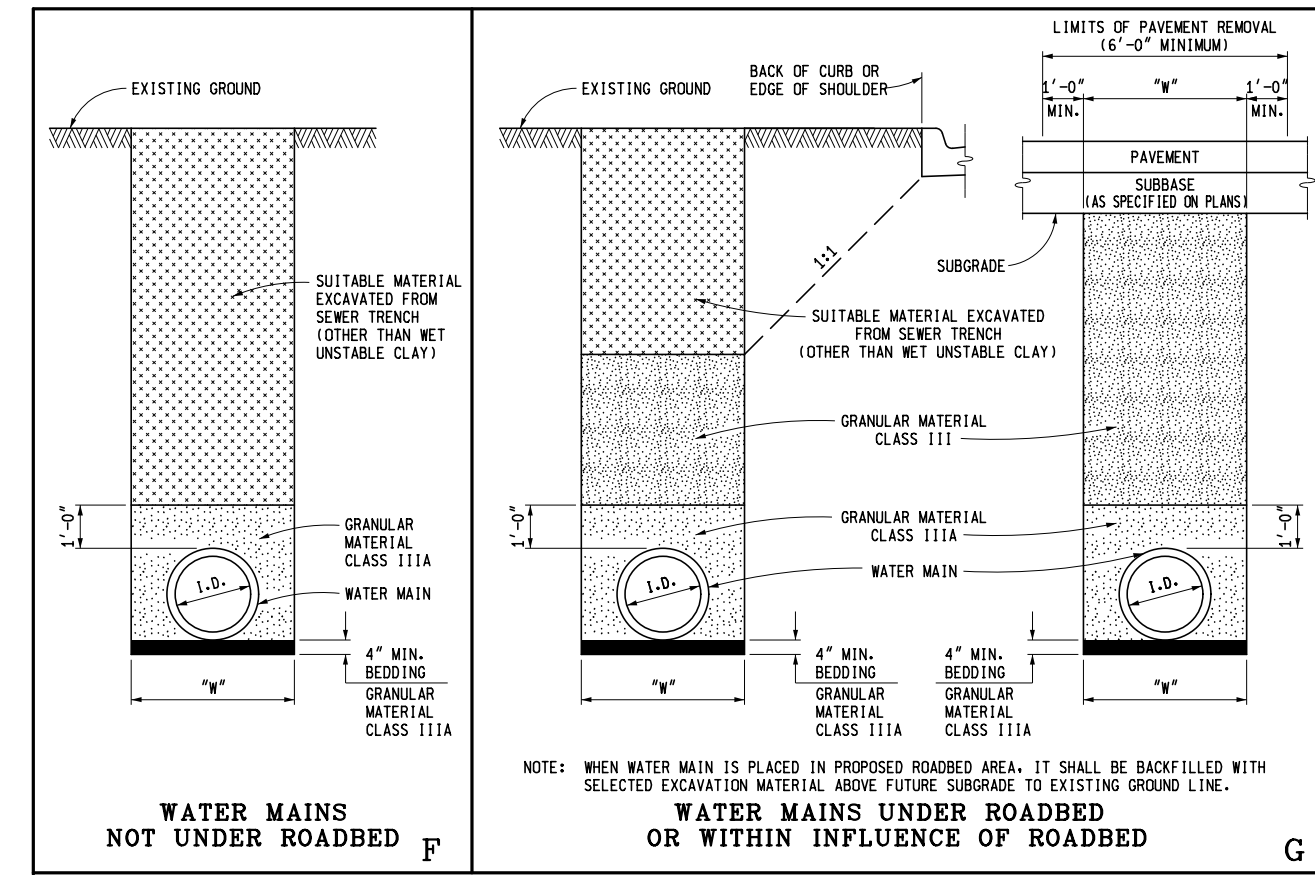


CITY OF KALAMAZOO
 Department Of Public Services
TYPICAL FIRE HYDRANT & GATE VALVE DETAIL
 WA-1-D
 RECOMMENDED BY: _____ DATE: _____
 APPROVED BY: _____
 APPROVED BY: _____
 ACCEPTED BY: _____

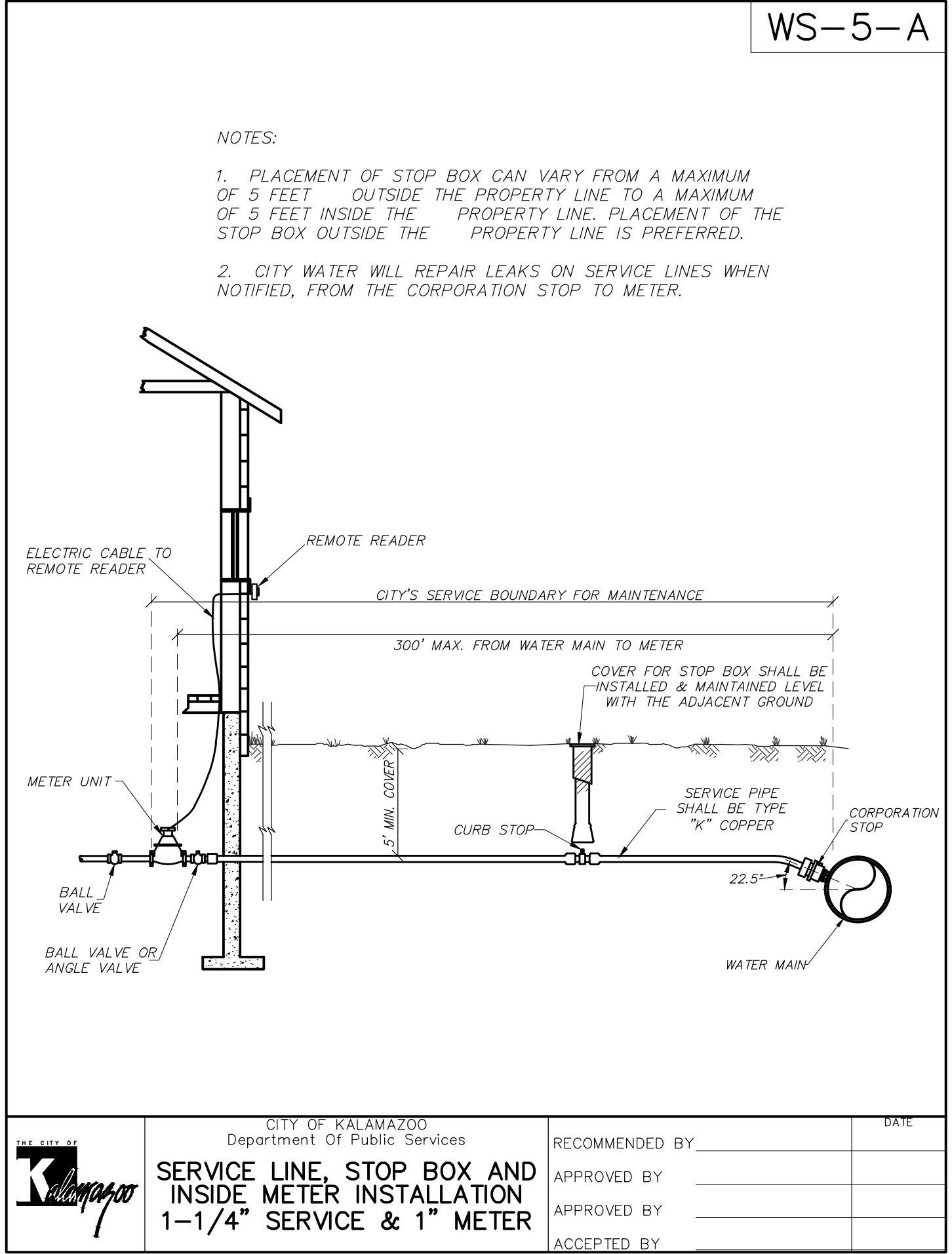
NOTES:
 BACKFILLING SHALL BE ACCORDING TO THE STANDARD SPECIFICATION.
 SUFFICIENT TRENCH WIDTH SHALL BE PROVIDED TO ALLOW FREE WORKING SPACE AND TO PERMIT COMPACTING THE BACKFILL AROUND THE PIPE.
 THE FOLLOWING ARE MINIMUM TRENCH WIDTHS:

I.D. PIPE SIZE (INCHES)	LESS THAN 18"	21"	24"	30"	36"
TRENCH WIDTH (FEET)	3.0	3.5	4.0	5.0	6.0
I.D. PIPE SIZE (INCHES)	42"	48"	54"	60"	72"
TRENCH WIDTH (FEET)	7.0	8.0	9.5	10.5	11.0
I.D. PIPE SIZE (INCHES)	78"	84"	90"	96"	108"
TRENCH WIDTH (FEET)	11.5	12.0	12.5	13.0	14.0

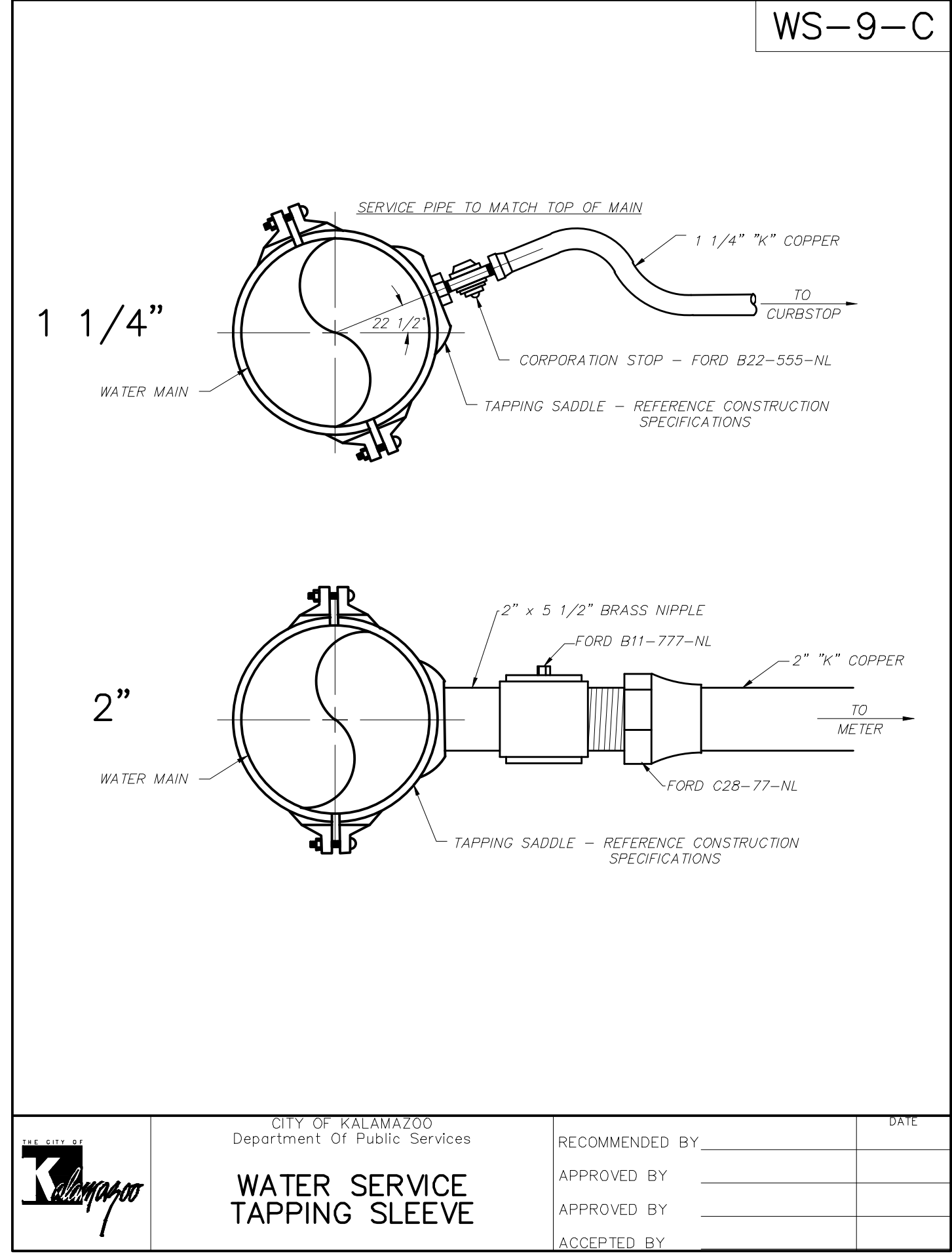
ESTIMATED PAVEMENT REMOVAL WIDTH IS TO BE TRENCH WIDTH "W" PLUS 1'-0" EACH SIDE OF THE TRENCH (6'-0" MINIMUM).



MDOT TRENCH DETAILS



CITY OF KALAMAZOO
 Department Of Public Services
SERVICE LINE, STOP BOX AND INSIDE METER INSTALLATION
 1-1/4" SERVICE & 1" METER
 RECOMMENDED BY: _____ DATE: _____
 APPROVED BY: _____
 APPROVED BY: _____
 ACCEPTED BY: _____



CITY OF KALAMAZOO
 Department Of Public Services
WATER SERVICE TAPPING SLEEVE
 WS-9-C
 RECOMMENDED BY: _____ DATE: _____
 APPROVED BY: _____
 APPROVED BY: _____
 ACCEPTED BY: _____

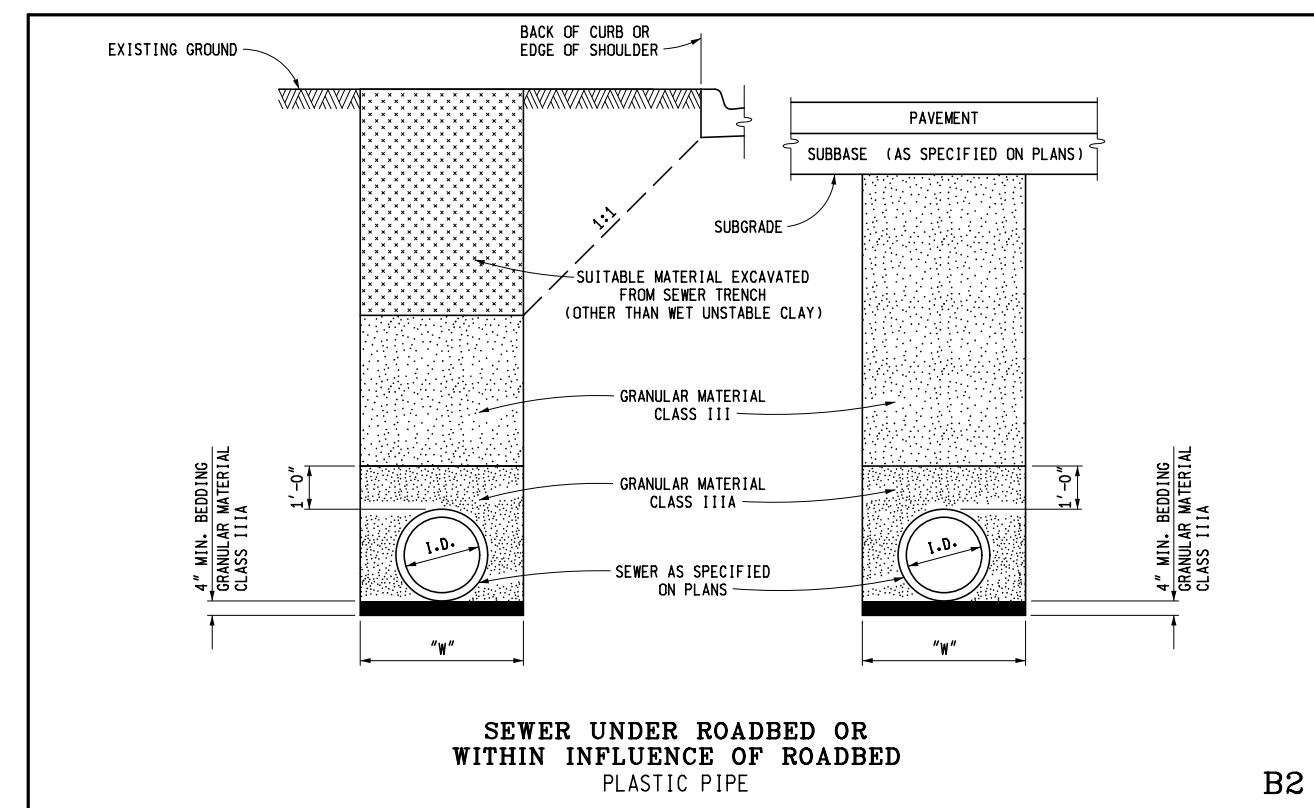
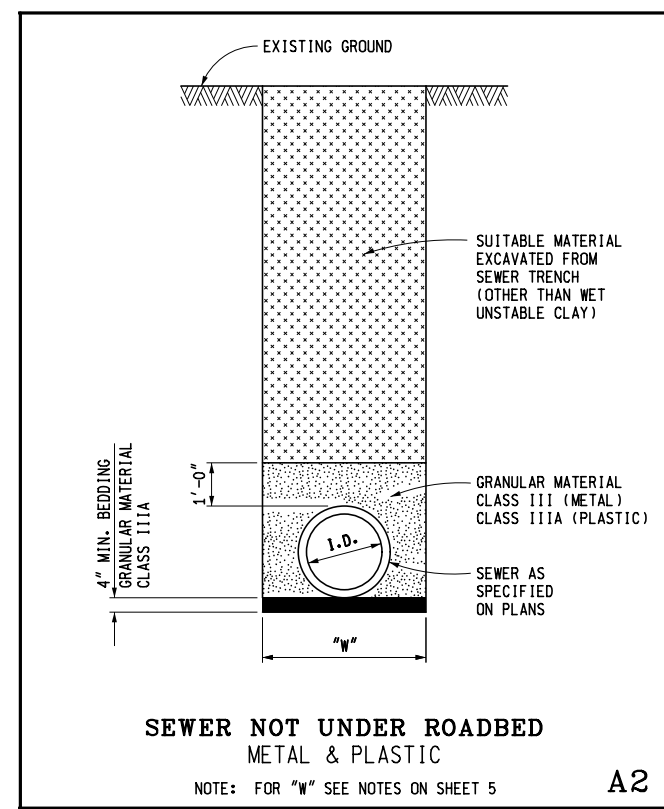
CITY OF KALAMAZOO STANDARD WATER MAIN DETAILS

NOTES:
BACKFILLING SHALL BE ACCORDING TO THE STANDARD SPECIFICATION.
SUFFICIENT TRENCH WIDTH SHALL BE PROVIDED TO ALLOW FREE WORKING SPACE AND TO PERMIT COMPACTING THE BACKFILL AROUND THE PIPE.

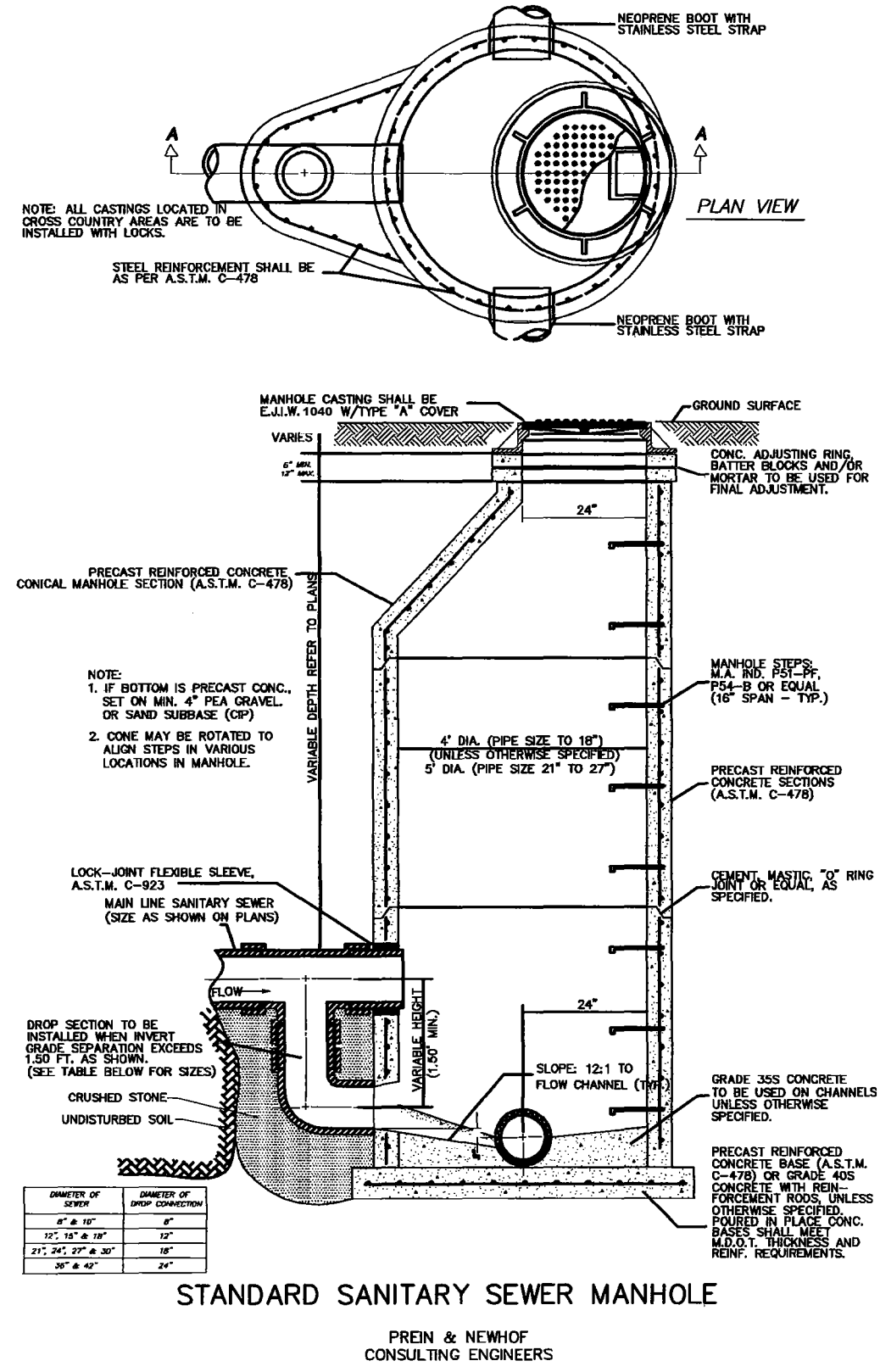
THE FOLLOWING ARE MINIMUM TRENCH WIDTHS:

I.D. PIPE SIZE (INCHES)	LESS THAN 18	21	24	30	36	
TRENCH WIDTH (FEET)	3.0	3.5	4.0	5.0	6.0	
I.D. PIPE SIZE (INCHES)	42	48	54	60	66	72
TRENCH WIDTH (FEET)	7.0	8.0	9.5	10.0	10.5	11.0
I.D. PIPE SIZE (INCHES)	78	84	90	96	102	108
TRENCH WIDTH (FEET)	11.5	12.0	12.5	13.0	13.5	14.0

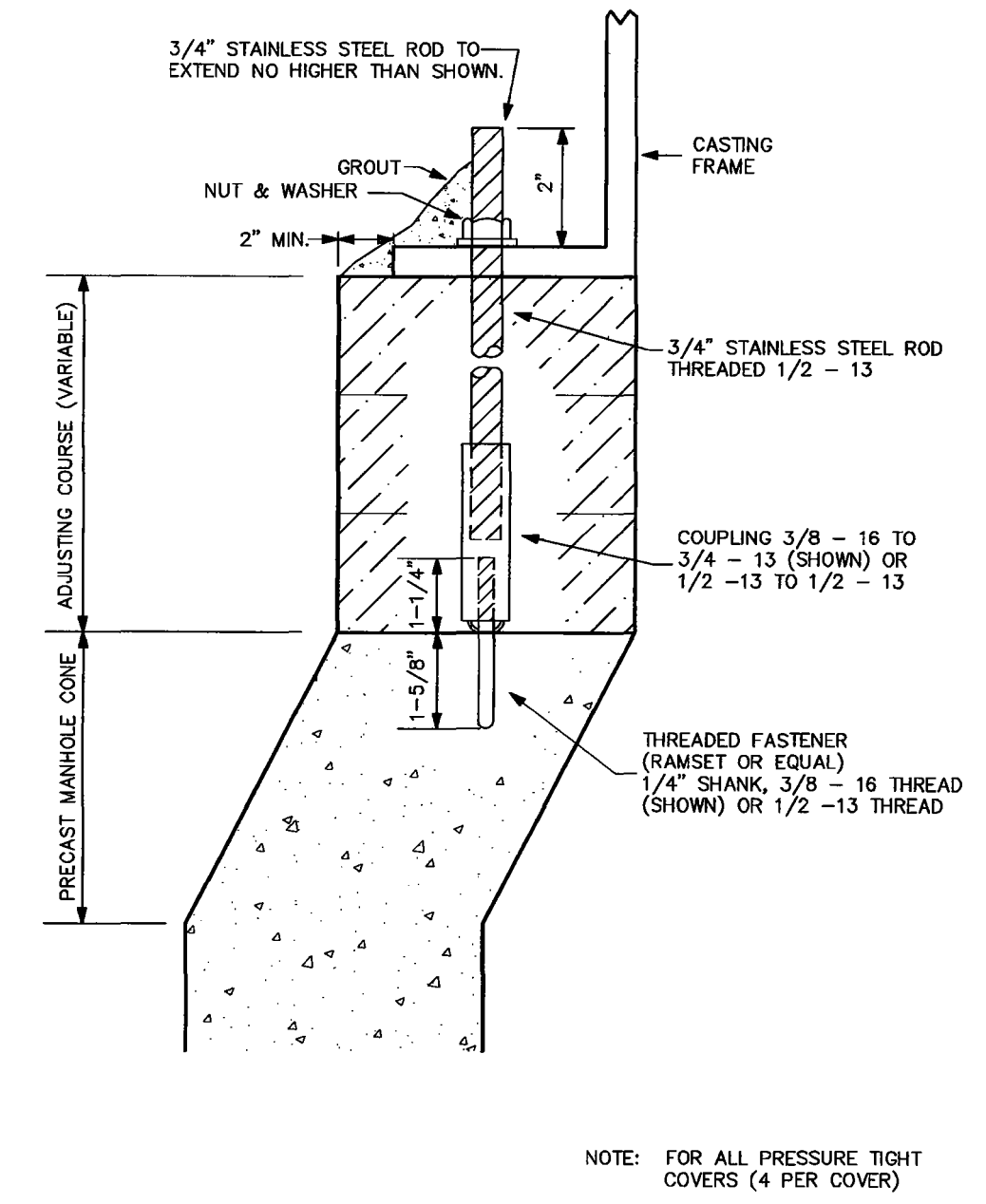
ESTIMATED PAVEMENT REMOVAL WIDTH IS TO BE TRENCH WIDTH "W" PLUS 1'-0" EACH SIDE OF THE TRENCH (6'-0" MINIMUM).



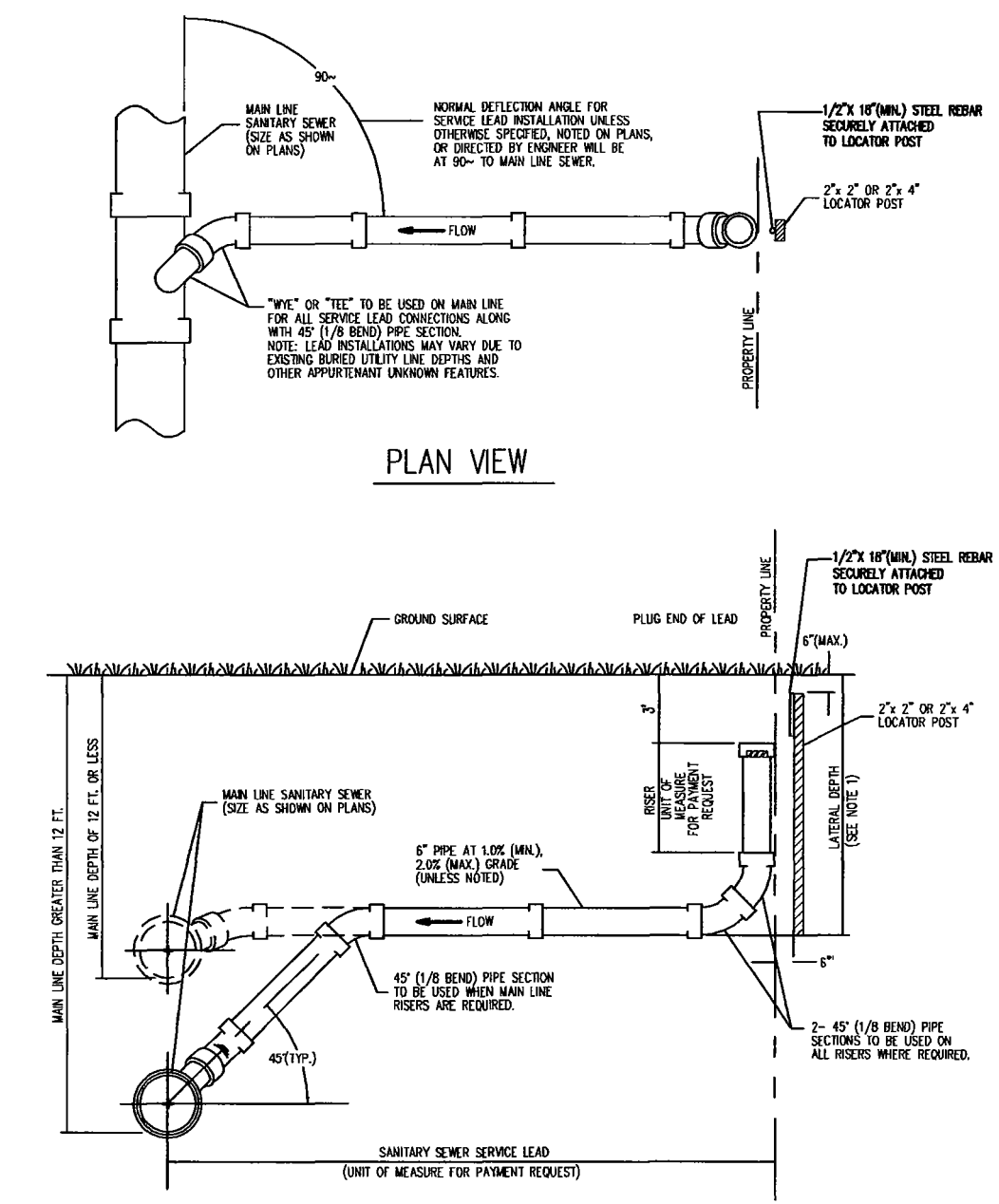
MDOT TRENCH DETAILS



STANDARD SANITARY SEWER MANHOLE
PREIN & NEUHOFF CONSULTING ENGINEERS

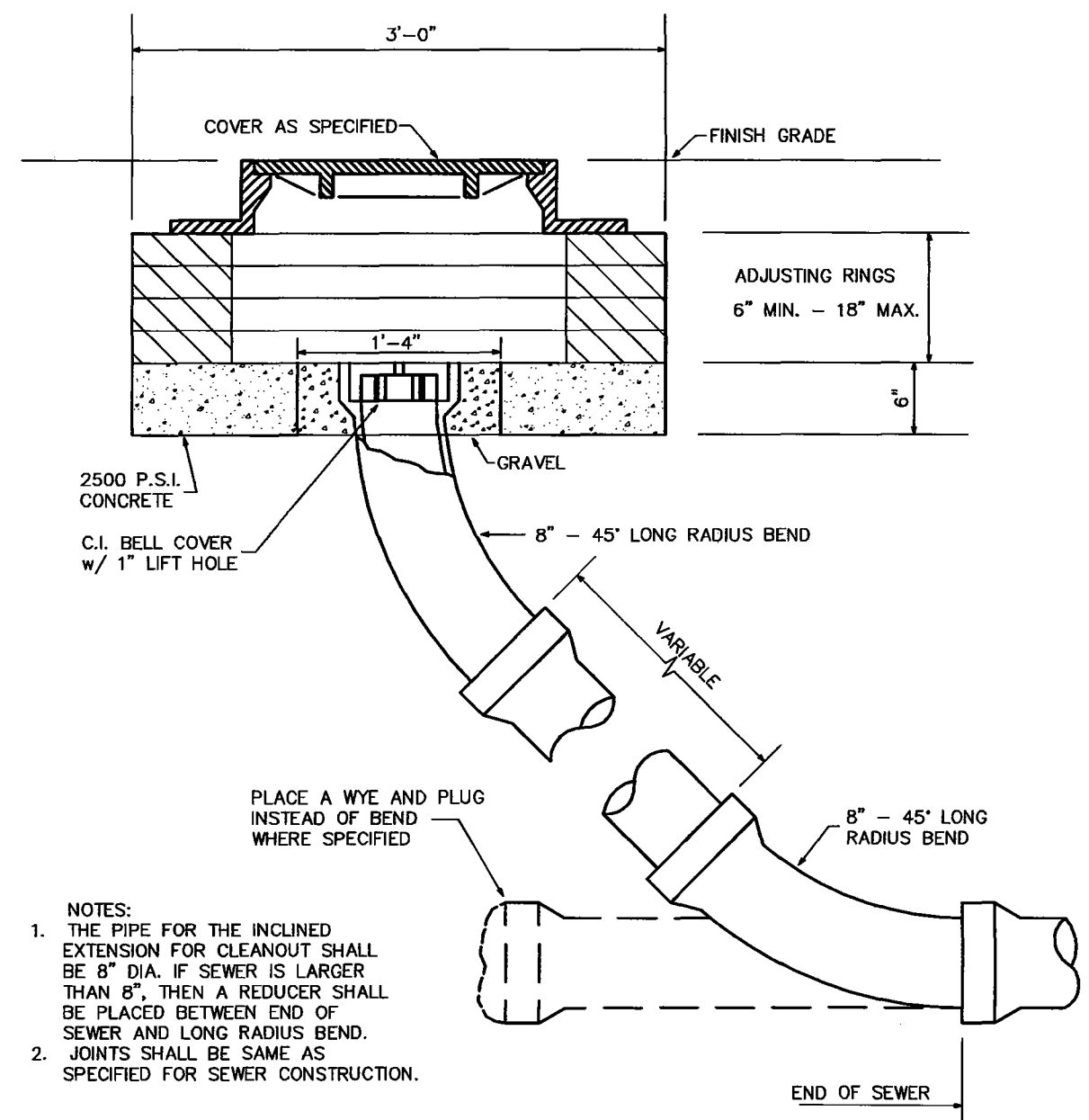


ANCHOR DETAIL
PREIN & NEUHOFF CONSULTING ENGINEERS



NOTE 1 - THE NORMAL DEPTH OF A SANITARY SEWER LATERAL SHALL BE 12 FEET BELOW THE EXISTING GRADE AS MEASURED IN FRONT OF THE HOUSE OR AT THE PROPERTY LINE ON VACANT LOTS. THIS DEPTH MAY BE INCREASED FOR ADVERSE TOPOGRAPHY OR LARGE BUILDING SET BACKS, AS DETERMINED BY THE ENGINEER. IF THE DEPTH OF THE MAIN IS SUCH THAT THE ABOVE LATERAL DEPTH CAN NOT BE ACHIEVED, THE LATERAL SHALL BE PLACED AT A 1X GRADE FROM THE MAIN LINE TO THE PROPERTY LINE.

LATERAL AND PROPERTY LINE RISER DETAIL
PREIN & NEUHOFF CONSULTING ENGINEERS



NOTES:
1. THE PIPE FOR THE INCLINED EXTENSION FOR CLEANOUT SHALL BE 8\"/>

SEWER CLEANOUT
PREIN & NEUHOFF CONSULTING ENGINEERS



WIGHTMAN

BENTON HARBOR
269.927.0100

KALAMAZOO
269.327.3532

ALLEGAN
269.673.8465

ROYAL OAK
248.791.1371

www.gowightman.com

PROJECT NAME:
**EMBERLY ACRES II
ADDITION**
OSHTEMO TOWNSHIP

PRIME HOMES LLC
415 TREASURE ISLAND DRIVE
KALAMAZOO, MI 49071

02 04/02/2021 PDS
REVISIONS PER TOWNSHIP
COMMENTS

01 02/23/2021 PDS
SUBMITTED FOR SITE PLAN
REVIEW

REVISIONS

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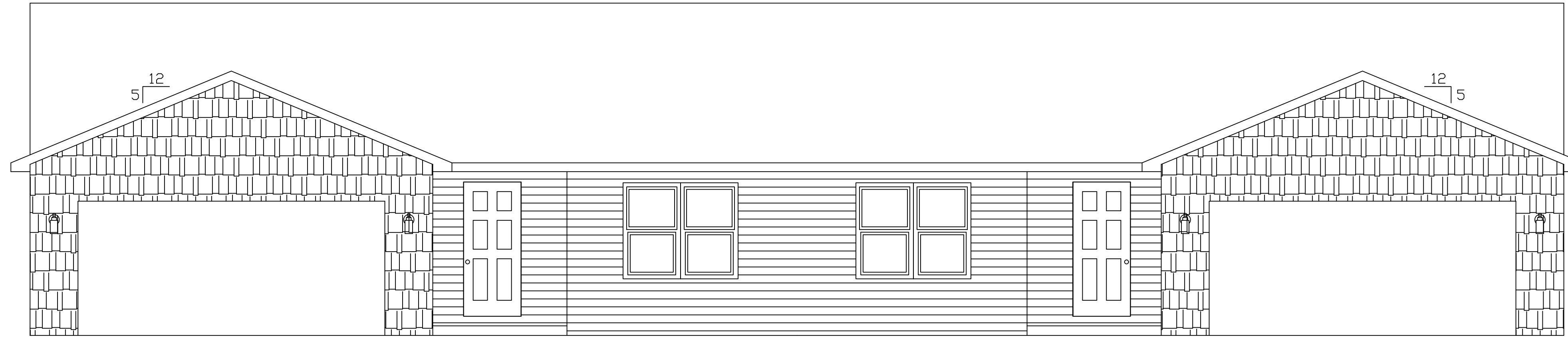
DATE: FEBRUARY 2021

SCALE: 1/4" = 1'

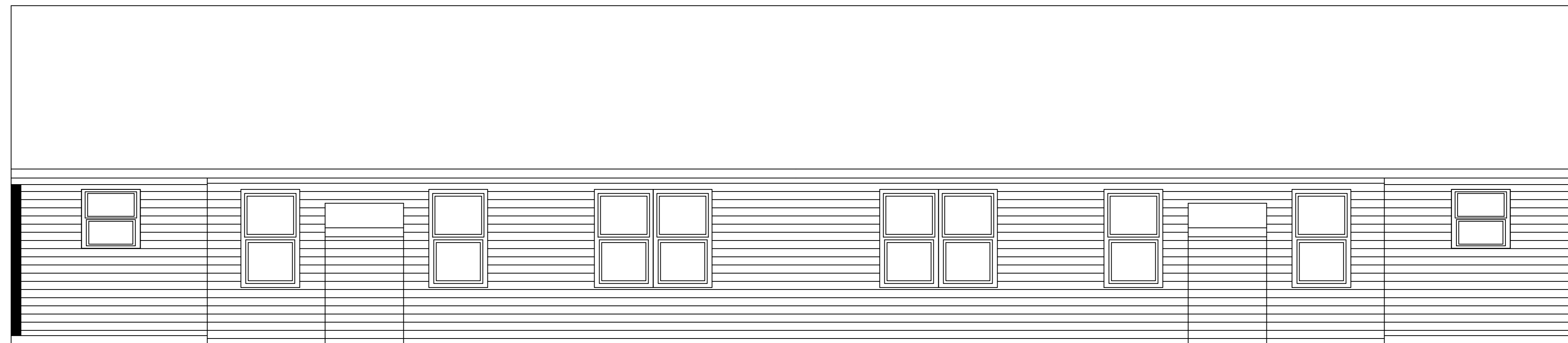
CONCEPTUAL
EXTERIOR
ELEVATIONS

JOB No. 204172

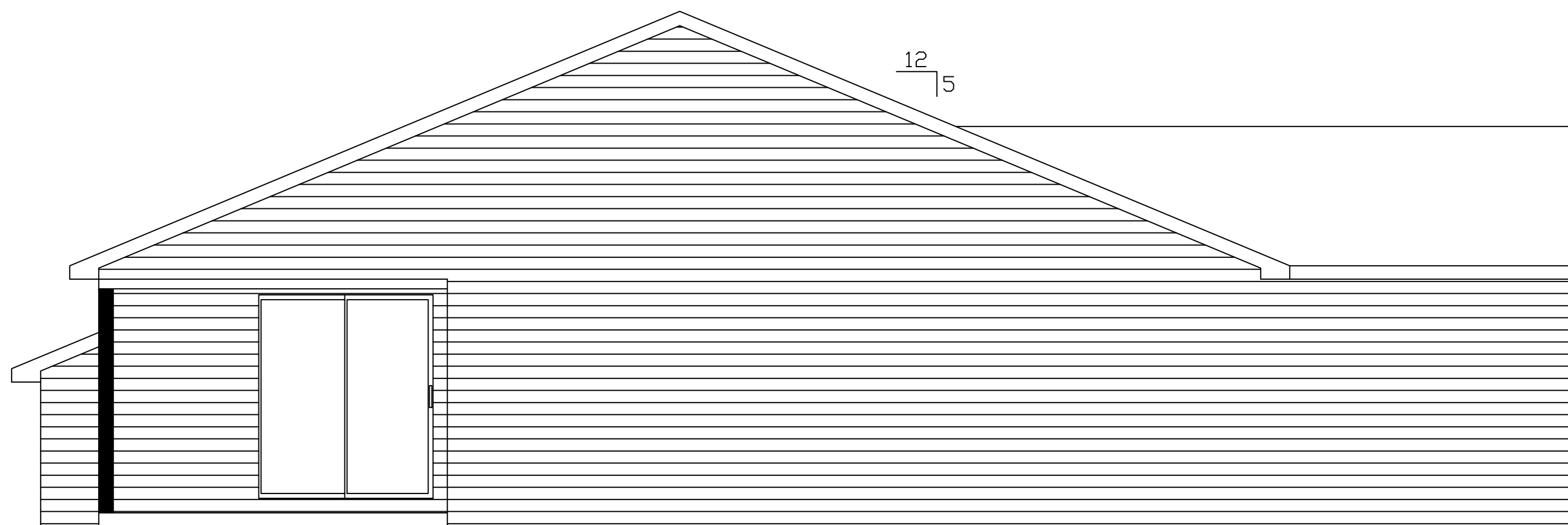
A101
OF 11



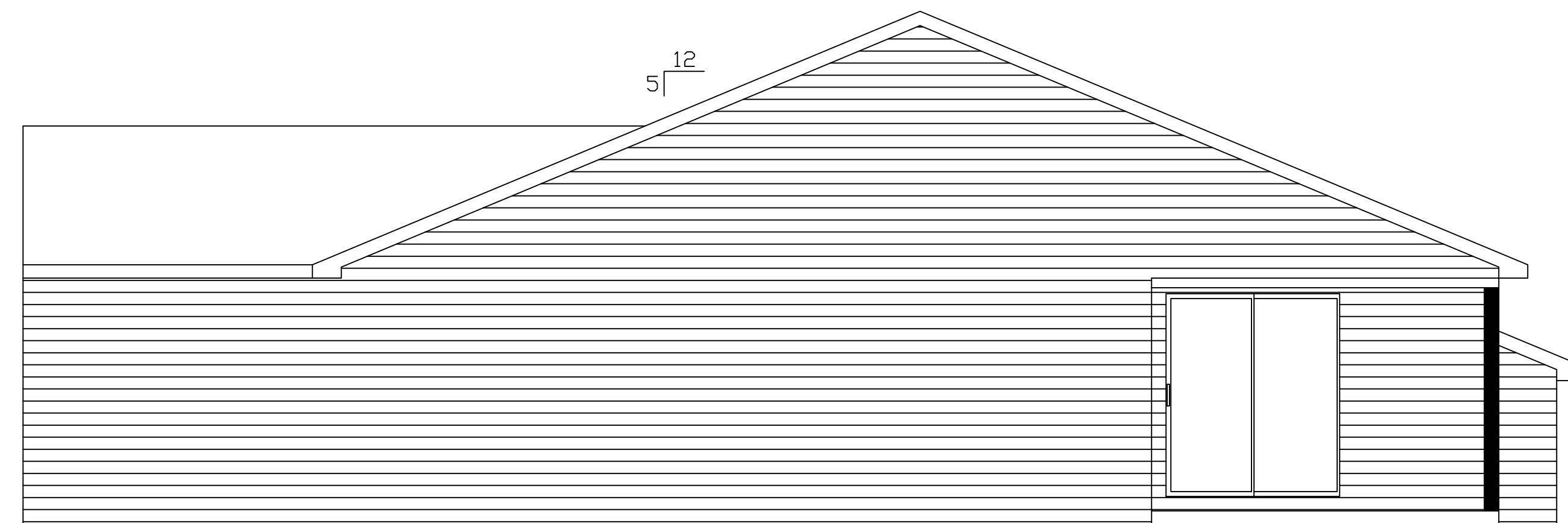
FRONT ELEVATION
SCALE: 1/4" = 1'



REAR ELEVATION
SCALE: 1/4" = 1'



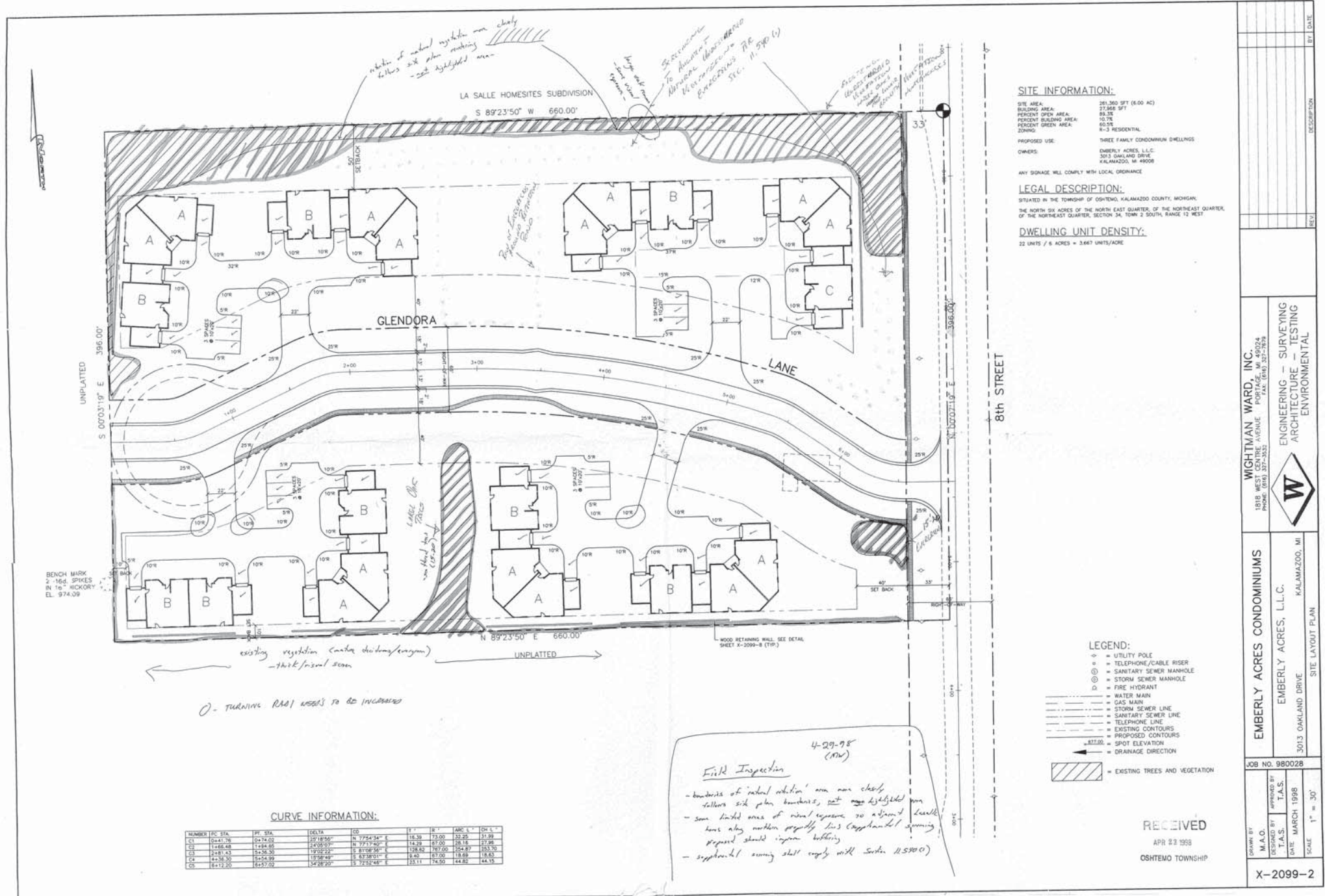
LEFT ELEVATION
SCALE: 1/4" = 1'



RIGHT ELEVATION
SCALE: 1/4" = 1'

SHAKE - MANDR GRAY
D4 SIDING - HERITAGE GRAY
WINDOWS - WHITE
TRIM - WHITE
ROOF - BLACK

1998 Emberly Acres Site Plan Excerpt



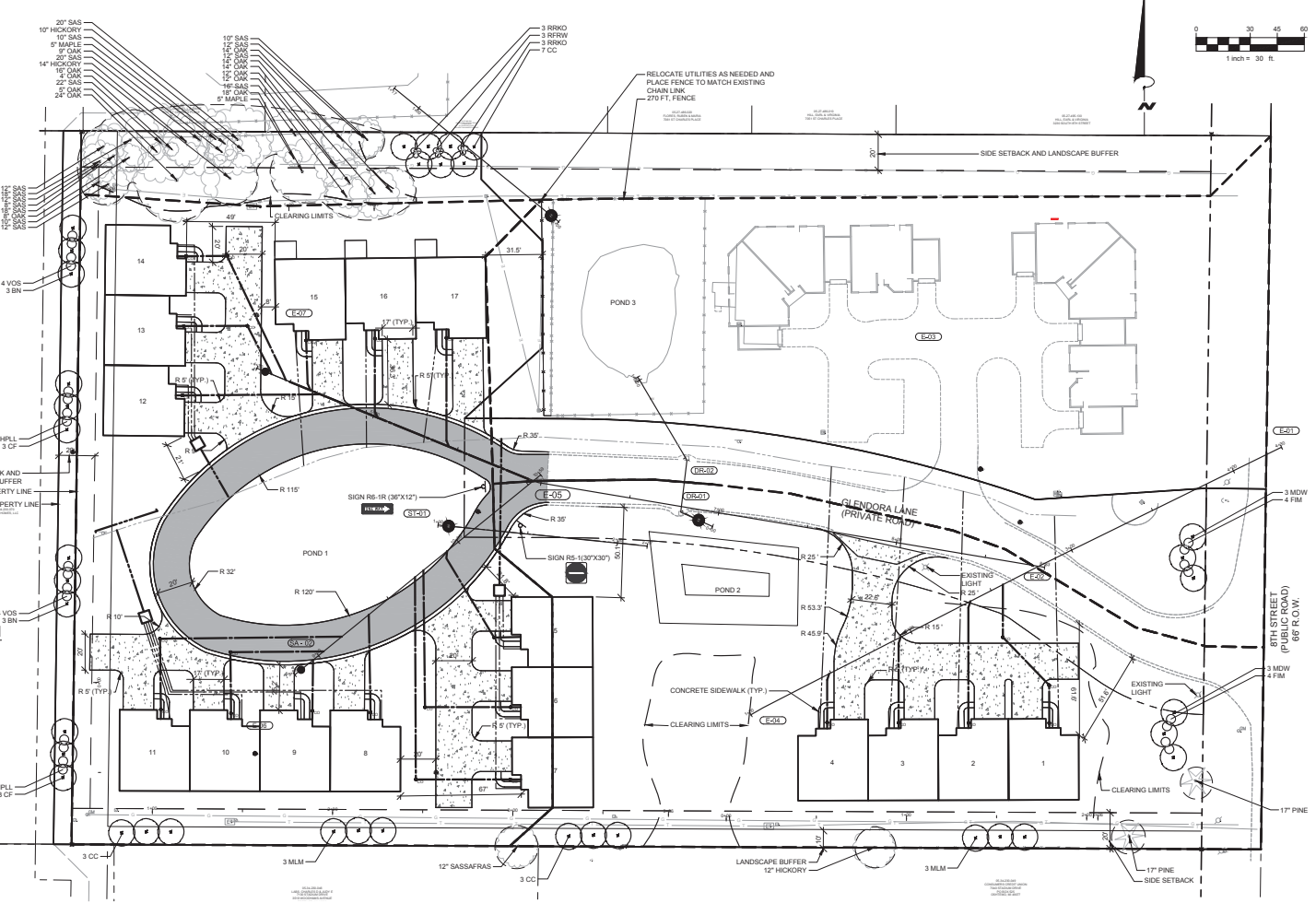
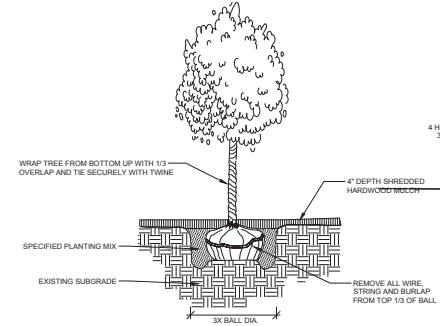
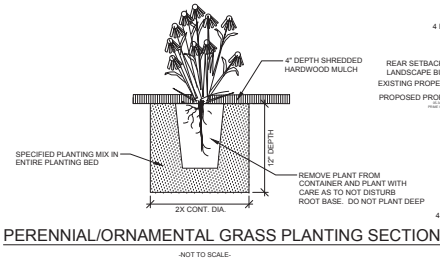
Amended 2018 Emberly Acres II Site Plan Excerpt

NOTES

- LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES CONTRACTOR MUST CALL 811 FOR UTILITY LOCATIONS THREE DAYS PRIOR TO DIGGING.
- LANDSCAPE BEDS TO RECEIVE 4" SHREDDED HARDWOOD BARK. APPLY PRE-EMERGENT HERBICIDE TO ALL LANDSCAPE BEDS.
- CONDUCT SOIL TEST TO VERIFY FERTILITY OF TOPSOIL. AMEND SOIL IF PH IS LESS THAN 5.0 OR GREATER THAN 7.5. MAKE OTHER ADJUSTMENTS AS SOIL ANALYSIS INDICATES.
- PLANTING MIX TO BE A 12" MINIMUM DEPTH IN ALL PLANTING BEDS.
- PLANT TREES SO THAT TOP OF ROOTBALL IS EVEN WITH THE FINISHED GRADE. FOR BACKFILL AREAS, PLANT BALL UP TO 2" HIGH TO ALLOW FOR SETTLING. ALL TREE WRAP/TWINE ETC TO BE REMOVED FROM TREE IN ONE YEAR AS PART OF MAINTENANCE.
- ALL AREAS OF THE SITE NOT DESIGNATED AS PAVED OR LANDSCAPE BED TO BE PLANTED IN TURFGRASS. REWORK ANY AREAS OF EXISTING TURFGRASS TO A FULL STAND. SEED MIXTURE SHALL BE 40% CREEPING RED FESCUE, 30% PERENNIAL RYEGRASS AND 30% 9888 KENTUCKY BLUEGRASS OR APPROVED EQUAL. ALL LAWN AREAS TO RECEIVE 4" OF TOPSOIL.
- ALL LANDSCAPE BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE.
- LANDSCAPE ARCHITECT TO REVIEW ALL TREES EITHER IN THE NURSERIES OR VIA PHOTOGRAPHS OF EACH PLANT. CONTRACTOR TO COORDINATE.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUBSURFACE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
- NATIVE SEED MIX TO BE STORMWATER MIX FROM NATIVE CONNECTIONS. WWW.NATIVECONNECTIONS.NET OR APPROVED EQUAL.

TREE PROTECTION NOTES

- ALL TREES INDICATED TO REMAIN THAT ARE IN THE VICINITY OF CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION FENCING.
- TREE PROTECTION FENCING SHALL BE 4' IN HEIGHT, ORANGE PLASTIC SAFETY FENCING MOUNTED TO METAL POSTS AT 8' MAXIMUM SPACING.
- TREE PROTECTION FENCING SHALL BE PLACED TO THE TREE'S DRIP LINE.
- NO STORAGE OF MATERIALS, CONSTRUCTION TRAFFIC, OR ENTRY SHALL BE PERMITTED WITHIN THE TREE PROTECTION ZONE.



PLANT LIST

NOTE: QUANTITIES ON THE PLANT LIST ARE PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.

CODE	BOTANICAL NAME	COMMON NAME	QTY	CAL	HT	SPRD	ROOT	REMARKS
Ornamental Trees								
BN	BETULA NIGRA	RIVER BIRCH	6		8'10"	B&B	MULTI-STEM, 4-5 STEMS MINIMUM OR SINGLE STRAIGHT TRUNK	
CC	CERCIS CANADENSIS	EASTERN REDBUD	13		8'10"	B&B	MULTI-STEM, 4-5 STEMS MINIMUM OR SINGLE STRAIGHT TRUNK	
CF	CORNUS FLORIDA	FLOWERING DOGWOOD	6		8'10"	B&B	MULTI-STEM, 4-5 STEMS MINIMUM OR SINGLE STRAIGHT TRUNK	
MLM	MAGNOLIA X LOEBNERI 'MERRILL'	MERRILL MAGNOLIA	6		8'10"	B&B	MULTI-STEM, 4-5 STEMS MINIMUM OR SINGLE STRAIGHT TRUNK	
MDW	MALUS 'DONALD WYMAN'	DONALD WYMAN CRABAPPLE	6		8'10"	B&B	MULTI-STEM, 4-5 STEMS MINIMUM OR SINGLE STRAIGHT TRUNK	
Shrubs								
FIM	FORSYTHIA X INTERMEDIA 'MINDOR'	SHOW OFF FORSYTHIA	8		24"	#5	5'-0" ON CENTER	
HPLL	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	8		24"	#3	5'-0" ON CENTER	
RRW	RHAMNUS FRANGULA 'RON WILLIAMS'	FINE LINE FERN LEAF BUCKTHORN	3		24"	#3	3'-0" ON CENTER	
RROK	ROSA X 'RED KNOCK OUT'	RED KNOCKOUT ROSE	6		24"	#3	3'-0" ON CENTER	
VOS	VIBURNUM OPULUS 'STERILE'	EASTERN SNOWBALL VIBURNUM	8		24"	#5	5'-0" ON CENTER	

LEGEND

- PROPOSED HMA PAVEMENT WITH LEVELING COURSE CONSISTING OF 1.5" (18685VD) OF HMA, 1.5" (18685VD) OF HMA, 36A (WEARING) AND WEARING COURSE CONSISTING OF 1.5" (18685VD) OF HMA, 36A (WEARING)
- PROPOSED CONCRETE DRIVE, 4" CONCRETE, 4" CLASS II SAND BASE
- CONFEROUS TREE TO BE PROTECTED
- DECIDUOUS TREE TO BE PROTECTED

WIGHTMAN
BENTON HARBOR
2303 Providence Road
Benton Harbor, MI 49022
Phone: 269.527.0100

PORTAGE
9835 Portage Road
Portage, MI 49023
Phone: 269.327.3532

ALLEGAN
1870 Lincoln Road
Allegan, MI 49010
Phone: 269.673.8465
www.wightman.com

PROJECT NAME:
EMBERLY ACRES II
OSHTEMO TOWNSHIP

PRIME HOMES LLC
415 TREASURE ISLAND DRIVE
KALAMAZOO, MI 49071

- 07/19/2018 FJR REVISED PER OSHTEMO CHARTER TOWNSHIP REVIEW COMMENTS
- 04/05/2018 FJR EASEMENT AND STORM NOTES ADDED
- 03/05/2018 FJR REVISED PER OSHTEMO CHARTER TOWNSHIP REVIEW COMMENTS
- 01/05/2018 FJR SITE PLAN SUBMITTAL

REVISIONS

DATE: JUNE, 2018
SCALE: 1" = 30'

PROPOSED LAYOUT AND LANDSCAPE PLAN

JOB No. 174342
174242-04
OF 9



April 23, 2021

Mtg Date: April 29, 2021

To: Planning Commission

From: Karen High
Zoning Administrator

Applicant: Center Point Church

Owner: Center Point Church

Property: 2345 North 10th Street
Parcel number 3905-11-280-045

Zoning: R-2, Residence District

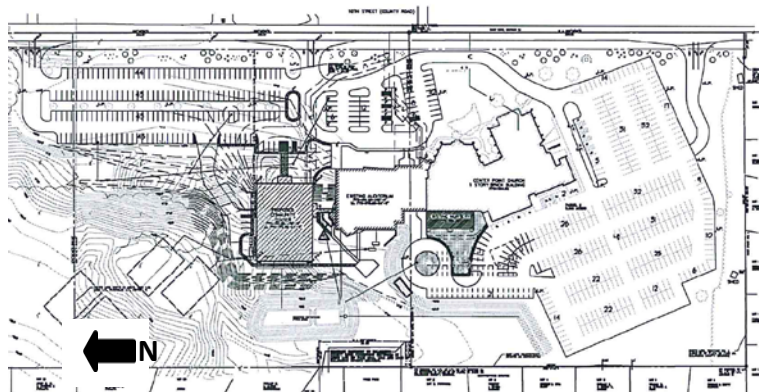
Request: Special Use approval to allow a child care center as an accessory use to an existing private school

Section(s): Section 7.40 Special Uses
Section 65.30: Special Use Review Criteria
Section 49.90: Special Use Requirements

Project Name: Starting Point Preschool

PROJECT SUMMARY

Center Point Church is requesting special use approval to establish a child care center as an accessory use to their existing private preschool. The approved preschool is permitted to serve children ages 30 months to 5 years. If approved, the child care center would allow the site to also provide care for infants and toddlers under 30 months of age. No additional capacity is requested; the maximum number of children served will remain at 110 as previously approved by the Planning Commission on April 30, 2020. The child care center, like the existing private school, is required to follow Michigan's Licensing and Regulatory Affairs (LARA) standards. No renovations to the building or site layout are proposed to the existing church facilities located at 2345 N. 10th Street. Both the preschool and the proposed child care center will utilize space within the existing building.



Excerpt from the property's approved 2020 Site Plan

2345 N 10th Street falls entirely within the R-2 zoning district. Uses permitted in the R-2 zoning district are outlined in Article 7 of the Township's Zoning Code. *Public and private schools, which may have a Child*

Care Center as an accessory use, are identified as a Special Use within this section and require the Planning Commission’s review and approval.

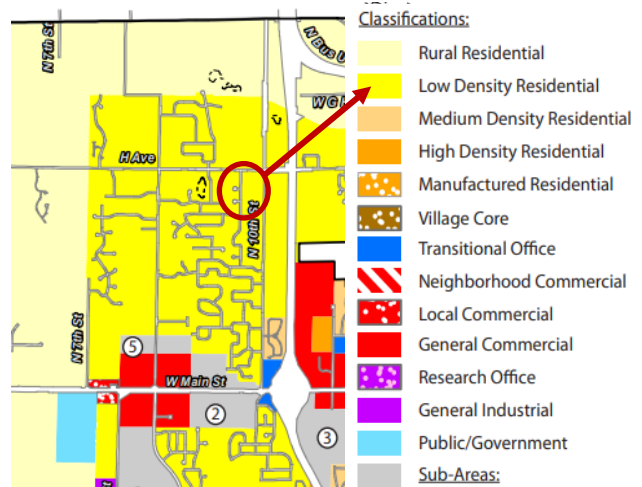
ANALYSIS

When reviewing a Special Use there are two sets of criteria that need to be considered: the general Special Use review criteria outlined in Section 65.30 and the specific requirements for the use in question outlined under Article 49. Below is an analysis of the proposal against these two Sections. Overall, the requirements of both Section 65.30 and Article 49 have been met.

Section 65.30: Special Use Review Criteria:

A. Master Plan/Zoning Ordinance: The proposed use will be consistent with the purpose and intent of the Master Plan and Zoning Ordinance, including the District in which the use is located.

- 1. Master Plan:** The Township’s Future Land Use Map shows this area as being Low Density Residential, see excerpt to the right. This is consistent with the property’s current R-2 zoning classification and the proposed use, see analysis under Zoning Ordinance below.
- 2. Zoning Ordinance:** The intent of the R-2 District, outlined in Article 7, is to be “designed as a suburban residential district to permit a greater density of residential development than is provided in the rural districts of the Township, together with other residentially related facilities and activities which would serve the inhabitants of the area”. All uses outlined in this Article, whether a permitted use, permitted use with conditions, or a special use, are generally considered compatible with this district’s intent. The proposed child care center as an accessory use to a private school is an identified special use within the R-2 district and therefore consistent with the Zoning Ordinance.



B. Impacts:

- 1. The proposed use would be compatible, harmonious and appropriate with the existing or planned character and uses of adjacent properties; meaning the proposed use can coexist with neighboring uses in a stable fashion over time such that no neighboring use is unduly negatively impacted.** The Township has already determined that a church and private school at this location are compatible with the planned character of the area and the existing surrounding uses. Center Point Church has a large facility, 77,000 square feet, that supports a congregation of about 1,200 people. The proposed child care center, like the private school and house of worship, is also an institutional use. No additional interior changes to the building or exterior changes to the site are proposed to accommodate the child care center. The proposed use expands the types of institutional uses of the property but does not change its character nor its compatibility with other uses allowed in the District.

2. **Potentially adverse effects arising from the proposed use on adjacent properties would be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the location of screening, fencing, landscaping, buffers or setbacks.** The proposed child care center will allow infants and toddlers to be served on the site. The number of children served on the site is not proposed to increase and no physical changes to the site are proposed. Therefore, no additional parking or other site changes are considered necessary.
 3. **The proposed use would not be detrimental, hazardous, or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, smoke, odors, glare, or visual clutter.** This property already accommodates, and neighbors are accustomed to, the traffic flow generated by the Church's Sunday services and special events. The applicant requests permission to operate the child care center weekdays, Monday through Friday, with an earliest available drop off time of 7 am and latest available pick up time of 6 pm. This is a change from their currently approved hours for drop off and pick up of 8 a.m. to 6 p.m. The applicant requests that the drop off time for the preschool be changed to allow 7 am drop off as well. The traffic generated by the child care center, including the earlier drop off time, would not conflict with nor be as impactful as the traffic generated by the Church.
- C. **Environment: The natural features of the subject property shall only be cleared or altered to the extent necessary to accommodate site design elements, particularly where the natural features assist in preserving the general character of the area.** No changes to the site are planned.
- D. **Public Facilities: Adequate public and/or private infrastructure and services already exist or would be provided, and will safeguard the health, safety, and general welfare of the public.** The proposed use should not be a hindrance to public health, safety, and welfare. Because the number of children served on the site is not proposed to increase, no increase in traffic is anticipated and the level of service for 10th Street should not be impacted.
- E. **Specific Use Requirements: The Special Use development requirements of Article 49.** Article 49 currently has no additional requirements for the consideration of a child care center as an accessory use to a private or public school within the Township.

Article 49 Requirements for Special Use: Not applicable. See E above.

RECOMMENDATION:

Planning Department staff are satisfied that the project meets all Special Use requirements and recommends that the Planning Commission grant Special Use approval for the child care center as an accessory use to the private preschool for up to 110 children located at 2345 North 10th Street, subject to the following conditions:

1. Prior to the Certificate of Occupancy, documentation is provided to staff verifying that the proposed preschool's curriculum, construction, staffing etc. have meet Michigan's Licensing and Regulatory Affairs (LARA) preschool standards.
2. The preschool and child care center will run Monday through Friday with the earliest available drop off time of 7 a.m. and latest available pick up time of 6 p.m.

Attachments: Application, Letter of intent; Site Plan; May 1, 2020 approval letter, September 17, 2020 letter from Michigan Licensing and Regulatory Affairs; April 15, 2021 letter from resident



7275 W. Main Street, Kalamazoo, Michigan 49009-9334
Phone: 269-216-5223 Fax: 269-375-7180

PLEASE PRINT

PROJECT NAME & ADDRESS _____

PLANNING & ZONING APPLICATION

Applicant Name : Harry Harper
Company Center Point Church
2345 North 10th Street
Address Kalamazoo MI 49009

E-mail lharper@centerpoint.church
Telephone 269-270-6332 Fax _____
Interest in Property Dir of Operations

THIS
SPACE
FOR
TOWNSHIP
USE
ONLY

Fee Amount _____
Escrow Amount _____

OWNER*:

Name Center Point Church
Address _____
Email _____
Phone & Fax _____

NATURE OF THE REQUEST: (Please check the appropriate item(s))

- | | |
|---|---|
| <input type="checkbox"/> Planning Escrow-1042 | <input type="checkbox"/> Land Division-1090 |
| <input type="checkbox"/> Site Plan Review-1088 | <input type="checkbox"/> Subdivision Plat Review-1089 |
| <input type="checkbox"/> Administrative Site Plan Review-1086 | <input type="checkbox"/> Rezoning-1091 |
| <input type="checkbox"/> Special Exception Use-1085 | <input type="checkbox"/> Interpretation-1082 |
| <input type="checkbox"/> Zoning Variance-1092 | <input type="checkbox"/> Text Amendment-1081 |
| <input type="checkbox"/> Site Condominium-1084 | <input type="checkbox"/> Sign Deviation-1080 |
| <input type="checkbox"/> Accessory Building Review-1083 | <input checked="" type="checkbox"/> Other: <u>Accessory Use</u> |

BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary): _____

LEGAL DESCRIPTION OF PROPERTY (Use Attachments if Necessary):

PARCEL NUMBER: 3905- _____

ADDRESS OF PROPERTY: 2345 Martin 10th Street

PRESENT USE OF THE PROPERTY: Church / Preschool


PRESENT ZONING R-2 SIZE OF PROPERTY 97,000 sq ft

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

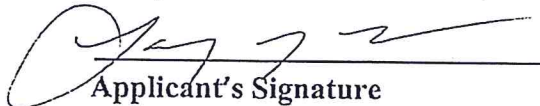
Name(s)	Address(es)
_____	_____
_____	_____

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.


Owner's Signature (* If different from Applicant)

3/4/21
Date


Applicant's Signature

3/4/21
Date

- Copies to:
- Planning -1
- Applicant -1
- Clerk -1
- Deputy Clerk -1
- Attorney-1
- Assessor -1
- Planning Secretary - Original

PLEASE ATTACH ALL REQUIRED DOCUMENTS



one church two locations

2345 North 10th Street
Kalamazoo, MI 49009
(269) 375-4815
www.cpkzoo.org

326 W. Cork Street
Kalamazoo, MI 49001
(269) 344-4120
www.cpkzoo.org

March 4, 2021

Executive Summary: Accessory use request

Centerpoint Church/Starting point preschool is requesting accessory use approval to include Day care as part of our service offered at our existing preschool.

Our facility has been operating a preschool under a Special use to zoning granted on May 1st, 2020. The township approved this based on a maximum of 110 children max occupancy and using the LARA guidelines for the operation of a preschool serving children 30 months of age and older.

Our request for accessory use under this special use variance is based on the new accessory use guidelines approved by the township on Feb 9th, 2021 stating Public and Private schools; may have a Child Care Center as an accessory use.

Centerpoint Church/Starting point preschool is not requesting additional capacity; our combined occupancy will remain 110 children. We are requesting approval for a Child Care Center to be an accessory use of the existing space.

FLOOR PLAN

HOWARD L. OVHREID
 ARCHITECT

2537 ISLAND VIEW LN
 STURGIS, MICHIGAN 4

PHONE (699) 322-
 FAX (699) 322-

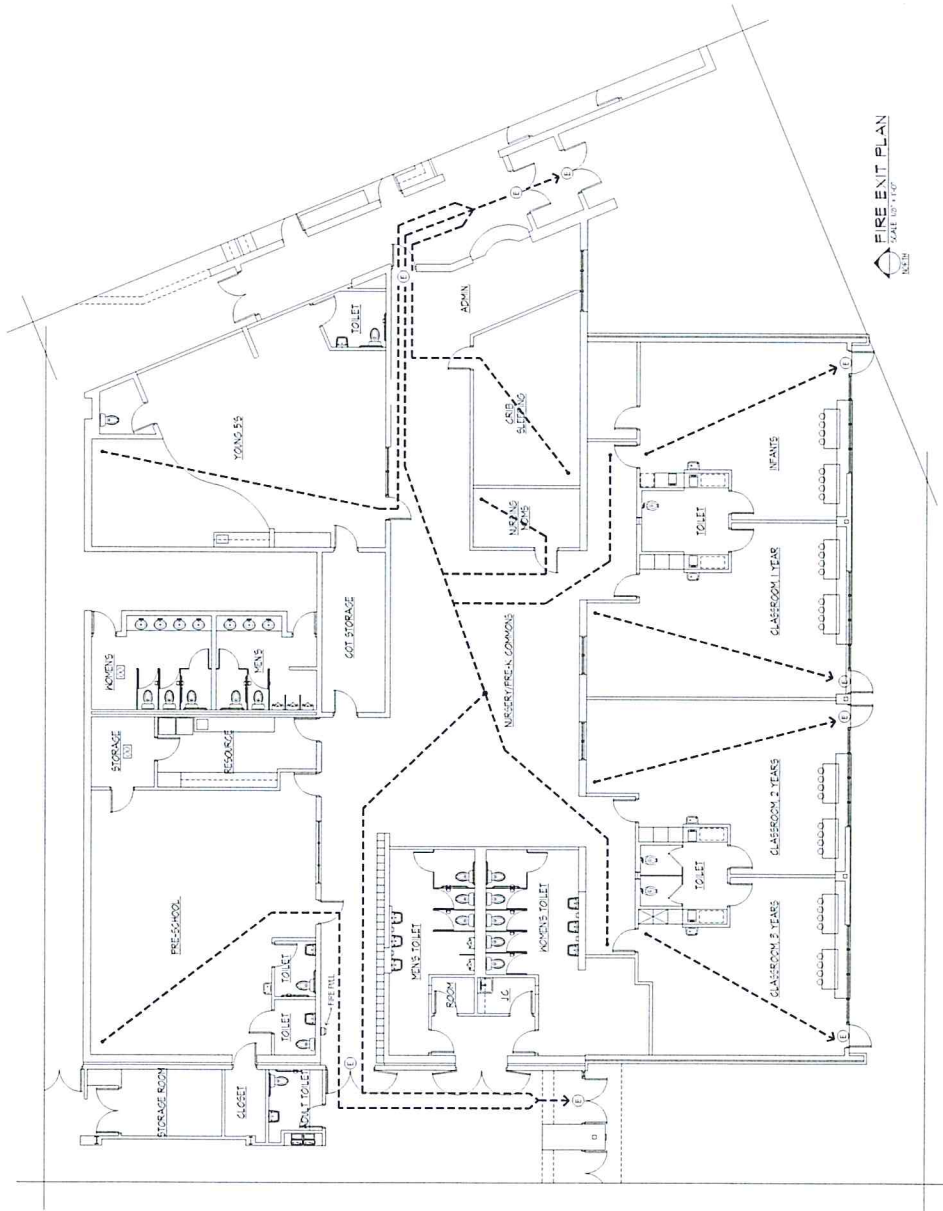


PROJECT

BY
 1/09

REVISED

SHEET
 A



THIS PLAN IS THE PROPERTY OF HOWARD L. OVHREID ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HOWARD L. OVHREID ARCHITECT.



7275 West Main Street
Kalamazoo, MI 49009
269.375.4260 phone
269.375.7180 fax
www.oshtemo.org

5/1/2020

Larry Harper
Center Point Church
2345 N 10th Street
Kalamazoo, MI, 49009

On 4/30/2020, the Oshtemo Township Planning Commission unanimously granted special use approval to establish a private preschool for up to 110 children, 30 months to age five, at the existing church facilities located at 2345 N. 10th Street. Per that action, the following are requirements and conditions of approval:

1. Prior to the Certificate of Occupancy, documentation shall be provided to township staff verifying that the proposed preschool's curriculum, construction, staffing etc. have meet Michigan's Licensing and Regulatory Affairs (LARA) preschool standards.
2. The Preschool will run Monday through Friday with the earliest available drop off time of 8 a.m. and latest available pick up time of 6 p.m.

Please feel free to contact me at ilubbert@oshtemo.org or 269-375-4260 if you have any questions or concerns. Thank you for choosing to invest in Oshtemo!

Kind regards,

Iris Lubbert, AICP
Planning Director



GRETCHEN WHITMER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS
LANSING

ORLENE HAWKS
DIRECTOR

September 17, 2020

Iris Lubbert, AICP
Planning Director for Oshtemo Charter Township
7275 W. Main Street
Kalamazoo, MI 49009

Dear Ms. Lubbert,

I have been in contact with Centerpoint Church regarding their desire to expand the childcare program to include infant and toddler care. The licensing of infant, toddler, preschool, and before and after school care falls under the same Licensing Rules for Child Care Centers. The church is in compliance with getting all the proper inspections and following all safety guidelines to add the infant and toddler care. All of the rules are listed on the LARA website under www.michigan.gov/michildcare.

Please feel free to contact me if you have any questions.

Sincerely,

A handwritten signature in cursive script that reads "Julia Majka".

Julia Majka, Licensing Consultant
Bureau of Community and Health Systems
427 E. Alcott
Kalamazoo, MI 49001
(269) 615-6039
majkaj@michigan.gov

Charter Township of Oshtemo
Planning Commission
Attn: Iris Lubbert, Planning Director

April 15, 2021

As a tax-paying resident of Oshtemo who lives within 300 feet of Center Point Church, I would like to offer some comments on the Church's application for a special use and site plan for a child care center. First of all, while I share the Church's and the Oshtemo Township Board's views of the importance of child care, I would like to point out that the need for child care in the area is not as Center Point states. A simple Google check will note over 15 day care centers within a close distance to where we live, all of whom are currently accepting children and have floating fees. Let's be honest, what Center Point offers is not needed child care for the neighborhood or some vague construct of "the community," but child care for their congregation or for those who share their religious views, many of whom live outside the neighborhood. (Just go the intersection of 10th Street and West Main on Sundays at noon to confirm this.) This neighborhood is a lot more diverse than Center Point Church. The need for their special kind of child care is limited in the neighborhood and surrounding area. I could point out a few acquaintances in the neighborhood who were or are members of the Center Point Church, but have chosen to send their children to other day care centers instead. (In their initial application last year for a variance, Center Point pointed to the delivery of meals to individuals inflicted with COVID-19 as an example of carrying for the community. That is admirable, but the Church may well be also contributing to the spread of COVID-19. After driving by the church on a Sunday morning months ago, my fourteen-year-old son observed a large number of cars in the parking lot and asked me how the church could be holding service which he saw as a potential super-spreader event. I told him that I believed that state regulations legally allowed services at this time and the fourteen-year-old replied that just because it is allowed, doesn't mean it is safe and it was potentially putting the community at risk.)

Apparently, the current application is not for a construction or expansion that would require a zoning change, as their first application did, but for a special use and site plan using space within existing structures. *If and only if* it can be shown that the plan does not impact the site or traffic, then my family has no objections. But I would like to strongly urge the Planning Commission and elected town officials, in the future, to be vigilant and respect the residential character of the neighborhood and the tax-paying citizens. The People's Church and Church of the Jehovah Witnesses – the latter of which has an attractive, beautifully landscaped, well-kept site – have been good neighbors. Center Point Church has not been. The asphalt jungle of a parking lot, the complex of buildings which is too extensive for a residential neighborhood, and industrial-strength lighting around their compound are an eyesore and irritant; the congregants are disrespectful of traffic; and a few youth events have been loud late in the night. If, in the future, Center Point wants to expand, it should be encouraged to transfer these activities to the Northside or Eastside of Kalamazoo, where there is a real need for child care and there are available sites that are not directly on the backs of residential neighborhoods.

Respectfully,



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