

OSHTEMO CHARTER TOWNSHIP BOARD
7275 West Main Street, Kalamazoo, MI 49009
269.375.4260

August 9, 2016
BOARD WORK SESSION
6:00 p.m.
AGENDA

- A. Call to Order
- B. Public Comment
- C. Update from Kalamazoo County
- D. 2017 Budget: Accomplishments, Goals & Visions (several departments)
- E. Committee Updates and Other Business

REGULAR MEETING
7:00 p.m.
AGENDA

- 1. Call to Order
- 2. Pledge of Allegiance
- 3. Citizen Comments on Non-Agenda Items
- 4. Consent Agenda
 - a. Approve Minutes – July 12th, 2016, Regular Meeting
 - b. Receipts & Disbursements Report
 - c. Maple Hill Estates 2 Water Extension Pressure Reduction Station Property Acquisition
 - d. Master Plan Consultant Proposal
 - e. Consideration of Atlantic Avenue Sanitary Sewer Project Contract Amendment
 - f. Fire Department Administrative Assistant Job Description
 - g. Facilities Study Request for Additional Services
 - h. Fire Department Drive Repair Expense
 - i. Employee Handbook Cell Phone Use Policy Amendment
 - j. Construction Standards Amendments for Sidewalks & Shared-use Paths
- 5. Employee Recognition

<u>Employee</u>	<u>Position</u>	<u>Hired</u>	<u>Anniversary</u>
Linda Potok	Admin. Asst.	1996	20
Steve Hippensteel	Firefighter	1996	20
Eric Burghardt	Lieutenant	2006	10
Karen High	Parks Director	2011	5
Rick Griffin	Deputy Fire Chief	2011	5
Nathan Carley	Fleet Maintenance	2011	5
Mike Parker	Firefighter	2011	5
Cody Roberts	Firefighter	2011	5
- 6. Consideration of Fixed Route Public Transit Resolution to Restore Bus Service
- 7. Consideration of Proposed Zoning Text Amendments to Sections 24.205, 39.406, 66.201, & 76.190 – Second Reading
- 8. Consideration of Sky King Meadows III Step 2 Approval
- 9. Consideration of Moratorium on Subdivision/Site Condominium Development within the RR Rural Residential District
- 10. Consideration of Industrial Facilities Tax Exemption for One Way Products, Inc. – Public Hearing
- 11. Consideration of Southwest Michigan Building Authority with Oshtemo & Cooper Townships
 - a. Interlocal Agreement
 - b. By-Laws
 - c. Ordinance Amendment
 - d. Building Official Appointment
 - e. Building Official Job Description
 - f. SMBA Board Members Appointment
 - g. Budget – Startup & 2017 Partial Year
- 12. Other Township Business
- 13. Board Member Comments
- 14. Adjournment

**Policy for Public Comment
Township Board Regular Meetings, Planning Commission & ZBA Meetings**

All public comment shall be received during one of the following portions of the Agenda of an open meeting:

a. Citizen Comment on Non-Agenda Items or Public Comment – while this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official to respond at a later date.

b. After an agenda item is presented by staff and/or an applicant, public comment will be invited. At the close of public comment there will be board discussion prior to call for a motion.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name; it is not required unless the speaker wishes to have their comment recorded in the minutes.

All public comment offered during public hearings shall be directed, and relevant, to the item of business on which the public hearing is being conducted. Comment during the Public Comment or Citizen Comment on Non-Agenda Items may be directed to any issue.

All public comment shall be limited to four (4) minutes in duration unless special permission has been granted in advance by the Supervisor or Chairperson of the meeting.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor or Chairperson of the meeting shall terminate any public comment which is in contravention of any of the principles and procedures set forth herein.

(adopted 5/9/2000)
(revised 5/14/2013)

**Policy for Public Comment
6:00 p.m. "Public Comment"/Portion of Township Board Meetings**

At the commencement of the meeting, the Supervisor shall poll the members of the public who are present to determine how many persons wish to make comments. The Supervisor shall allocate maximum comment time among persons so identified based upon the total number of persons indicating their wish to make public comments, but no longer than ten (10) minutes per person. Special permission to extend the maximum comment time may be granted in advance by the Supervisor based upon the topic of discussion.

While this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official to respond at a later date.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name; it is not required unless the speaker wishes to have their comment recorded in the minutes.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor shall terminate any public comment which is in contravention of any of the principles and procedures set forth herein.

(adopted 2/27/2001)
(revised 5/14/2013)

4, b.

RECEIPTS & DISBURSEMENTS

**** GENERAL, FIRE, SEWER & WATER FUNDS ****

RECEIPTS 07/01/ thru 07/29/2016

Rezoning Request/Geresy	2,000.00
Site Plan/Spec Ex Use/Weathervane Dev	1,000.00
Variance Request/National Flavors	1,050.00
Site Plan Review/Stoddard	600.00
Zoning Verification	50.00
Special Ex Use/Corner Shoppes	250.00
Variance Request/Hurley Stewart	350.00
Admin Site Plan/Spurr	250.00
Special Ex Use/Kortokrax	300.00
Planning Escrow/Weathervane Dev	1,000.00
Planning Escrow/Stoddard	1,000.00
Sign Permits	325.00
Planning Staff/DDA	500.00
Zoning Maps/Books	58.75
Copies	84.41
Ordinance/Parking Violations	3,940.14
Sidewalk Permits	50.00
Address Signs	10.00
Rent Deposits	1,450.00
Grange Rental	150.00
OCC Rentals	350.00
Twp Park Pavilion Rentals	335.00
Flesher Field Pavilion	735.00
Flesher Field Gazebo	100.00
Pymt in Lieu of Taxes	1,957.93
Manufactured Home Comm Fees	2,549.00
Solicitors Licenses	40.00
IFT Application Fee/One Way Products	750.00
May Election Reimbursement	10,462.69
Metal bin credit	234.00
PEO Mileage Reimbursement	299.71
Sale of Firetruck	15,173.00
Water Receipts	9,379.00
Sewer Receipts	17,135.00

Total 73,918.63

DISBURSEMENTS

7/20/2016	Payroll/Office/Trustees	34,695.49
7/22/2016	Payables	475,893.47
8/3/2016	Payroll/Office/FF	60,020.96
8/5/2016	Payables	167,555.39

Total 738,165.31

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP
 EXP CHECK RUN DATES 07/22/2016 - 07/22/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
MISC	American Promotional Events	07/21/2016	tnt fireworks esc	GEN	escrow refund	
90048043	PO BOX 7	07/22/2016		N		400.00
	Three Rivers MI, 49093	/ /	0.0000	Y		0.00
		07/22/2016		N		400.00

Paid

GL NUMBER 101-000-23000

DESCRIPTION Planning Escrow

AMOUNT 400.00

VENDOR TOTAL: 400.00

att	AT&T	07/21/2016	269381851207	GEN	phone @ drake house	90.47
90048044	PO Box 5080	07/22/2016		N		0.00
	Carol Stream IL, 06197-5080	/ /	0.0000	N		90.47
		07/22/2016		N		

Paid

GL NUMBER 107-756-98100

DESCRIPTION Capital Outlay/Drake House

AMOUNT 90.47

VENDOR TOTAL: 90.47

balkema	Balkema Excavating Inc	07/21/2016	Pynt 1	GEN	ATLANTIC AVE WTR, SANIT & COMMERCIAL AC	224,000.69
90048045	1500 River Street	07/22/2016	000008592	N		0.00
	Kalamazoo MI, 49048	/ /	0.0000	N		224,000.69
		07/22/2016		N		

Paid

GL NUMBER 490-000-96400

DESCRIPTION UNIT COST SANITARY SEWER PART

AMOUNT 91,260.94

GL NUMBER 491-000-96400

DESCRIPTION UNIT COST WATER PART (W/MISC)

AMOUNT 100,894.75

GL NUMBER 101-506-95200

DESCRIPTION ALT2 COMMERCIAL DRIVE (OSH RD)

AMOUNT 3,005.00

GL NUMBER 900-728-97500

DESCRIPTION ALT2 COMMERCIAL DRIVE (DDA PART)

AMOUNT 28,840.00

VENDOR TOTAL: 224,000.69

VENDOR TOTAL: 224,000.69

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP
 EXP CHECK RUN DATES 07/22/2016 - 07/22/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

07/21/2016 03:53 PM
 User: DeannaJ
 DB: Oshtemo

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
bcbs	Blue Cross Blue Shield of Michigan	07/21/2016	august	GEN	health insurance	22,745.74
90048046	PO Box 674416	07/22/2016	0.0000	N		0.00
	Detroit MI, 48267-4416	/ /		N		22,745.74
Paid		07/22/2016		N		

GL NUMBER	DESCRIPTION	AMOUNT
101-234-71600	HEALTH & LIFE INSURANCE	13,346.48
206-336-71600	Health & Life Insurance	4,850.11
101-000-27800	H/D/V INSURANCE	4,549.15
		<u>22,745.74</u>

VENDOR TOTAL: 22,745.74

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
bruce	Bruce's Truck and Auto Accessories	32275	320.00
90048047	52160 N Main	000008591	0.00
	Mattawan MI, 49071	0.0000	320.00

GL NUMBER	DESCRIPTION	AMOUNT
206-340-86700	WEIGHT DISTRIBUTION HITCH	320.00

VENDOR TOTAL: 320.00

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
ce-sl	Consumers Energy	201805131594	9,138.83
90048049	Payment Center		0.00
	PO Box 740309	0.0000	9,138.83
	Cincinnati OH, 45274-0309		

GL NUMBER	DESCRIPTION	AMOUNT
101-506-92600	Street Lighting	9,138.83

VENDOR TOTAL: 9,138.83

User: DeannaJ
 DB: Oshtemo
 EXP CHECK RUN DATES 07/22/2016 - 07/22/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

BANK CODE: GEN
 Vendor name: Engineered Protections Systems, Inc
 Address: 750 Front NW
 City/State/Zip: Suite 200 Grand Rapids MI, 49504-4400
 Vendor Code: eps
 Ref #: 90048052

Post Date	Invoice	Bank	Invoice Description	Gross Amount
07/21/2016	a708342,a708532	GEN	video service & h3 alarm	218.55
07/22/2016		N		

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-218-93100	Maintenance Services	117.21
206-340-93100	Building Maintenance	101.34
		<u>218.55</u>

VENDOR TOTAL: 218.55

Post Date	Invoice	Bank	Invoice Description	Gross Amount	Discount	Net Amount
07/21/2016	32571	GEN	legal fees	4,895.00	0.00	4,895.00
07/22/2016	0.0000	N				
/ /		N				
07/22/2016		Y				

Paid

GL NUMBER	DESCRIPTION	AMOUNT
249-371-82600	Legal Fees	4,895.00

VENDOR TOTAL: 4,895.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
genzink 90048054	Genzink Appraisal Company 1009 44TH STREET, SW SUITE 107 WYOMING MI, 49509-4480	07/21/2016 07/22/2016 / / 07/22/2016	3429-15 000008580 0.0000	GEN N N Y	APPRAISAL RE THREE BROS REALTY (DENOYOEY)	2,167.90
Paid						
GL NUMBER 101-209-80700	DESCRIPTION APPRAISAL RE THREE BROS REALTY (DENOYOEY)		AMOUNT		AMT RELIEVED	
			2,167.90		2,167.90	
genzink 90048055	Genzink Appraisal Company 1009 44TH STREET, SW SUITE 107 WYOMING MI, 49509-4480	07/21/2016 07/22/2016 / / 07/22/2016	3430-15 000008579 0.0000	GEN N N Y	APPRAISA WORK RE METRO TOYOTA TAX APPEA	2,167.90
Paid						
GL NUMBER 101-209-80700	DESCRIPTION APPRAISAL WORK RE METRO TOYOTA TAX APPEA		AMOUNT		AMT RELIEVED	
			2,167.90		2,167.90	
Vendor TOTAL: 4,335.80						
hassel 90048056	Hasselbring Clark 5858 S Aurelius Lansing MI, 48911	07/21/2016 07/22/2016 / / 07/22/2016	55033 000008582 0.0000	GEN N N N	FIRE DEPARTMENT PRINTER/COPIER BILL	170.83
Paid						
GL NUMBER 206-340-80900	DESCRIPTION COPY/PRINTER INVOICE		AMOUNT		AMT RELIEVED	
			170.83		170.83	
Vendor TOTAL: 170.83						
hopkins-fc 90048057	Hopkins Fundraising Consulting 5712 Highbury Ada MI, 49301	07/21/2016 07/22/2016 / / 07/22/2016	07152016 000008610 0.0000	GEN N N Y	JULY FUNDRAISING SERVICES	5,500.00
Paid						
GL NUMBER 107-756-80800	DESCRIPTION JULY FUNDRAISING SERVICES		AMOUNT		AMT RELIEVED	
			5,500.00		5,500.00	
Vendor TOTAL: 5,500.00						

Vendor name: Iron Mountain
 Address: PO Box 27128
 City/State/Zip: New York NY, 10087-7128

Vendor Code: 90048058
 Ref #: 90048058
 Post Date: 07/21/2016
 CK Run Date: 07/22/2016
 Disc. Date: / /
 Due Date: 07/22/2016

Bank: GEN
 Hold: N
 Sep CK: N
 1099: N

Invoice Description: FILE STORAGE FEE FOR JULY 2016
 Invoice: mte2217
 PO: 000008581
 Disc. %: 0.0000

Bank Amount: 181.54
 Discount: 0.00
 Net Amount: 181.54

AMOUNT: 181.54
 AMT RELIEVED: 181.54
 VENDOR TOTAL: 181.54

DESCRIPTION: FILE STORAGE FEE FOR JULY 2016

MISC 90048081
 Jason Lambracht
 4390 S. Westnedge Court
 Kalamazoo MI, 49008

the good stuff fi
 escrow refund
 400.00
 0.00
 400.00

AMOUNT: 400.00
 VENDOR TOTAL: 400.00

DESCRIPTION: Planning Escrow

MISC 90048060
 Ka-Boomers Enterprises, Inc
 PO Box 86
 Wahoo NE, 68066

escrow refund
 400.00
 0.00
 400.00

AMOUNT: 400.00
 VENDOR TOTAL: 400.00

DESCRIPTION: Planning Escrow

MISC 90048072
 Kal County Fire Chiefs Assoc
 7275 West Main
 Attn Mark Barnes
 Kalamazoo MI, 49009

FIRE DEPARTMENT NEW HIRE ACADEMY BOOKS
 1,095.00
 0.00
 1,095.00

AMOUNT: 1,095.00
 AMT RELIEVED: 1,095.00
 VENDOR TOTAL: 1,095.00

DESCRIPTION: BOOKS

MISC 206-340-76000
 DESCRIPTION: BOOKS

AMOUNT: 1,095.00
 AMT RELIEVED: 1,095.00
 VENDOR TOTAL: 1,095.00

Vendor Code Vendor name Vendor name Address City/State/Zip Post Date Invoice PO Invoice Description Bank Hold Sep CK Gross Amount
 Ref # Address City/State/Zip CK Run Date Invoice PO Invoice Description Bank Hold Sep CK Discount
 Disc. Date Disc. % Due Date

Vendor Code	Vendor name	Vendor name	Address	City/State/Zip	Post Date	Invoice PO	Invoice Description	Bank Hold	Sep CK	Gross Amount
90048061	Kalamazoo City Treasurer	Kalamazoo City Treasurer	415 E Stockbridge	Kalamazoo MI, 49001	07/21/2016	07222016	water - h2	GEN		145.91
					07/22/2016			N		0.00
					/ /	0.0000		N		145.91
					07/22/2016			N		

Paid

GL NUMBER 206-340-92000 DESCRIPTION Water AMOUNT 145.91

VENDOR TOTAL: 145.91

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
BANK CODE: GEN						
krcr	Kalamazoo County Road Commission	07/21/2016	51277&51338	GEN	ROAD MAINTENANCE, SKY KING MEADOWS	
90048064	3801 E Kilgore Rd	07/22/2016	000008397	N		7,598.24
	Kalamazoo MI, 49001	/ /	0.0000	N		0.00
Paid		07/22/2016		N		7,598.24
GL NUMBER	DESCRIPTION			AMOUNT	AMT RELIEVED	
101-506-95200	E) SEECO DRIVE, MICKEYS TRL, BELLE ST			7,598.24	7,598.24	
krcr	Kalamazoo County Road Commission	07/21/2016	51334	GEN	ROAD MAINTENANCE, GREEN MEADOW & DRIFTW	
90048068	3801 E Kilgore Rd	07/22/2016	000008392	N		4,376.69
	Kalamazoo MI, 49001	/ /	0.0000	N		0.00
Paid		07/22/2016		N		4,376.69
GL NUMBER	DESCRIPTION			AMOUNT	AMT RELIEVED	
101-506-95200	A) GREEN MEADOW DR, GREEN MEADOW RD			4,376.69	4,376.69	
krcr	Kalamazoo County Road Commission	07/21/2016	51335	GEN	ROAD MAINTENANCE, OSHTEMO WOODS & WHITE	
90048066	3801 E Kilgore Rd	07/22/2016	000008395	N		8,383.25
	Kalamazoo MI, 49001	/ /	0.0000	N		0.00
Paid		07/22/2016		N		8,383.25
GL NUMBER	DESCRIPTION			AMOUNT	AMT RELIEVED	
101-506-95200	B) LAMPLIGHTER LN, OSHTEMO WOODS LN			8,383.25	8,383.25	
krcr	Kalamazoo County Road Commission	07/21/2016	51336	GEN	ROAD MAINTENANCE, OSHTEMO RIDGE I/II	
90048067	3801 E Kilgore Rd	07/22/2016	000008394	N		1,120.56
	Kalamazoo MI, 49001	/ /	0.0000	N		0.00
Paid		07/22/2016		N		1,120.56
GL NUMBER	DESCRIPTION			AMOUNT	AMT RELIEVED	
101-506-95200	C) DARLINGTON TRL, OSHTEMO RIDGE TR			1,120.56	1,120.56	
krcr	Kalamazoo County Road Commission	07/21/2016	51337	GEN	ROAD MAINTENANCE, BELA SERA PLAT	
90048071	3801 E Kilgore Rd	07/22/2016	000008389	N		3,958.35
	Kalamazoo MI, 49001	/ /	0.0000	N		0.00
Paid		07/22/2016		N		3,958.35
GL NUMBER	DESCRIPTION			AMOUNT	AMT RELIEVED	
101-506-95200	D) BELA AVENUE, RUPAL STREET			3,958.35	3,958.35	

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
kcrc	Kalamazoo County Road Commission	07/21/2016	51339	GEN	ROAD MAINTENANCE, SPRINGWOOD HILL AREA	
90048063	3801 E Kilgore Rd	07/22/2016	000008399	N		7,441.20
	Kalamazoo MI, 49001	/ /	0.0000	N		0.00
		07/22/2016		N		7,441.20
Paid						
GL NUMBER	DESCRIPTION				AMOUNT	AMT RELIEVED
101-506-95200	F) SPRINGWOOD DR, AMBER CIR, AUTUMN WOOD				7,441.20	7,441.20
kcrc	Kalamazoo County Road Commission	07/21/2016	51340	GEN	ROAD MAINTENANCE, PINE ACRES	
90048065	3801 E Kilgore Rd	07/22/2016	000008396	N		647.82
	Kalamazoo MI, 49001	/ /	0.0000	N		0.00
		07/22/2016		N		647.82
Paid						
GL NUMBER	DESCRIPTION				AMOUNT	AMT RELIEVED
101-506-95200	G) PINE ACRES DRIVE				647.82	647.82
kcrc	Kalamazoo County Road Commission	07/21/2016	51341	GEN	ROAD MAINTENANCE, COUNTRY TRAIL HOMESIT	
90048070	3801 E Kilgore Rd	07/22/2016	000008390	N		12,056.07
	Kalamazoo MI, 49001	/ /	0.0000	N		0.00
		07/22/2016		N		12,056.07
Paid						
GL NUMBER	DESCRIPTION				AMOUNT	AMT RELIEVED
101-506-95200	H) CROSS COUNTRY DR, OAK HIGHLANDS DR,				12,056.07	12,056.07
kcrc	Kalamazoo County Road Commission	07/21/2016	51342	GEN	ROAD MAINTENANCE, CROYDEN AVE	
90048069	3801 E Kilgore Rd	07/22/2016	000008391	N		2,627.43
	Kalamazoo MI, 49001	/ /	0.0000	N		0.00
		07/22/2016		N		2,627.43
Paid						
GL NUMBER	DESCRIPTION				AMOUNT	AMT RELIEVED
101-506-95200	I) CROYDEN AVENUE				2,627.43	2,627.43
kcrc	Kalamazoo County Road Commission	07/21/2016	51343	GEN	ROAD MAINTENANCE, WESTERN WOODS	
90048062	3801 E Kilgore Rd	07/22/2016	000008400	N		1,120.56
	Kalamazoo MI, 49001	/ /	0.0000	N		0.00
		07/22/2016		N		1,120.56
Paid						
GL NUMBER	DESCRIPTION				AMOUNT	AMT RELIEVED
101-506-95200						

Vendor name: Kalamazoo County Treasurer
 Address: 201 West Kalamazoo Ave
 City/State/Zip: Kalamazoo MI, 49007

Vendor Code: 101-506-95200
 Ref #: 90048074
 Post Date: 07/21/2016
 CK Run Date: 07/22/2016
 Disc. Date: / /
 Due Date: 07/22/2016

Bank: GEN
 Hold: N
 Sep CK: N
 1099: N

Invoice: 07122016
 PO: 00008596
 Disc. %: 0.0000

Invoice Description: PRE REFUND FROM STATE APPEAL

1,120.56
 1,120.56
 VENDOR TOTAL: 49,330.17

Paid
 GL NUMBER: 101-249-96100
 DESCRIPTION: REFUND FROM PRE APPEAL
 AMOUNT: 8.63
 AMT RELIEVED: 8.63
 VENDOR TOTAL: 8.63

Paid
 GL NUMBER: 207-310-80200
 DESCRIPTION: Protection Contract - KC
 AMOUNT: 85,490.83
 AMT RELIEVED: 85,490.83
 VENDOR TOTAL: 85,490.83

Gross Amount: 85,490.83
 Discount: 0.00
 Net Amount: 85,490.83

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP
 EXP CHECK RUN DATES 07/22/2016 - 07/22/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

BANK CODE: GEN
 Vendor name: Kalamazoo Oil Company
 Address: 2601 N. Burdick Street
 City/State/Zip: Kalamazoo MI, 49007-1874

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		

ko	07/21/2016	1956-1618201	GEN	fd fuel	1,928.84
90048076	07/22/2016		N		
Paid	/ /	0.0000	N		0.00
	07/22/2016		N		1,928.84

GL NUMBER	DESCRIPTION	AMOUNT
206-340-86800	Fuel	1,928.84

ko	07/21/2016	1958-1618201	GEN	twp vehicle fuel	323.06
90048077	07/22/2016		N		
Paid	/ /	0.0000	N		0.00
	07/22/2016		N		323.06

GL NUMBER	DESCRIPTION	AMOUNT
206-340-86800	Fuel	47.70
101-249-86800	Fuel, Oil & Grease	88.65
107-756-86800	Fuel, Oil & Grease	131.16
101-218-86800	Fuel, Oil & Grease	55.55
		323.06

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		

kb	07/21/2016	28406	GEN	2 ROLLS PAPER FOR COLOR PLOTTER	39.08
90048078	07/22/2016	000008598	N		0.00
Paid	/ /	0.0000	N		39.08
	07/22/2016		N		

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-249-72800	2 ROLLS PAPER FOR COLOR PLOTTER	39.08	39.08

VENDOR TOTAL: 2,251.90

VENDOR TOTAL: 39.08

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP
 EXP CHECK RUN DATES 07/22/2016 - 07/22/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
90048079	Kansas City Life Co	07/21/2016	august	GEN	life insurance	591.94
	PO Box 8858	07/22/2016		N		
	Carol Stream IL, 60197-8858	/ /	0.0000	N		0.00
		07/22/2016		N		591.94

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-234-71600	Disability Insurance	413.36
206-336-71600	Health & Life Insurance	178.58
		591.94

VENDOR TOTAL: 591.94

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
90048080	Keystone Event Management Concepts	07/21/2016	07152016	GEN	jim wiley conference	386.80
	520 Looking Glass Glen	07/22/2016		N		0.00
	Dewitt MI, 48820	/ /	0.0000	N		0.00
		07/22/2016		Y		386.80

Paid

GL NUMBER	DESCRIPTION	AMOUNT
206-336-95900	Continuing Education	386.80

VENDOR TOTAL: 386.80

BANK CODE: GEN
 Vendor name Lake Michigan Mailers
 Address PO Box 19157
 City/State/Zip Kalamazoo MI, 49019-9157

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		
lmm	07/21/2016	351701,352196	GEN	bal of aug ballots, gen postage	
90048082	07/22/2016	0.0000	N		2,828.40
Paid	/ /		N		0.00
	07/22/2016		N		2,828.40

GL NUMBER	DESCRIPTION	AMOUNT
101-249-73000	Postage	2,000.00
101-191-73000	Postage - elections	828.40
		<u>2,828.40</u>

lmm	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		
lmm	07/21/2016	351909	GEN	POSTAGE FOR 2016 SUMMER TAX BILLS	
90048083	07/22/2016	000008576	N		2,504.00
Paid	/ /	0.0000	N		0.00
	07/22/2016		N		2,504.00

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-174-73000	POSTAGE FOR 2016 SUMMER	2,504.00	2,504.00
			<u>5,332.40</u>

Land	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		
Land	07/21/2016	1318, 1293	GEN	EASEMENT ACQUISITION SERVICES, SOUTH DR	
90048084	07/22/2016	000008608	N		3,606.70
Paid	/ /	0.0000	N		0.00
	07/22/2016		N		3,606.70

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-249-97600.WMSTDM	SERVICES 5.7.16 THRU 5.20.16 (INV 1293)	2,697.00	2,697.00
101-249-97600.WMSTDM	SERVICES 5.21.16 THRU 6.17.16 (INV 1318)	909.70	909.70
		<u>3,606.70</u>	

VENDOR TOTAL:		3,606.70
VENDOR TOTAL:		<u>3,606.70</u>

BANK CODE: GEN
 Vendor name: Lynette Protz
 Address: 4645 N 6th Street
 City/State/Zip: Kalamazoo MI, 49009

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		
MISC	07/21/2016	07102016	GEN	rental deposit refund	250.00
90048110	07/22/2016	0.0000	N		0.00
	/ /		Y		250.00
Paid	07/22/2016		N		

AMOUNT
250.00
VENDOR TOTAL: 250.00

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		
coash	07/21/2016	june	GEN	minute transcription	525.00
90048048	07/22/2016	0.0000	N		0.00
	/ /		N		525.00
Paid	07/22/2016		Y		

AMOUNT
525.00
VENDOR TOTAL: 525.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
menards	Menards	07/21/2016	19563	GEN	VEHICLE CLEANING SUPPLIES	28.38
90048086	6800 West Main Street Kalamazoo MI, 49009	07/22/2016	000008571	N		0.00
		/ /	0.0000	N		28.38
		07/22/2016		N		

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-340-75700	VEHICLE CLEANING SUPPLIES	28.38	28.38

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-340-72800	WHISK BROOM	13.47	13.47
206-340-72800	HUGGIES WEP WIPES 3 PACK	5.97	5.97
206-340-72800	4" BRASS NOZZLE	19.47	19.47
206-340-72800	COIL HOSE	29.97	29.97
206-340-72800	VELCRO	19.97	19.97
206-340-72800	5 GAL PAIL	8.91	8.91
206-340-72800	GAMM SEAL LID	6.97	6.97
		<u>104.73</u>	

133.11

VENDOR TOTAL:

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
mcp	Miller, Canfield, Paddock and Stone	07/21/2016	1326074	GEN	legal fees	1,155.00
90048088	277 S Rose St Ste 5000 Kalamazoo MI, 49007	07/22/2016		N		0.00
		/ /	0.0000	N		1,155.00
		07/22/2016		Y		

Paid

GL NUMBER	DESCRIPTION	AMOUNT
491-000-82600	Legal Fees	1,155.00

VENDOR TOTAL:

1,155.00

Vendor name: MLive Media Group
 Address: Dept 77571, PO Box 77000, Detroit MI, 48277-0571
 City/State/Zip: / / 07/22/2016
 Vendor Code: kg
 Ref #: 90048075
 Bank: GEN
 Invoice Description: legal notices
 Gross Amount: 5,681.47
 Discount: 0.00
 Net Amount: 5,681.47

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-249-90300	Legal Notices	861.54
101-805-90300	Legal Notices	4,819.93
		<u>5,681.47</u>

VENDOR TOTAL: 5,681.47

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
nederveld 90048089	Nederveld 3025 Miller Road Ann Arbor MI, 48103	98020 000007290 0.0000	13,200.00 13,200.00

VENDOR TOTAL: 13,200.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
nelsonbre 90048090	Nelson Breech Nave AIA Architect 100 N Edwards Street Kalamzoo MI, 49007	#1 000008607 0.0000	975.00 0.00 975.00

VENDOR TOTAL: 975.00

User: DeannaJ
 DB: Oshtemo
 EXP CHECK RUN DATES 07/22/2016 - 07/22/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

BANK CODE: GEN
 Vendor name: Nicole Ailes
 Address: 1448 Oshtemo Ridge Trl
 City/State/Zip: Kalamazoo MI, 49009
 Vendor Code: n&s
 Ref #: 90048091
 Post Date: 07/21/2016
 CK Run Date: 07/22/2016
 Disc. Date: / /
 Due Date: 07/22/2016
 Invoice: 07162016
 PO: 0.0000
 Disc. %: 0.0000
 Bank: GEN
 Hold: N
 Sep CK: Y
 1099: N
 Invoice Description: rental deposit refund

MISC	GL NUMBER	DESCRIPTION	AMOUNT	GEN	CONTRACT MOWING OF CEMETERY'S	Gross Amount	Discount	Net Amount
90048042	101-000-24800	Rent Deposits	250.00	N		250.00	0.00	250.00
Paid								
				VENDOR TOTAL:		250.00		

n&s	GL NUMBER	DESCRIPTION	AMOUNT	GEN	CONTRACT MOWING OF CEMETERY'S	Gross Amount	Discount	Net Amount
90048091	101-218-80600	Contracted Lawn Maintenance	1,400.00	N		1,400.00	0.00	1,400.00
Paid								
				VENDOR TOTAL:		1,400.00		

BANK CODE: GEN
 Vendor name Office Depot
 Address Dept .69-00827020
 City/State/Zip PO Box 183174
 Columbus OH, 43218

Vendor Code 101-209-72800
 Ref # office
 Post Date 07/21/2016
 CK Run Date 07/22/2016
 Disc. Date / /
 Due Date 07/22/2016
 Invoice 0001 & 1001
 PO 000008557
 Disc. % 0.0000

Bank Hold Sep CK 1099
 Invoice Description
 Gross Amount
 Discount
 Net Amount

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-209-72800	MECHANICAL PENCILS	39.06	39.06
office			
90048102	Office Depot		
	Dept .69-00827020		
	PO Box 183174		
	Columbus OH, 43218		
Paid			

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-209-72800	STORAGE CLIPBOARD/ASSESSING	18.99	18.99
office			
90048095	Office Depot		
	Dept .69-00827020		
	PO Box 183174		
	Columbus OH, 43218		
Paid			

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-250-72800	GREEN FLAGS X 200	14.58	14.58
101-250-72800	ORANGE FLAGS X 200	14.58	14.58
101-249-72800	PURPLE FLAGS X 200	14.58	14.58
101-249-72800	200 9X12 ENVELOPES	29.98	29.98
101-249-72800	200 10X13 ENVELOPES	33.98	33.98
		107.70	107.70

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-249-72800	MAILING SEALS, MECH. PENCIL	15.98	15.98
office			
90048106	Office Depot		
	Dept .69-00827020		
	PO Box 183174		
	Columbus OH, 43218		
Paid			

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-249-72800	MAILING SEALS,	15.98	15.98
office			
90048106	Office Depot		
	Dept .69-00827020		
	PO Box 183174		
	Columbus OH, 43218		
Paid			

Vendor Code Vendor name Address City/State/Zip Post Date CK Run Date Disc. % Due Date Invoice Description Bank Hold Sep CK 1099

90048104 Dept .69-00827020 PO Box 183174 Columbus OH, 43218 07/22/2016 000008614 N
 Paid

GL NUMBER DESCRIPTION AMOUNT AMT RELIEVED
 101-249-72800 STENO BOOKS 7.20 7.20

office Office Depot 846521245001 GEN INDEX DIVIDER SETS 81.94
 90048099 Dept .69-00827020 PO Box 183174 Columbus OH, 43218 07/22/2016 000008554 N
 Paid

GL NUMBER DESCRIPTION AMOUNT AMT RELIEVED
 107-756-75700 6 SETS/INDEX DIVIDER SETS/ TABS 1-10 81.94 81.94

office Office Depot 847000814001 GEN INK CARTRIDGE HP 42X 233.99
 90048100 Dept .69-00827020 PO Box 183174 Columbus OH, 43218 07/22/2016 000008555 N
 Paid

GL NUMBER DESCRIPTION AMOUNT AMT RELIEVED
 101-201-72800 INK CARTRIDGE HP 42X 233.99 233.99

office Office Depot 847663686001 GEN 11 X 17 CARD STOCK FOR KAREN 8.50
 90048101 Dept .69-00827020 PO Box 183174 Columbus OH, 43218 07/22/2016 000008577 N
 Paid

GL NUMBER DESCRIPTION AMOUNT AMT RELIEVED
 101-249-72800 11 X 17 CARD STOCKN 8.50 8.50

VENDOR TOTAL: 974.85

BANK CODE: GEN
 Vendor name: Oshtemo Fire Department
 Address: 7275 West Main
 City/State/Zip: Kalamazoo MI, 49009
 Vendor Code: 90048107
 Ref #: 90048107
 Post Date: 07/21/2016
 CK Run Date: 07/22/2016
 Disc. Date: / /
 Due Date: 07/22/2016
 Invoice: 2nd qtr
 PO: 0.0000
 Disc. %: 0.0000
 Bank: GEN
 Hold: N
 Sep CK: N
 1099: N

Vendor Code	Ref #	Post Date	CK Run Date	Disc. Date	Due Date	Invoice	PO	Disc. %	Bank	Hold	Sep CK	1099	Invoice Description	Gross Amount	Discount	Net Amount
90048107	90048107	07/21/2016	07/22/2016	/ /	07/22/2016	2nd qtr	0.0000	0.0000	GEN	N	N	N	peo mileage reimbursement	299.71	0.00	299.71

Paid
 GL NUMBER: 207-320-87000
 DESCRIPTION: Mileage
 AMOUNT: 299.71
 VENDOR TOTAL: 299.71

Vendor Code	Ref #	Post Date	CK Run Date	Disc. Date	Due Date	Invoice	PO	Disc. %	Bank	Hold	Sep CK	1099	Invoice Description	Gross Amount	Discount	Net Amount
90048108	90048108	07/21/2016	07/22/2016	/ /	07/22/2016	2nd qtr	0.0000	0.0000	GEN	N	N	N	support staff	500.00	0.00	500.00

Paid
 GL NUMBER: 900-728-70300
 DESCRIPTION: Salary-Staff
 AMOUNT: 500.00
 VENDOR TOTAL: 500.00

Vendor Code	Ref #	Post Date	CK Run Date	Disc. Date	Due Date	Invoice	PO	Disc. %	Bank	Hold	Sep CK	1099	Invoice Description	Gross Amount	Discount	Net Amount
90048109	90048109	07/21/2016	07/22/2016	/ /	07/22/2016	16-673	000008584	0.0000	GEN	N	N	N	PLAYGROUND MULCH FOR TOWNSHIP PARK	1,050.00	0.00	1,050.00

Paid
 GL NUMBER: 107-756-97400
 DESCRIPTION: 2ND LOAD PLAY MULCH FOR TOWNSHIP PARK
 AMOUNT: 1,050.00
 AMT RELIEVED: 1,050.00
 VENDOR TOTAL: 1,050.00

BANK CODE: GEN
 Vendor name: Rathco Safety Supply Inc
 Address: 6742 Lovers Lane
 City/State/Zip: Portage MI, 49002
 Vendor Code: 90048111
 Ref #: 90048111

Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Address	CK Run Date	PO	Hold		Discount
City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
Rathco Safety Supply Inc	07/21/2016	153784	GEN	16 GALV POSTS	770.00
6742 Lovers Lane	07/22/2016	000008578	N		0.00
Portage MI, 49002	/ /	0.0000	N		770.00
	07/22/2016		N		

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-330-72800	14' 3# GALV POST	686.00	686.00
207-330-72800	12' 3# GALV POST	84.00	84.00
		<u>770.00</u>	

VENDOR TOTAL: 770.00

Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Address	CK Run Date	PO	Hold		Discount
City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
Ridge Napa Auto Parts	07/21/2016	276034	GEN	STT LAMP (460)	17.20
1655 South Drake St	07/22/2016	000008585	N		0.00
Kalamazoo MI, 49006	/ /	0.0000	N		17.20
	07/22/2016		N		

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
207-330-72800	4 STT LAMP (460) PART #40202R1	17.20	17.20

VENDOR TOTAL: 17.20

Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Address	CK Run Date	PO	Hold		Discount
City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
Sandy Wachowski	07/21/2016	07122016	GEN	GRAPHIC DESIGN FOR DRAKE FARMSTEAD CAMP	875.00
3735 Greenleaf Circle	07/22/2016	000008609	N		0.00
Apt #206	/ /	0.0000	N		875.00
Kalamazoo MI, 49008	07/22/2016		Y		

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
107-756-80800	GRAPHIC DESIGN FOR DRAKE FARMSTEAD	875.00	875.00

VENDOR TOTAL: 875.00

BANK CODE: GEN
 Vendor name: Scott W Taylor
 Address: PO Box 87
 City/State/Zip: Comstock MI, 49041-0087
 Vendor Code: 90048113
 Ref #: 90048113
 Post Date: 07/21/2016
 CK Run Date: 07/22/2016
 Disc. Date: / /
 Due Date: 07/22/2016
 Invoice: 3325, 3311, 3308
 PO: 000008594
 Disc. %: 0.0000
 Bank: GEN
 Hold: N
 Sep CK: N
 1099: N
 Invoice Description: PUBLIC WATER CONNECTIONS
 Gross Amount: 6,864.12
 Discount: 0.00
 Net Amount: 6,864.12

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
491-000-96600	3437 NORTHFIELD TRL, INV 3308	2,289.99	2,289.99
491-000-96600	5381 HARBORVIEW PASS, INV 3311	2,193.89	2,193.89
491-000-96600	4304 O'PARK STREET, INV 3325	2,380.24	2,380.24
		<u>6,864.12</u>	
VENDOR TOTAL:			<u>6,864.12</u>

SC	DESCRIPTION	GEN	AMOUNT
90048114	Siegfried Crandall	89593/89506	1,150.00
	246 E Kilgore Rd	N	225.00
	Kalamazoo MI, 49002-5599	N	150.00
		N	225.00
			50.00
			50.00
			50.00
			1,817.29
			2,543.03
			50.00
			50.00
			<u>6,360.32</u>
VENDOR TOTAL:			<u>6,360.32</u>

GL NUMBER	DESCRIPTION	AMOUNT
101-223-82500	Accounting & Audit Fees	1,150.00
490-000-80800	Audit Fees	225.00
206-336-82500	Accounting & Audit Fees	150.00
491-000-80800	Audit Fees	225.00
107-756-82500	Accounting & Audit Fees	50.00
207-310-82500	Accounting & Audit Fees	50.00
249-371-82500	Accounting & Audit Fees	50.00
206-340-80900	Computer Operations	1,817.29
101-201-80500	Computer Support	2,543.03
211-344-82500	Accounting & Audit Fees	50.00
900-728-82500	Accounting & Audit Fees	50.00
		<u>6,360.32</u>
VENDOR TOTAL:		<u>6,360.32</u>

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP
 EXP CHECK RUN DATES 07/22/2016 - 07/22/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

MISC	Sierra Johnson	07/21/2016	08062016	GEN	rental fee refund - cancellation	100.00
90048059	4039 Lakesedge Dr	07/22/2016		N		
	Apt H	/ /	0.0000	Y		0.00
	Kalamazoo MI, 49008	07/22/2016		N		100.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
107-751-47500	Rental Fee - Flesher Pavilion	100.00

VENDOR TOTAL: 100.00

term	Terminix	07/21/2016	agmt 3786306	GEN	termite 2yr renewal Grange	507.00
90048115	9406 East K Ave	07/22/2016		N		
	Suite 1	/ /	0.0000	N		0.00
	Galesburg MI, 49053	07/22/2016		Y		507.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
107-756-93100	Maintenance Services	507.00

VENDOR TOTAL: 507.00

thomson	Thomson West	07/21/2016	834281606	GEN	ON-LINE LIBRARY RESEARCH FOR JUNE, 2016	462.15
90048116	P.O. Box 6292	07/22/2016	000008600	N		
	Carol Stream IL, 60197-6292	/ /	0.0000	N		0.00
		07/22/2016		N		462.15

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-250-95500	ON-LINE LIBRARY RESEARCH FOR JUNE, 2016	462.15	462.15

VENDOR TOTAL: 462.15

Vendor name Verizon Wireless
 Address PO Box 15062
 City/State/Zip Albany NY, 12212-5062

Vendor Code
 Ref #

Post Date Invoice
 CK Run Date PO
 Disc. Date Disc. %
 Due Date

Bank Hold
 Sep CK
 1099

Invoice Description
 rd cellphones & vehicle computers

Gross Amount 475.93
 Discount 0.00
 Net Amount 475.93

Paid

GL NUMBER	DESCRIPTION	AMOUNT
206-340-85300	FD Cell phones	235.81
206-340-85300	FD Vehicle Computer Connections	240.12
		<u>475.93</u>

VENDOR TOTAL: 475.93

viridis	DESCRIPTION	AMOUNT	GEN	DRAKE ROAD FROM STADIUM TO W MAIN, NON-
90048119	Viridis Design Group 313 N. Burdick Street Kalamazoo MI, 49009	2,905.56	N	2,905.56
		0.00	N	0.00
		2,905.56	N	2,905.56

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-249-97600.WMSTDM	PHASE 1B FIN DESIGN & CONST, STDM-DRIFTW	2,905.56	2,905.56

viridis	DESCRIPTION	AMOUNT	GEN	DRAKE ROAD FROM STADIUM TO W MAIN, NON-
90048118	Viridis Design Group 313 N. Burdick Street Kalamazoo MI, 49009	4,358.33	N	4,358.33
		0.00	N	0.00
		4,358.33	N	4,358.33

VENDOR TOTAL: 7,263.89

Vendor Code Vendor name Vendor name Address City/State/zip Post Date Invoice Invoice Description Bank Hold Sep CK Gross Amount
 Ref # Address City/State/zip CK Run Date PO Disc. % Disc. Date Due Date 1099 Net Amount

Vendor Code	Vendor name	Vendor name	Address	City/State/zip	Post Date	Invoice	Invoice Description	Bank	Hold	Sep CK	Gross Amount
90048121	Walmart	Walmart	PO Box 530932	Atlanta GA, 30353-0932	07/21/2016	6313	COFFEE	GEN	N	1099	153.55
					07/22/2016	000008551		N			0.00
					/ /	0.0000		N			153.55

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-249-72800	COFFEE TWP OFC	48.51	48.51
206-340-72800	COFFEE HSE 1	83.16	83.16
206-340-72800	COFFEE HSE 2	21.88	21.88
		<u>153.55</u>	

VENDOR TOTAL: 153.55

475,893.47

TOTAL - ALL VENDORS:

BANK CODE: GEN
 Vendor name Alberta Hoikka
 Address 42 South 1st Street
 City/State/Zip Kalamazoo MI, 49009

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		
hoikka	08/03/2016	08022016	GEN	election worker	225.00
90048146	08/05/2016	0.0000	N		0.00
	/ /		N		225.00
	08/05/2016		N		

Paid
 GL NUMBER 101-191-80800
 DESCRIPTION Precinct Workers
 AMOUNT 225.00

VENDOR TOTAL: 225.00

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		
nederhoe-a	08/03/2016	08022016	GEN	election worker	175.00
90048206	08/05/2016	0.0000	N		0.00
	/ /		N		175.00
	08/05/2016		N		

Paid
 GL NUMBER 101-191-80800
 DESCRIPTION Precinct Workers
 AMOUNT 175.00

VENDOR TOTAL: 175.00

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		
geppert	08/03/2016	08022016	GEN	election worker	25.00
90048168	08/05/2016	0.0000	N		0.00
	/ /		N		25.00
	08/05/2016		N		

Paid
 GL NUMBER 101-191-80800
 DESCRIPTION Precinct Workers
 AMOUNT 25.00

VENDOR TOTAL: 25.00

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		
ab	08/03/2016	43528	GEN	fsa/hra	135.00
90048226	08/05/2016	0.0000	N		0.00
	/ /		N		135.00
	08/05/2016		N		

Paid
 GL NUMBER 101-234-71600
 DESCRIPTION HEALTH & LIFE INSURANCE
 AMOUNT 104.45
 206-336-71600 Health & Life Insurance 30.55
 135.00

VENDOR TOTAL: 135.00

BANK CODE: GEN
 Vendor name: Ashley Hartfield
 Address: 3300 Woodstone Dr E
 City/State/Zip: Apt 309 Kalamazoo MI, 49008
 Vendor Code: 90048184
 Ref #: 90048184
 Post Date: 08/03/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016
 Invoice: 08022016
 PO: 0.0000
 Disc. %: 0.0000
 Bank Hold: GEN N
 Sep CK: 1099 N
 Invoice Description: election worker

VENDOR TOTAL: 135.00

hartfielda
 90048184
 Paid
 GL NUMBER
 101-191-80800

DESCRIPTION
 Precinct Workers
 AMOUNT
 200.00

VENDOR TOTAL: 200.00

b&m
 90048227
 Paid
 GL NUMBER
 107-756-93100

DESCRIPTION
 WELD PARK BENCH
 AMOUNT
 240.00

VENDOR TOTAL: 240.00

balkema
 90048228
 Paid
 GL NUMBER
 491-000-96400
 900-728-97500

DESCRIPTION
 ATLANTIC AVE WTR, SANIT & COMMERCIAL AC
 AMOUNT
 13,875.30

VENDOR TOTAL: 13,875.30

DESCRIPTION
 UNIT COST WATER PART (W/MISC)
 ALT2 COMMERCIAL DRIVE (DDA PART)
 AMOUNT
 5,650.00
 8,225.30
 13,875.30

VENDOR TOTAL: 13,875.30

DESCRIPTION
 AMT RELIEVED
 240.00
 240.00

VENDOR TOTAL: 240.00

DESCRIPTION
 AMT RELIEVED
 13,875.30
 13,875.30

VENDOR TOTAL: 13,875.30

User: DeannaJ
 DB: Oshtemo
 EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

BANK CODE: GEN
 Vendor name: Barb Hahn
 Address: 8895 Stadium Dr
 City/State/Zip: Kalamazoo MI, 49009
 Vendor Code: hahn
 Ref #: 90048198
 Post Date: 08/03/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016
 Invoice PO: 08022016
 Disc. %: 0.0000
 Bank Hold: GEN
 Sep CK: N
 1099: N
 Invoice Description: election worker
 Gross Amount: 175.00
 Discount: 0.00
 Net Amount: 175.00

Paid
 GL NUMBER 101-191-80800
 DESCRIPTION
 Precinct Workers
 AMOUNT
 175.00
 VENDOR TOTAL: 175.00

mcmann
 90048222
 Barb McMann
 10523 West L Avenue
 Kalamazoo MI, 49009
 Paid
 GL NUMBER 101-191-80800
 DESCRIPTION
 Precinct Workers
 AMOUNT
 100.00
 VENDOR TOTAL: 100.00

clark
 90048173
 Barbara Clark
 4307 Hemmingway Dr
 Kalamazoo MI, 49009
 Paid
 GL NUMBER 101-191-80800
 DESCRIPTION
 Precinct Workers
 AMOUNT
 25.00
 VENDOR TOTAL: 25.00

johnson-b
 90048175
 Barbara Johnson
 6076 Fairgrove St
 Kalamazoo MI, 49009
 Paid
 GL NUMBER 101-191-80800
 DESCRIPTION
 Precinct Workers
 AMOUNT
 200.00
 VENDOR TOTAL: 200.00

johnson-b
 90048175
 Barbara Johnson
 6076 Fairgrove St
 Kalamazoo MI, 49009
 Paid
 GL NUMBER 101-191-80800
 DESCRIPTION
 Precinct Workers
 AMOUNT
 200.00
 VENDOR TOTAL: 200.00

BANK CODE: GEN
 Vendor name Post Date Invoice Bank Invoice Description Gross Amount
 Address CK Run Date PO Hold Discount
 City/State/Zip Disc. Date Disc. % Sep CK Net Amount
 1099

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
90048204	Barbara Nieboer	08/03/2016	08022016	GEN	election worker	175.00
	3419 Winter Wheat	08/05/2016		N		0.00
	Kalamazoo Mi, 49004	/ /	0.0000	N		175.00
		08/05/2016		N		

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	175.00
VENDOR TOTAL:		
		175.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
wright-b	Barbara Wright	08/03/2016	08022016	GEN	election worker	200.00
90048180	1520 Skylark Ct	08/05/2016		N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	N		0.00
		08/05/2016		N		200.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	200.00
VENDOR TOTAL:		
		200.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
barnes-mar	Barnes, Maria	08/03/2016	08022016	GEN	election worker	175.00
90048148	1314 S 2nd Street	08/05/2016		N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	N		0.00
		08/05/2016		N		175.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	175.00
VENDOR TOTAL:		
		175.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
bennett-1	Bennett, Lynnet	08/03/2016	08022016	GEN	election worker	175.00
90048179	5008 Bronson Blvd	08/05/2016		N		0.00
	Portage MI, 49024	/ /	0.0000	N		0.00
		08/05/2016		N		175.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	175.00
VENDOR TOTAL:		
		175.00

User: DeannaJ
 DB: Oshtemo
 EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

BANK CODE: GEN
 Vendor name: Best Way Disposal
 Address: 2314 Miller Rd
 City/State/Zip: Kalamazoo MI, 49001
 Vendor Code: bwd
 Ref #: 90048270
 Post Date: 08/04/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016
 Invoice: 066706
 PO: 0.0000
 Disc. %: 0.0000
 Bank: GEN
 Hold: N
 Sep CK: N
 1099: N

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
bwd	Best Way Disposal	08/04/2016	066706	GEN	garbage service	90.00
90048270	2314 Miller Rd	08/05/2016	0.0000	N		0.00
	Kalamazoo MI, 49001	/ /		N		90.00

Paid
 GL NUMBER 107-756-93100
 DESCRIPTION Maintenance Services
 AMOUNT 90.00
 VENDOR TOTAL: 90.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
moore-b	Bill Moore	08/03/2016	08022016	GEN	election worker	175.00
90048186	2981 Sunset Dr	08/05/2016	0.0000	N		0.00
	Kalamazoo MI, 49009	/ /		N		175.00

Paid
 GL NUMBER 101-191-80800
 DESCRIPTION Precinct Workers
 AMOUNT 175.00
 VENDOR TOTAL: 175.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
anderson-b	Bob Anderson	08/03/2016	08022016	GEN	Election Worker	200.00
90048216	10948 West L Ave	08/05/2016	0.0000	N		0.00
	Kalamazoo MI, 49009	/ /		N		200.00

Paid
 GL NUMBER 101-191-80800
 DESCRIPTION Precinct Workers
 AMOUNT 200.00
 VENDOR TOTAL: 200.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
harvey	Bob Harvey	08/03/2016	08052016	GEN	dump day worker 7/30	80.00
90048243	7070 North 6th Street	08/05/2016	0.0000	N		0.00
	Kalamazoo MI, 49009	/ /		N		80.00

Paid
 GL NUMBER 101-249-95900
 DESCRIPTION Trash Collection
 AMOUNT 80.00
 VENDOR TOTAL: 80.00

BANK CODE: GEN
 Vendor Code Vendor name Post Date Invoice Bank Invoice Description Gross Amount
 Ref # Address CK Run Date PO Hold Sep CK Discount
 City/State/Zip City/State/Zip Due Date Disc. % Due Date 1099 Net Amount

appelgren	Bobbie Appelgren	08/03/2016	08022016	GEN	election worker	200.00
90048199	5793 Sundance Court	08/05/2016		N		0.00
	Kalamazoo MI, 49004	/ /	0.0000	N		200.00
		08/05/2016		N		200.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	200.00

VENDOR TOTAL: 200.00

bush	Bush, Betsie	08/03/2016	08022016	GEN	election worker	175.00
90048211	316 N. Sycamore St. #1	08/05/2016		N		0.00
	Lansing MI, 48933	/ /	0.0000	N		175.00
		08/05/2016		N		175.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	175.00

VENDOR TOTAL: 175.00

cmum	Campbell Murch Memorials	08/03/2016	20160522	GEN	foundations	428.80
90048230	PO Box 100	08/05/2016		N		0.00
	Mattawan MI, 49071	/ /	0.0000	N		428.80
		08/05/2016		N		428.80

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-001-64500	Monument Installations	428.80

VENDOR TOTAL: 428.80

benson-c	Carl Benson	08/03/2016	08022016	GEN	election worker	25.00
90048172	9679 Almena Dr	08/05/2016		N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	N		25.00
		08/05/2016		N		25.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	25.00

VENDOR TOTAL: 25.00

User: DeannaJ
 DB: Oshtemo
 EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

BANK CODE: GEN
 Vendor name: Carole Vaillancourt
 Address: 6258 Quail Run Dr
 City/State/Zip: Kalamazoo MI, 49009
 Vendor Code: 90048214
 Ref #: 90048214
 Post Date: 08/03/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016
 Invoice: 08022016
 PO: 0.0000
 Disc. %: 0.0000
 Bank: GEN
 Hold: N
 Sep CK: N
 1099: N
 Invoice Description: election worker
 Gross Amount: 175.00
 Discount: 0.00
 Net Amount: 175.00

Paid
 GL NUMBER: 101-191-80800
 DESCRIPTION: Precinct Workers
 AMOUNT: 175.00
 VENDOR TOTAL: 175.00

phelps-c
 90048200
 Carolyn Phelps
 7260 Stadium Dr
 Kalamazoo MI, 49009
 Paid
 GL NUMBER: 101-191-80800
 DESCRIPTION: Precinct Workers
 AMOUNT: 175.00
 VENDOR TOTAL: 175.00

cms
 90048231
 Center for Muncipal Solutions
 70 Cambridge Drive
 Glenmont NY, 12077
 Paid
 GL NUMBER: 101-249-82000
 DESCRIPTION: CONSULTATION - TELECOMMUNICATIONS FIBERT
 AMOUNT: 450.00
 AMT RELIEVED: 450.00
 VENDOR TOTAL: 450.00

mckenna-c
 90048143
 Cheryl McKenna
 543 Pinehurst Blvd
 Kalamazoo MI, 49009
 Paid
 GL NUMBER: 101-191-80800
 DESCRIPTION: Precinct Workers
 AMOUNT: 200.00
 VENDOR TOTAL: 200.00

BANK CODE: GEN
 Vendor name: Chris Woodaz
 Address: 10968 West L Ave
 City/State/Zip: Kalamazoo MI, 49009
 Vendor Code: woodaz-C
 Ref #: 90048151
 Post Date: 08/03/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016
 Invoice: 08022016
 PO: 0.0000
 Disc. %: 0.0000
 Bank: GEN
 Hold: N
 Sep CK: N
 1099: N
 Invoice Description: election worker

Vendor Code	Ref #	Post Date	CK Run Date	Disc. Date	Due Date	Invoice	PO	Disc. %	Bank	Hold	Sep CK	1099	Invoice Description	Gross Amount	Discount	Net Amount
woodaz-C	90048151	08/03/2016	08/05/2016	/ /	08/05/2016	08022016	0.0000	0.0000	GEN	N	N	N	election worker	175.00	0.00	175.00
Paid																
GL NUMBER	101-191-80800	DESCRIPTION												AMOUNT		
												Precinct Workers	175.00			

Vendor Code	Ref #	Post Date	CK Run Date	Disc. Date	Due Date	Invoice	PO	Disc. %	Bank	Hold	Sep CK	1099	Invoice Description	Gross Amount	Discount	Net Amount
dorman-C	90048178	08/03/2016	08/05/2016	/ /	08/05/2016	08022016	0.0000	0.0000	GEN	N	N	N	election worker	175.00	0.00	175.00
Paid																
GL NUMBER	101-191-80800	DESCRIPTION												AMOUNT		
												Precinct Workers	175.00			

Vendor Code	Ref #	Post Date	CK Run Date	Disc. Date	Due Date	Invoice	PO	Disc. %	Bank	Hold	Sep CK	1099	Invoice Description	Gross Amount	Discount	Net Amount
anderson-s	90048217	08/03/2016	08/05/2016	/ /	08/05/2016	08022016	0.0000	0.0000	GEN	N	N	N	election worker	175.00	0.00	175.00
Paid																
GL NUMBER	101-191-80800	DESCRIPTION												AMOUNT		
												Precinct Workers	175.00			

Vendor Code	Ref #	Post Date	CK Run Date	Disc. Date	Due Date	Invoice	PO	Disc. %	Bank	Hold	Sep CK	1099	Invoice Description	Gross Amount	Discount	Net Amount
coast	90048234	08/03/2016	08/05/2016	/ /	08/05/2016	ivc0075515	000008649	0.0000	GEN	N	N	N	FIRE DEPARTMENT PUBLIC EDUCATION SUPPLI	259.59	0.00	259.59
Paid																
GL NUMBER	206-340-72800	DESCRIPTION												AMOUNT	AMT RELIEVED	
												PUBLIC EDUCATION SUPPLIES	259.59	259.59		

User: DeannaJ
DB: Oshtemo

EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

VENDOR TOTAL: 259.59

vandyk	Connie VanDyk	08/03/2016	08022016	GEN	election worker	200.00
90048157	256 Round Hill Rd	08/05/2016	0.0000	N		0.00
	Kalamazoo MI, 49009	/ /		N		200.00
		08/05/2016		N		

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	200.00

VENDOR TOTAL: 200.00

ce-e	Consumers Energy	08/03/2016	08052016	GEN	electric and gas	4,699.39
90048236	Payment Center	08/05/2016		N		0.00
	PO Box 740309	/ /	0.0000	N		4,699.39
	Cincinnati OH, 45271-0309	08/05/2016		N		

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-218-92100	twp office electric	1,409.33
101-218-92300	twp office gas	39.58
206-340-92100	St 1 electric	1,270.97
206-340-92300	st 1 gas	61.97
206-340-92100	st 2 electric	1,100.88
206-340-92300	st 2 gas	42.38
107-756-92100	grange electric 75%	164.18
206-340-92100	st 3 electric 25%	54.73
101-218-92300	maint bldg	15.34
101-218-92100	maint/veh bldg	109.92
107-756-92100	occ electric	161.02
107-756-92300	occ gas	14.24
107-756-92100	flesher electric	99.55
107-756-98100	drake house electric	120.41
107-756-98100	drake house gas	11.75
107-756-92100	old town hall electric	23.14
		4,699.39

VENDOR TOTAL: 4,699.39

BANK CODE: GEN
 Vendor name: Consumers Energy
 Address: Payment Center
 City/State/Zip: PO Box 740309
 Cincinnati OH, 45274-0309
 Vendor Code: 90048235
 Ref #: 90048235
 Post Date: 08/03/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016
 Invoice: 207144138124
 PO: 0.0000
 Disc. %: 0.0000
 Bank: GEN
 Hold: N
 Sep CK: N
 1099: N
 Invoice Description: street lights - stadium dr
 Gross Amount: 66.93
 Discount: 0.00
 Net Amount: 66.93

GL NUMBER: 101-506-92600
 DESCRIPTION: Street Lighting
 AMOUNT: 66.93
 VENDOR TOTAL: 66.93

con-energy 90048232 Consumers Energy
 08/03/2016 6407 parkview GEN UNDERGROUND SERVICE FOR STREETLIGHT FOR
 08/05/2016 000008640 N 693.00
 / / 0.0000 N 0.00
 08/05/2016 N 693.00
 Paid

GL NUMBER: 900-728-97500
 DESCRIPTION: UNDERGROUND SERVICE FOR STREETLIGHT
 AMOUNT: 693.00
 AMT RELIEVED: 693.00
 VENDOR TOTAL: 693.00

cts 90048233 CTS Telecom Inc.
 08/03/2016 10031918 GEN telephones
 08/05/2016 N 723.42
 / / 0.0000 N 0.00
 08/05/2016 N 723.42
 Paid

GL NUMBER: 101-249-85300
 DESCRIPTION: Telephone
 101-249-85300 AMOUNT: 482.24
 206-340-85300 Telephone: 241.18
 723.42
 VENDOR TOTAL: 723.42

BANK CODE: GEN
 Vendor name: Cynthia Crowell
 Address: 2045 Quail Cove Drive
 City/State/Zip: Kalamazoo MI, 49009
 Vendor Code: 90048162
 Ref #: 90048162
 Post Date: 08/03/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016
 Invoice PO: 08022016
 Disc. %: 0.0000
 Bank Hold: GEN
 Sep CK: N
 1099: N
 Invoice Description: election worker
 Gross Amount: 175.00
 Discount: 0.00
 Net Amount: 175.00

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	175.00

Paid
 VENDOR TOTAL: 175.00

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	175.00

Paid
 VENDOR TOTAL: 175.00

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	200.00

Paid
 VENDOR TOTAL: 200.00

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	225.00

Paid
 VENDOR TOTAL: 225.00

BANK CODE: GEN
 Vendor name: Deborah Hartfield
 Address: 1223 S. VanKal
 City/State/Zip: Kalamazoo MI, 49009
 Vendor Code: DeNooyer Chevrolet
 Ref #: 90048171
 Post Date: 08/03/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016
 Invoice: 08022016
 PO: 0.0000
 Disc. %: 0.0000
 Bank: election worker
 Hold: N
 Sep CK: N
 1099: N

Vendor Code	Ref #	Post Date	CK Run Date	Disc. Date	Due Date	Invoice	PO	Disc. %	Bank	Invoice Description	Gross Amount	Discount	Net Amount
hartfieldd	90048147	08/03/2016	08/05/2016	/ /	08/05/2016	08022016	0.0000	0.0000	GEN	election worker	175.00	0.00	175.00
Paid													175.00

GL NUMBER	DESCRIPTION	AMOUNT	VENDOR TOTAL:
101-191-80800	Precinct Workers	175.00	175.00

Vendor Code	Ref #	Post Date	CK Run Date	Disc. Date	Due Date	Invoice	PO	Disc. %	Bank	Invoice Description	Gross Amount	Discount	Net Amount
denooyer	90048238	08/03/2016	08/05/2016	/ /	08/05/2016	659447	0.0000	0.0000	GEN	551 MIRROR GLASS	149.31	0.00	149.31
Paid													149.31

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-340-86700	551 MIRROR GLASS	149.31	149.31

Vendor Code	Ref #	Post Date	CK Run Date	Disc. Date	Due Date	Invoice	PO	Disc. %	Bank	Invoice Description	Gross Amount	Discount	Net Amount
denooyer	90048237	08/03/2016	08/05/2016	/ /	08/05/2016	659448	0.0000	0.0000	GEN	501 REPLACEMENT MIRROR	196.69	0.00	196.69
Paid													196.69

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-340-86700	501 REPLACEMENT MIRROR	196.69	196.69

Vendor Code	Ref #	Post Date	CK Run Date	Disc. Date	Due Date	Invoice	PO	Disc. %	Bank	Invoice Description	Gross Amount	Discount	Net Amount
ansond	90048171	08/03/2016	08/05/2016	/ /	08/05/2016	08022016	0.0000	0.0000	GEN	election worker	25.00	0.00	25.00
Paid													25.00

GL NUMBER	DESCRIPTION	AMOUNT	VENDOR TOTAL:
101-191-80800	Precinct Workers	25.00	25.00

BANK CODE: GEN
 Vendor Code Vendor name Post Date Invoice Bank Invoice Description Gross Amount
 Ref # Address Hold Sep CK Discount
 City/State/Zip Due Date Disc. % 1099 Net Amount

branch	Elaine Branch	08/03/2016	08022016	GEN	election worker	
90048139	7654 West Main	08/05/2016		N		225.00
	Kalamazoo MI, 49009	/ /	0.0000	N		0.00
		08/05/2016		N		225.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	225.00
VENDOR TOTAL:		225.00

cattell-e	Eldon Cattell	08/03/2016	08022016	GEN	election worker	
90048164	10 North 2nd Street	08/05/2016		N		175.00
	Kalamazoo MI, 49009	/ /	0.0000	N		0.00
		08/05/2016		N		175.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	175.00
VENDOR TOTAL:		175.00

evp	Emergency Vehicle Products	08/03/2016	9234	GEN	511 ALTERNATOR REPLACEMENT	
90048239	2975 Interstate Pkwy	08/05/2016	000008644	N		1,383.15
	Kalamazoo MI, 49048-9600	/ /	0.0000	N		0.00
		08/05/2016		N		1,383.15

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-340-86700	511 ALTERNATOR REPLACEMENT	1,383.15	1,383.15
VENDOR TOTAL:		1,383.15	

evplus	Emergency Vehicles Plus	08/03/2016	012203	GEN	532 TURBO BOOT	
90048240	670 E 16th Street	08/05/2016	000008645	N		326.19
	Holland MI, 49423	/ /	0.0000	N		0.00
		08/05/2016		N		326.19

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-340-86700	532 TURBO BOOT	326.19	326.19
VENDOR TOTAL:		326.19	

BANK CODE: GEN
 Vendor name Fish Window Cleaning
 Address PO Box 111
 City/State/Zip Oshtemo MI, 49077
 Vendor Code
 Ref #
 Post Date Invoice
 CK Run Date PO
 Disc. Date Disc. %
 Due Date

Vendor name	Bank	Invoice Description	Gross Amount
Fish Window Cleaning	GEN	PERIODIC WINDOW CLEANING	1,205.00
PO Box 111	N		0.00
Oshtemo MI, 49077	N		1,205.00
	N		

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-218-93100	PERIODIC WINDOW CLEANING	740.00	740.00
107-756-93100	PERIODIC WINDOW CLEANING	175.00	175.00
206-340-93100	PERIODIC WINDOW CLEANING	290.00	290.00
		1,205.00	
	VENDOR TOTAL:		1,205.00

Vendor name	Bank	Invoice Description	Gross Amount
Fred Gould	GEN	election worker	175.00
1919 Quail Run Drive	N		0.00
Kalamazoo MI, 49009	N		175.00
	N		

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-191-80800	Precinct Workers	175.00	
	VENDOR TOTAL:		175.00

Vendor name	Bank	Invoice Description	Gross Amount
Genzink Appraisal Company	GEN	APPRAISAL SERVICES FOR BRONSON PROPERTI	4,244.90
1009 44TH STREET, SW	N		0.00
SUITE 107	N		4,244.90
WYOMING MI, 49509-4480	Y		

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-209-80700	APPRAISAL SERVICES FOR BRONSON PROPERTIE	4,244.90	4,244.90
	VENDOR TOTAL:		4,244.90

BANK CODE: GEN
 Vendor name: George Fiala
 Address: 5832 Castleton Lane
 City/State/Zip: Kalamazoo MI, 49009
 Vendor Code: fiala-g
 Ref #: 90048210
 Post Date: 08/03/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016
 Invoice: 08022016
 PO: 0.0000
 Disc. %: 0.0000
 Bank: GEN
 Hold: N
 Sep CK: N
 1099: N
 Invoice Description: election worker
 Gross Amount: 200.00
 Discount: 0.00
 Net Amount: 200.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	200.00
		VENDOR TOTAL:
		200.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	175.00
		VENDOR TOTAL:
		175.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	175.00
		VENDOR TOTAL:
		175.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	200.00
		VENDOR TOTAL:
		200.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	200.00
		VENDOR TOTAL:
		200.00

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTMO TOWNSHIP
 EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

User: DeannaJ
 DB: Oshtemo

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

annen Jacquelyn Annen 08/03/2016 08022016 GEN election worker 200.00
 90048158 1722 W. Kilgore 08/05/2016 N
 Kalamazoo MI, 49008 / / 0.0000 N 0.00
 Paid 08/05/2016 N 200.00

GL NUMBER DESCRIPTION AMOUNT
 101-191-80800 Precinct Workers 200.00

VENDOR TOTAL: 200.00

cattell Janet Cattell 08/03/2016 08022016 GEN election worker 175.00
 90048163 10 North 2nd Street 08/05/2016 N
 Kalamazoo MI, 49009 / / 0.0000 N 0.00
 Paid 08/05/2016 N 175.00

GL NUMBER DESCRIPTION AMOUNT
 101-191-80800 Precinct Workers 175.00

VENDOR TOTAL: 175.00

gullickson Janet Gullickson 08/03/2016 08022016 GEN election worker 175.00
 90048187 6642 West H Ave 08/05/2016 N
 Kalamazoo MI, 49009 / / 0.0000 N 0.00
 Paid 08/05/2016 N 175.00

GL NUMBER DESCRIPTION AMOUNT
 101-191-80800 Precinct Workers 175.00

VENDOR TOTAL: 175.00

nichols-j Janet M Nichols 08/03/2016 08022016 GEN election worker 175.00
 90048218 1809 Whitegate Lane 08/05/2016 N
 Kalamazoo MI, 49009 / / 0.0000 N 0.00
 Paid 08/05/2016 N 175.00

GL NUMBER DESCRIPTION AMOUNT
 101-191-80800 Precinct Workers 175.00

VENDOR TOTAL: 175.00

BANK CODE: GEN
 Vendor name: Janice Ellens
 Address: 1948 Quail Cove Drive
 City/State/Zip: Kalamazoo MI, 49009
 Vendor Code: 1099
 Ref #: 90048213
 Post Date: 08/03/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016
 Invoice: 08022016
 PO: 0.0000
 Disc. %: 0.0000
 Bank Hold: GEN
 Sep CK: N
 1099: N

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
90048213	Janice Ellens	08/03/2016	08022016	GEN	election worker	175.00
	1948 Quail Cove Drive	08/05/2016		N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	N		175.00

Paid
 GL NUMBER 101-191-80800
 DESCRIPTION
 Precinct Workers
 AMOUNT 175.00
 VENDOR TOTAL: 175.00

MISC	JAWFA ENTERPRISES, LLC	08/03/2016	s drake rd pathwa	GEN	TEMPORARY GRADING PERMIT OVER 05-24-489	360.70
90048244	151 S. ROSE STREET	08/05/2016	000008623	N		360.70
	SUITE 900	/ /	0.0000	N		0.00
	KALAMAZOO MI, 49007	08/05/2016		N		360.70

Paid
 GL NUMBER 101-249-97600.WMSTDM
 DESCRIPTION
 TEMPORARY ACCESS -GRADING & EARTH CHANGE
 AMOUNT 360.70
 AMT RELIEVED 360.70
 VENDOR TOTAL: 360.70

jean	Jean Barb	08/03/2016	08022016	GEN	election worker	100.00
90048225	7616 West Main	08/05/2016		N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	N		100.00
		08/05/2016		N		

Paid
 GL NUMBER 101-191-80800
 DESCRIPTION
 Precinct Workers
 AMOUNT 100.00
 VENDOR TOTAL: 100.00

bourner	Jean Bourner	08/03/2016	08022016	GEN	election worker	175.00
90048142	2090 N 6th Street	08/05/2016		N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	N		175.00
		08/05/2016		N		

Paid
 GL NUMBER 101-191-80800
 DESCRIPTION
 Precinct Workers
 AMOUNT 175.00
 VENDOR TOTAL: 175.00

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP
 EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold	Sep CK	Discount
	City/State/Zip	Disc. Date	Disc. %	1099		Net Amount
miller-jen	Jennie Miller	08/03/2016	08022016	GEN	election worker	125.00
90048224		08/05/2016	0.0000	N		0.00
		/ /		N		125.00
		08/05/2016		N		

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	125.00
VENDOR TOTAL:		
		125.00

barnes-j	Jessica Barnes	08/03/2016	08022016	GEN	election worker	200.00
90048191	1314 S 2nd Street	08/05/2016	0.0000	N		0.00
	Kalamazoo MI, 49009	/ /		N		200.00
		08/05/2016		N		

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	200.00
VENDOR TOTAL:		
		200.00

forbes	Jo Forbes	08/03/2016	08022016	GEN	election worker	25.00
90048154	2868 N 2nd Street	08/05/2016	0.0000	N		0.00
	Kalamazoo MI, 49009	/ /		N		25.00
		08/05/2016		N		

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	25.00
VENDOR TOTAL:		
		25.00

BANK CODE: GEN
 Vendor name Joshua Hartfield
 Address 3300 Woodstone Dr E
 City/State/zip Apt 309 Kalamazoo MI, 49009
 Vendor Code
 Ref #
 Post Date 08/03/2016
 CK Run Date 08/05/2016
 Disc. Date / /
 Due Date 08/05/2016
 Invoice 08022016
 PO
 Disc. % 0.0000
 Bank Hold Sep CK 1099
 Invoice Description election worker
 Gross Amount 200.00
 Discount 0.00
 Net Amount 200.00

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	200.00

VENDOR TOTAL: 200.00

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Paid	200.00

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Paid	200.00

VENDOR TOTAL: 200.00

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Paid	225.00

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Paid	225.00

VENDOR TOTAL: 225.00

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Paid	225.00

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Paid	225.00

VENDOR TOTAL: 225.00

User: DeannaJ
 DB: Oshtemo
 EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

BANK CODE: GEN
 Vendor name: Kalamazoo County HCS
 Address: 3299 Gull Rd
 City/State/Zip: Kalamazoo MI, 49048
 Vendor Code: kchsd
 Ref #: 90048245
 Post Date: 08/03/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016
 Invoice: 14-0017089
 PO: 0.0000
 Disc. %: 0.0000
 Bank: GEN
 Hold: N
 Sep CK: N
 1099: N
 Invoice Description: hhw fee for obsolete computers
 Gross Amount: 43.95
 Discount: 0.00
 Net Amount: 43.95

Paid

GL NUMBER: 101-249-95600
 DESCRIPTION: Household Hazard Waste - obsolete comput

AMOUNT: 43.95
 VENDOR TOTAL: 43.95

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP
 EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

User: DeannaJ
 DB: Oshtemo

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
krcr	Kalamazoo County Road Commission	08/03/2016	51363	GEN	ROAD MAINTENANCE, GREEN MEADOW & DRIFTW	
90048248	3801 E Kilgore Rd	08/05/2016	000008392	N		3,307.98
	Kalamazoo MI, 49001	/ /	0.0000	N		0.00
		08/05/2016		N		3,307.98
Paid						
GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED			
101-506-95200	A) GREEN MEADOW DR, GREEN MEADOW RD	3,307.98	3,307.98			
krcr	Kalamazoo County Road Commission	08/03/2016	51364	GEN	ROAD MAINTENANCE, BELA SERA PLAT	
90048247	3801 E Kilgore Rd	08/05/2016	000008389	N		1,607.85
	Kalamazoo MI, 49001	/ /	0.0000	N		0.00
		08/05/2016		N		1,607.85
Paid						
GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED			
101-506-95200	D) BELA AVENUE, RUPAL STREET	1,607.85	1,607.85			
krcr	Kalamazoo County Road Commission	08/03/2016	51365	GEN	ROAD MAINTENANCE, COUNTRY TRAIL HOMESIT	
90048249	3801 E Kilgore Rd	08/05/2016	000008390	N		10,843.66
	Kalamazoo MI, 49001	/ /	0.0000	N		0.00
		08/05/2016		N		10,843.66
Paid						
GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED			
101-506-95200	H) CROSS COUNTRY DR, OAK HIGHLANDS DR,	10,843.66	10,843.66			
krcr	Kalamazoo County Road Commission	08/03/2016	51366	GEN	ROAD MAINTENANCE, CROYDEN AVE	
90048246	3801 E Kilgore Rd	08/05/2016	000008391	N		2,326.32
	Kalamazoo MI, 49001	/ /	0.0000	N		0.00
		08/05/2016		N		2,326.32
Paid						
GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED			
101-506-95200	I) CROYDEN AVENUE	2,326.32	2,326.32			

VENDOR TOTAL: 18,085.81

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP
 EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/zip	Disc. Date	Disc. %	Sep CK		Net Amount
kct	Kalamazoo County Treasurer	08/03/2016	kurtz	GEN	WATER/SEWER ASSESSMENT FOR KURTZ	34.00
90048250	201 West Kalamazoo Ave	08/05/2016	000008629	N		0.00
	Kalamazoo MI, 49007	/ /	0.0000	N		34.00
GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED			
490-000-65000	RECORD WATER KURTZ 4530 SOUTH 6TH STREET	17.00	17.00			
491-000-65000	RECORD SEWER KURTZ 4530 SOUTH 6TH STREET	17.00	17.00			
		34.00				
					VENDOR TOTAL:	34.00

Paid

GL NUMBER
 490-000-65000
 491-000-65000

DESCRIPTION
 RECORD WATER KURTZ 4530 SOUTH 6TH STREET
 RECORD SEWER KURTZ 4530 SOUTH 6TH STREET

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/zip	Disc. Date	Disc. %	Sep CK		Net Amount
kct-p	Kalamazoo County Treasurer	08/03/2016	police	GEN	police contract	85,490.83
90048251	201 West Kalamazoo	08/05/2016	0.0000	N		0.00
	Kalamazoo MI, 49007	/ /		N		85,490.83
GL NUMBER	DESCRIPTION	AMOUNT				
207-310-80200	Protection Contract - KC	85,490.83				
					VENDOR TOTAL:	85,490.83

Paid

GL NUMBER
 207-310-80200

DESCRIPTION
 Protection Contract - KC

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/zip	Disc. Date	Disc. %	Sep CK		Net Amount
kcta	Kalamazoo County Treasurers Associa	08/03/2016	07132016	GEN	DEFEREMENT FOR 2016 SUMMER TAXES	27.60
90048252	7401 N 32ND STREET	08/05/2016	000008628	N		0.00
	RICHLAND MI, 49083	/ /	0.0000	N		27.60
GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED			
101-209-90300	AD FOR 2016 SUMMER DEFERMENT	27.60	27.60			
					VENDOR TOTAL:	27.60

Paid

GL NUMBER
 101-209-90300

DESCRIPTION
 AD FOR 2016 SUMMER DEFERMENT

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP
 EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

08/04/2016 01:17 PM
 User: DeannaJ
 DB: Oshtemo

BANK CODE: GEN
 Vendor name: Kalamazoo Oil Company
 Address: 2601 N. Burdick Street
 City/State/Zip: Kalamazoo MI, 49007-1874
 Vendor Code: ko
 Ref #: 90048273
 Post Date: 08/04/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016
 Invoice PO: 1621301
 Invoice Disc. %: 0.0000
 Bank Hold: GEN
 Sep CK: N
 1099: N
 Invoice Description: fuel
 Gross Amount: 1,976.37
 Discount: 0.00
 Net Amount: 1,976.37

GL NUMBER	DESCRIPTION	AMOUNT
206-340-86800	Fuel	1,976.37
VENDOR TOTAL:		
		1,976.37

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	175.00
VENDOR TOTAL:		
		175.00

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	175.00
VENDOR TOTAL:		
		175.00

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	200.00
VENDOR TOTAL:		
		200.00

Vendor name: KSS Enterprises
 Address: 616 E Vine Street
 City/State/zip: Kalamazoo MI, 49001

Vendor Code: 90048253
 Ref #: 90048253

Bank: GEN
 Hold: N
 Sep CK: N
 1099: N

Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Address	CK Run Date	PO	Hold		Discount
City/State/zip	Disc. Date	Disc. %	Sep CK		Net Amount
KSS Enterprises	08/03/2016	991969	GEN	PAPER AND CLEANING SUPPLIES	519.26
616 E Vine Street	08/05/2016	000008636	N		0.00
Kalamazoo MI, 49001	/ /	0.0000	N		519.26
	08/05/2016		N		

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
107-756-76600	PROPRIETY TOWELS	130.72	130.72
107-756-76600	ALPINE DISINFECTANT	47.43	47.43
107-756-76600	TOILET PAPER JUMBO JR	74.62	74.62
107-756-76600	FOAMING SOAP	69.97	69.97
206-340-93100	FOAMING SOAP	139.94	139.94
107-756-76600	SUPROX CLEANER	56.58	56.58
		519.26	519.26

Paid

Vendor TOTAL: 519.26

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-249-97600.WMSTDM	PROFESSIONAL SERVICES 6.18.16 TO 7.15.16	592.16	592.16

Paid

Vendor TOTAL: 592.16

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-191-80800	Precinct Workers	175.00	175.00

Paid

Vendor TOTAL: 175.00

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP
 EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

Vendor Code Vendor name Address City/State/Zip Post Date Invoice PO Disc. % Due Date Bank Hold Sep CK 1099 Invoice Description Gross Amount Discount Net Amount

life 90048255 Life EMS 1275 Cedar St NE Grand Rapids MI, 49503 08/03/2016 16-90291 000008653 0.0000 08/05/2016 GEN N N N FLU VACCINES 120.00 0.00 120.00

Paid
 GL NUMBER 206-340-87100 DESCRIPTION FLU VACCINES
 AMOUNT 120.00 AMT RELIEVED 120.00

VENDOR TOTAL: 120.00

bultema-1 90048207 Linda Bultema 1969 Wingate Rd Kalamazoo MI, 49009 08/03/2016 08022016 0.0000 08/05/2016 GEN N N N election worker 200.00 0.00 200.00

Paid
 GL NUMBER 101-191-80800 DESCRIPTION Precinct Workers
 AMOUNT 200.00

VENDOR TOTAL: 200.00

anderson-1 90048177 Linda Travis-Anderson 1788 Jefferson Rd Otsego MI, 49078 08/03/2016 08022016 0.0000 08/05/2016 GEN N N N election worker 175.00 0.00 175.00

Paid
 GL NUMBER 101-191-80800 DESCRIPTION Precinct Workers
 AMOUNT 175.00

VENDOR TOTAL: 175.00

janssen-1 90048197 Lori Janssen PO Box 93 Oshtemo MI, 49077 08/03/2016 08022016 0.0000 08/05/2016 GEN N N N election worker 175.00 0.00 175.00

Paid
 GL NUMBER 101-191-80800 DESCRIPTION Precinct Workers
 AMOUNT 175.00

VENDOR TOTAL: 175.00

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP
 EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

BANK CODE: GEN

vandenbos	LouAnn VanDenBos	08/03/2016	08022016	GEN	election worker	100.00
90048219	2660 Bluestone Circle	08/05/2016		N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	N		100.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	100.00

VENDOR TOTAL: 100.00

contos	Lynn Contos	08/03/2016	08022016	GEN	election worker	25.00
90048169	5779 Lamplighter In	08/05/2016		N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	N		25.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	25.00

VENDOR TOTAL: 25.00

hutchins	Marcia Hutchins	08/03/2016	08022016	GEN	election worker	200.00
90048159	6816 Birdsong Ave	08/05/2016		N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	N		200.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	200.00

VENDOR TOTAL: 200.00

Maentz	Marcia Lynne Maentz	08/03/2016	08022016	GEN	election worker	200.00
90048183	3541 Irongate Court	08/05/2016		N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	N		200.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	200.00

VENDOR TOTAL: 200.00

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
janssen-m 90048196	Marie Janssen 8670 Almena Dr Kalamazoo MI, 49009	08/03/2016 08/05/2016 / /	08022016 0.0000	GEN N N N	election worker	175.00 0.00 175.00

Paid

GL NUMBER 101-191-80800 DESCRIPTION Precinct Workers AMOUNT 175.00

VENDOR TOTAL: 175.00

french-m 90048161	Melissa French 10004 Stadium Dr Kalamazoo MI, 49009	08/03/2016 08/05/2016 / /	08022016 0.0000	GEN N N N	election worker	175.00 0.00 175.00
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Paid

GL NUMBER 101-191-80800 DESCRIPTION Precinct Workers AMOUNT 175.00

VENDOR TOTAL: 175.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
menards	Menards	08/03/2016	17829	GEN	SCREWS FOR SIGNS	
90048262	6800 West Main Street	08/05/2016	000008568	N		5.26
	Kalamazoo MI, 49009	/ /	0.0000	N		0.00
		08/05/2016		N		5.26
Paid						
GL NUMBER	DESCRIPTION				AMOUNT	AMT RELIEVED
107-756-76000	SCREWS FOR SIGNS				5.26	5.26
menards	Menards	08/03/2016	18686	GEN	CONSTRUCTION MATERIALS FOR MEZZANINE	
90048263	6800 West Main Street	08/05/2016	000008503	N		644.85
	Kalamazoo MI, 49009	/ /	0.0000	N		0.00
		08/05/2016		N		644.85
Paid						
GL NUMBER	DESCRIPTION				AMOUNT	AMT RELIEVED
206-340-93100	LUMBER FOR CONSTRUCTION				644.85	644.85
menards	Menards	08/03/2016	20519	GEN	MOTAR AND GROUT, BLADE	
90048257	6800 West Main Street	08/05/2016	000008635	N		52.29
	Kalamazoo MI, 49009	/ /	0.0000	N		0.00
		08/05/2016		N		52.29
Paid						
GL NUMBER	DESCRIPTION				AMOUNT	AMT RELIEVED
107-756-76000	MOTAR AND GROUT, BLADE				52.29	52.29
menards	Menards	08/03/2016	20799	GEN	TRU FUEL, 20 AMP BREAKER, BROOM, TOTES	
90048264	6800 West Main Street	08/05/2016	000008604	N		45.53
	Kalamazoo MI, 49009	/ /	0.0000	N		0.00
		08/05/2016		N		45.53
Paid						
GL NUMBER	DESCRIPTION				AMOUNT	AMT RELIEVED
206-340-86700	20 AMP BREAKER FOR 521				7.68	7.68
206-340-86700	TOTES FOR HOSE INFLATORS				9.94	9.94
206-340-93300	TRUFUEL				21.92	21.92
206-340-76600	BROOM HANDLE FOR 521				5.99	5.99
					45.53	45.53
menards	Menards	08/03/2016	21333	GEN	VEHICLE CLEANING SUPPLIES	
90048259	6800 West Main Street	08/05/2016	000008657	N		7.73
	Kalamazoo MI, 49009	/ /	0.0000	N		0.00
		08/05/2016		N		7.73

BANK CODE: GEN
 Vendor name Bank Invoice Description Gross Amount
 Address Hold
 City/State/zip Sep CK Discount
 1099 Net Amount

Vendor Code	Post Date	Invoice	Invoice Description	Bank	AMOUNT	AMT RELIEVED	Gross Amount
206-340-72800	08/03/2016	21379	GLASS STAIN REMOVER	GEN	7.73	7.73	
menards	08/05/2016	000008639		N			50.62
90048260	/ /	0.0000	SPRINKLER AND FASTENERS FOR TABLES	N			0.00
	08/05/2016			N			50.62

Vendor Code	Post Date	Invoice	Invoice Description	Bank	AMOUNT	AMT RELIEVED	Gross Amount
107-756-76000	08/03/2016	21528	SPRINKLER AND FASTENERS FOR TABLES	GEN	50.62	50.62	
menards	08/05/2016	000008652		N			28.22
90048258	/ /	0.0000	FITTINGS FOR HOSE INFLATORS	N			0.00
	08/05/2016			N			28.22

Vendor Code	Post Date	Invoice	Invoice Description	Bank	AMOUNT	AMT RELIEVED	Gross Amount
206-340-93300	08/03/2016	21575	FITTINGS FOR HOSE INFLATORS	GEN	28.22	28.22	
menards	08/05/2016	000008631		N			40.81
90048261	/ /	0.0000		N			0.00
	08/05/2016			N			40.81

Vendor Code	Post Date	Invoice	Invoice Description	Bank	AMOUNT	AMT RELIEVED	Gross Amount
101-191-72800	08/03/2016	21575	SIGN REPAIR PARTS	GEN	25.39	25.39	
206-340-93100	08/05/2016	000008631	CONDENSATE LINES	N	15.42	15.42	
	/ /	0.0000		N			
	08/05/2016			N			
					40.81		

VENDOR TOTAL: 875.31

User: DeannaJ
 DB: Oshtemo
 EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

BANK CODE: GEN
 Vendor name: Mike McMann
 Address: 10523 West L Ave
 City/State/Zip: Kalamazoo MI, 49009
 Vendor Code: mcmann-m
 Ref #: 90048223
 Post Date: 08/03/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016
 Invoice: 08022016
 PO: 0.0000
 Disc. %: 0.0000
 Bank: GEN
 Hold: N
 Sep CK: N
 1099: N
 Invoice Description: election worker
 Gross Amount: 100.00
 Discount: 0.00
 Net Amount: 100.00

Paid
 GL NUMBER: 101-191-80800
 DESCRIPTION: Precinct Workers
 AMOUNT: 100.00
 VENDOR TOTAL: 100.00

loy
 90048256
 Millard Loy
 5590 Parkview
 Kalamazoo MI, 49009
 Paid
 GL NUMBER: 107-756-93100
 101-218-93100
 DESCRIPTION: PARK MAINTENANCE SERVICES
 GENERAL MAINTENANCE SERVICESQ
 AMOUNT: 697.50
 AMT RELIEVED: 22.50
 720.00
 VENDOR TOTAL: 720.00

janssen-mo
 90048150
 Monica Janssen
 908 Village St
 Apt 1
 Portage MI, 49008
 Paid
 GL NUMBER: 101-191-80800
 DESCRIPTION: Precinct Workers
 AMOUNT: 175.00
 VENDOR TOTAL: 175.00

BANK CODE: GEN
 Vendor name: Moses Fire Equipment
 Address: PO Box 690
 City/State/Zip: Lawrence MI, 49064-0690

Vendor Code	Ref #	Post Date	Invoice	Bank	Invoice Description	Gross Amount
		CK Run Date	PO	Hold		Discount
		Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
mfe	90048265	08/03/2016	16283	GEN	REPLACEMENT ADJUSTABLE HYDRANT WRENCH	62.60
		08/05/2016	000008656	N		0.00
		/ /	0.0000	N		62.60
		08/05/2016		N		

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-340-76600	ADJUSTABLE HYDRANT WRENCH	62.60	62.60
VENDOR TOTAL:		62.60	

mrc	DESCRIPTION	AMOUNT
90048272	MRC Industries, Inc. 2538 South 26th Street Kalamazoo MI, 49048	1,175.97
Paid		0.00
		1,175.97

Paid

GL NUMBER	DESCRIPTION	AMOUNT
206-340-93100	Building Maintenance	130.66
101-218-93100	Maintenance Services	522.65
107-756-93100	Maintenance Services	522.66
VENDOR TOTAL:		1,175.97

Paid

lagoni-n	DESCRIPTION	AMOUNT
90048182	Natalie Lagoni 2712 N Drake Rd Kalamazoo MI, 49006	100.00
Paid		0.00
		100.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	100.00
VENDOR TOTAL:		100.00

Vendor name Neil Sikora
 Address 9643 West Kl
 City/State/Zip Kalamazoo MI, 49009

Bank Invoice Description
 Hold
 Sep CK
 1099

Gross Amount
 Discount
 Net Amount

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
sikora	08/03/2016	08022016	GEN	election worker	225.00
90048174	08/05/2016	0.0000	N		0.00
	/ /		N		225.00
	08/05/2016		N		

Paid

GL NUMBER 101-191-80800
 DESCRIPTION Precinct Workers
 AMOUNT 225.00

VENDOR TOTAL: 225.00

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
nfp	08/03/2016	08052016	GEN	LT. FLAHLIVE NFPA FIRE INSPECTOR I CERT	130.00
90048266	08/05/2016	000008655	N		0.00
	/ /	0.0000	N		130.00
	08/05/2016		N		

Paid

GL NUMBER 206-336-95900
 DESCRIPTION FIRE INSPECTOR CERTIFICATION RENEWAL
 AMOUNT 130.00

VENDOR TOTAL: 130.00

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
nu	08/03/2016	17-20,23,80,90	GEN	UNIFORMS CLASS B AND CLASS A	816.40
90048267	08/05/2016	000008641	N		0.00
	/ /	0.0000	N		816.40
	08/05/2016		N		

Paid

GL NUMBER 206-336-72500
 DESCRIPTION CLASS A BELL CROWN HATS 5913, 5920
 AMOUNT 149.00

VENDOR TOTAL: 130.00

206-336-72500				HAT BANDS EXPANDABLE GOLD	19.00
206-336-72500				CLIP ON POLY TIES 5913 - 590	12.00
206-336-72500				POLY COTTON WHITE CLASS A SHIRT 5913	35.50
206-336-72500				MENS POLY CLASS A PANTS	43.50
206-336-72500				DOUBLE BREAESTE CLASS A JACKET	139.50
206-336-72500				VELLUM STRIPE/COLLAR EXTENDER	25.00
206-336-72500				ELBECCO CARGO PANTS 35, 29	274.00
206-336-72500				ELBECCO CARGO PANTS 38	75.35
206-336-72500				FREIGHT	40.55
					816.40

VENDOR TOTAL: 816.40

BANK CODE: GEN
 Vendor name Paratech
 Address 1025 Lambrecht Road
 City/State/Zip Frankfort IL, 60423
 Vendor Code
 Ref #
 Post Date 08/03/2016
 CK Run Date 08/05/2016
 Disc. Date / /
 Due Date 08/05/2016
 Invoice PO 000008650
 Disc. % 0.0000
 Bank Hold Sep CK 1099
 Invoice Description FIRE DEPARTMENT TRENCH RESCUE EQUIPMENT
 Gross Amount 100.00
 Discount 0.00
 Net Amount 100.00

GL NUMBER 206-336-95900
 DESCRIPTION TRENCH RESCUE EQUIPMENT TRAINING
 AMOUNT 100.00
 AMT RELIEVED 200.00

Paid
 VENDOR TOTAL: 100.00

glass 90048155
 Pat Glass
 6617 West G Ave
 Kalamazoo MI, 49009
 08/03/2016 08022016 GEN election worker
 08/05/2016 0.0000 N
 / / N
 08/05/2016 N
 175.00
 0.00
 175.00

Paid
 GL NUMBER 101-191-80800
 DESCRIPTION Precinct Workers
 AMOUNT 175.00

VENDOR TOTAL: 175.00

MISC 90048276
 Patrica Sampley
 8647 Hathaway Road
 Kalamazoo MI, 49009
 08/04/2016 07302016 GEN
 08/05/2016 N
 / / Y
 08/05/2016 N
 175.00
 0.00
 175.00

Paid
 GL NUMBER 101-000-24800
 DESCRIPTION Rent Deposits
 AMOUNT 175.00

VENDOR TOTAL: 175.00

anson 90048170
 Patricia Anson
 7711 N 12th Street
 Kalamazoo MI, 49009
 08/03/2016 08022016 GEN election worker
 08/05/2016 N
 / / N
 08/05/2016 N
 25.00
 0.00
 25.00

Paid
 GL NUMBER 101-191-80800
 DESCRIPTION Precinct Workers
 AMOUNT 25.00

VENDOR TOTAL: 25.00

BANK CODE: GEN
 Vendor name Patricia Schrum
 Address 5752 Castleton Lane
 City/State/zip Kalamazoo MI, 49009

Vendor Code
 Ref #
 Post Date Invoice
 CK Run Date PO
 Disc. Date Disc. %
 Due Date

Bank Invoice Description
 Hold
 Sep CK
 1099
 Gross Amount
 Discount
 Net Amount

Vendor Code	Ref #	Post Date	Invoice	Bank	Invoice Description	Gross Amount	Discount	Net Amount
schrum	90048167	08/03/2016	08022016	GEN	election worker	25.00	0.00	25.00
		08/05/2016	0.0000	N				
		/ /		N				
		08/05/2016		N				
Paid								
GL NUMBER					AMOUNT			
101-191-80800					25.00			
						VENDOR TOTAL: 25.00		

Vendor Code	Ref #	Post Date	Invoice	Bank	Invoice Description	Gross Amount	Discount	Net Amount
vemich	90048193	08/03/2016	08022016	GEN	election worker	50.00	0.00	50.00
		08/05/2016	0.0000	N				
		/ /		N				
		08/05/2016		N				
Paid								
GL NUMBER					AMOUNT			
101-191-80800					50.00			
						VENDOR TOTAL: 50.00		

Vendor Code	Ref #	Post Date	Invoice	Bank	Invoice Description	Gross Amount	Discount	Net Amount
woodaz	90048149	08/03/2016	08022016	GEN	election worker	175.00	0.00	175.00
		08/05/2016	0.0000	N				
		/ /		N				
		08/05/2016		N				
Paid								
GL NUMBER					AMOUNT			
101-191-80800					175.00			
						VENDOR TOTAL: 175.00		

Vendor Code	Ref #	Post Date	Invoice	Bank	Invoice Description	Gross Amount	Discount	Net Amount
phelps-p	90048201	08/03/2016	08022016	GEN	election worker	200.00	0.00	200.00
		08/05/2016	0.0000	N				
		/ /		N				
		08/05/2016		N				
Paid								
GL NUMBER					AMOUNT			
101-191-80800					200.00			
						VENDOR TOTAL: 200.00		

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
schott	Paulette Schott	08/03/2016	08022016	GEN	election worker	200.00
90048194	42 Winterwood Lane	08/05/2016		N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	N		200.00
		08/05/2016		N		

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	200.00
VENDOR TOTAL:		200.00

MISC	DESCRIPTION	AMOUNT
90048229	Pauline Birdsall 1310 Washington Ave Kalamazoo MI, 49001	250.00
	08/03/2016 06252016 GEN refund rental deposit - 2nd check	250.00
	08/05/2016 N	0.00
	/ / 0.0000 Y	0.00
	08/05/2016 N	250.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-000-24800	Rent Deposits	250.00
VENDOR TOTAL:		250.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
pncbank	PNC Bank	08/04/2016	07132016	GEN	4 HIGH PRESSURE REGULATORS	
90048290	PO Box 856177	08/05/2016	000008586	N		996.34
	Louisville KY, 40285	/ /	0.0000	N		0.00
		08/05/2016		N		996.34
Paid						
GL NUMBER	DESCRIPTION				AMOUNT	AMT RELIEVED
206-340-76600	HIGH PRESSURE REGULATORS				996.34	941.72
pncbank	PNC Bank	08/04/2016	08052016	GEN	seminar/vandenbos	
90048295	PO Box 856177	08/05/2016	0.0000	N		79.00
	Louisville KY, 40285	/ /		N		0.00
		08/05/2016		N		79.00
Paid						
GL NUMBER	DESCRIPTION				AMOUNT	
101-249-95800	Education/Dues - general				79.00	
pncbank	PNC Bank	08/04/2016	discount hydraulic	GEN	REPLACEMENT HOSES FOR HOSE INFLATORS	
90048291	PO Box 856177	08/05/2016	000008602	N		81.23
	Louisville KY, 40285	/ /	0.0000	N		0.00
		08/05/2016		N		81.23
Paid						
GL NUMBER	DESCRIPTION				AMOUNT	AMT RELIEVED
206-340-93300	REPLACEMENT HOSES FOR HOSE INFLATORS				81.23	81.23
pncbank	PNC Bank	08/04/2016	discount online	GEN	K12 SAW STARTER REWIND KIT	
90048288	PO Box 856177	08/05/2016	000008574	N		108.16
	Louisville KY, 40285	/ /	0.0000	N		0.00
		08/05/2016		N		108.16
Paid						
GL NUMBER	DESCRIPTION				AMOUNT	AMT RELIEVED
206-340-93300	K12 SAW STARTER REWIND KIT				108.16	108.16
pncbank	PNC Bank	08/04/2016	discount online	GEN	K12 SAW STARTER	
90048289	PO Box 856177	08/05/2016	000008589	N		108.16
	Louisville KY, 40285	/ /	0.0000	N		0.00
		08/05/2016		N		108.16
Paid						
GL NUMBER	DESCRIPTION				AMOUNT	AMT RELIEVED
206-340-93300	K12 SAW STARTER				108.16	108.16

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

pncbank	PNC Bank	08/04/2016	galls	GEN	REPLACEMENT BATTERY FOR FIRE INSPECTIO	
90048283	PO Box 856177	08/05/2016	000008595	N		32.80
	Louisville KY, 40285	/ /	0.0000	N		0.00
		08/05/2016		N		32.80

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-340-72800	REPLACEMENT BATTERY FOR FIRE INSPECTION	32.80	32.80

pncbank	PNC Bank	08/04/2016	meijer	GEN	MEIJER GAS STATION, RICHTON, PARK, IL	
90048284	PO Box 856177	08/05/2016	000008564	N		37.31
	Louisville KY, 40285	/ /	0.0000	N		0.00
		08/05/2016		N		37.31

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-340-86800	GASOLINE AT MEIJER IN RICHTON PARK, IL	37.31	37.31

pncbank	PNC Bank	08/04/2016	meijer	GEN	STATION 5-1 EQUIPMENT FUEL	
90048287	PO Box 856177	08/05/2016	000008558	N		15.00
	Louisville KY, 40285	/ /	0.0000	N		0.00
		08/05/2016		N		15.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-340-86800	STATION 5-1 EQUIPMENT FUEL	15.00	15.00

pncbank	PNC Bank	08/04/2016	meijer	GEN	STATION 5-2 FUEL CAN	
90048292	PO Box 856177	08/05/2016	000008603	N		16.00
	Louisville KY, 40285	/ /	0.0000	N		0.00
		08/05/2016		N		16.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-340-86800	STATION 5-2 FUEL CAN	16.00	16.00

pncbank	PNC Bank	08/04/2016	office max	GEN	PARKS CAPITAL CAMPAIGN SUPPLIES	
90048285	PO Box 856177	08/05/2016	000008524	N		42.92
	Louisville KY, 40285	/ /	0.0000	N		0.00
		08/05/2016		N		42.92

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP
 EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

User: DeannaJ
 DB: Oshtemo

Vendor name: PNC Bank
 Address: PO Box 856177
 City/State/Zip: Louisville KY, 40285

Vendor Code: 107-756-75700
 Ref #: 107-756-75700
 107-756-75700

Post Date: 08/04/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016

Invoice: state annual repo
 PO: 000008590
 Disc. %: 0.0000

Bank: GEN
 Hold: N
 Sep CK: N
 1099: N

Invoice Description: BOTTLED WATER & TAX
 CARDSTOCK TABLOID
 3 HOLE PUNCHED COPY PAPER

AMOUNT: 20.00
 AMT RELIEVED: 20.00

GL NUMBER: 206-336-95900
 Description: KCFCA RENEWAL

usps: 20.00
 000008624
 0.0000

GEN: 20.00
 N: 0.00
 N: 0.00
 N: 20.00

PAID: 20.00

Vendor name: PNC Bank
 Address: PO Box 856177
 City/State/Zip: Louisville KY, 40285

Vendor Code: 107-756-75700
 Ref #: 107-756-75700
 107-756-75700

Post Date: 08/04/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016

Invoice: usps
 PO: 000008624
 Disc. %: 0.0000

Bank: GEN
 Hold: N
 Sep CK: N
 1099: N

Invoice Description: 2 P O MAILINGS RE HINKLE PROP IFT

AMOUNT: 13.15
 AMT RELIEVED: 13.15

GL NUMBER: 101-249-96300
 Description: 2 P O MAILINGS RE HINKLE PROP IFT

varidesk: 13.15
 000008510
 0.0000

GEN: 13.15
 N: 0.00
 N: 0.00
 N: 13.15

PAID: 13.15

Vendor name: PNC Bank
 Address: PO Box 856177
 City/State/Zip: Louisville KY, 40285

Vendor Code: 107-756-75700
 Ref #: 107-756-75700
 107-756-75700

Post Date: 08/04/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016

Invoice: STAND UP DESK FOR ASSESSOR-VARIDESK

Bank: GEN
 Hold: N
 Sep CK: N
 1099: N

Invoice Description: STAND UP DESK/MAT

AMOUNT: 455.00
 AMT RELIEVED: 455.00

GL NUMBER: 101-249-96300
 Description: STAND UP DESK/MAT

varidesk: 455.00
 000008510
 0.0000

GEN: 455.00
 N: 0.00
 N: 0.00
 N: 455.00

PAID: 455.00

Vendor name: RI Stafford Excavating
 Address: PO Box 754
 City/State/Zip: Richland MI, 49083

Vendor Code: rise
 Ref #: 90048271
 Paid

Post Date: 08/04/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016

Invoice: grave openings

Bank: GEN
 Hold: N
 Sep CK: N
 1099: Y

Invoice Description: Contracted Grave Openings

AMOUNT: 570.00
 AMT RELIEVED: 570.00

GL NUMBER: 101-218-80800
 Description: Contracted Grave Openings

varidesk: 570.00
 000008510
 0.0000

GEN: 570.00
 N: 0.00
 N: 0.00
 Y: 570.00

PAID: 570.00

VENDOR TOTAL: 2,005.07

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP
 EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

BANK CODE: GEN
 Vendor name: Rita Reinbold
 Address: 5144 Green Meadow #58
 City/State/Zip: Kalamazoo MI, 49009

Vendor Code	Ref #	Post Date	Invoice	Bank	Invoice Description	Gross Amount	Discount	Net Amount
		08/03/2016	08022016	GEN	election worker	175.00	0.00	175.00
		08/05/2016	0.0000	N				
		/ /		N				
		08/05/2016		N				

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	175.00

VENDOR TOTAL: 175.00

Vendor Code	Ref #	Post Date	Invoice	Bank	Invoice Description	Gross Amount	Discount	Net Amount
		08/03/2016	08022016	GEN	election worker	200.00	0.00	200.00
		08/05/2016	0.0000	N				
		/ /		N				
		08/05/2016		N				

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	200.00

VENDOR TOTAL: 200.00

Vendor Code	Ref #	Post Date	Invoice	Bank	Invoice Description	Gross Amount	Discount	Net Amount
		08/03/2016	08022016	GEN	election worker	175.00	0.00	175.00
		08/05/2016	0.0000	N				
		/ /		N				
		08/05/2016		N				

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	175.00

VENDOR TOTAL: 175.00

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP
 EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

08/04/2016 01:17 PM
 User: DeannaJ
 DB: Oshtemo

Vendor name: Secant Technologies
 Address: 6395 Technology Ave
 City/State/Zip: Kalamazoo MI, 49009

Vendor Code: 206-340-80900
 Ref #: 101-201-80500

Post Date: 08/04/2016
 CK Run Date: 08/05/2016
 Disc. Date: / /
 Due Date: 08/05/2016

Invoice: 065574
 PO: 0.0000
 Disc. %: 0.0000

Bank: GEN
 Hold: N
 Sep CK: N
 1099: N

Invoice Description: computer support

VENDOR TOTAL: 2,193.89

GL NUMBER	DESCRIPTION	AMOUNT
206-340-80900	Computer Operations	1,479.92
101-201-80500	Computer Support	1,179.93
		<u>2,659.85</u>

VENDOR TOTAL: 2,659.85

GL NUMBER	DESCRIPTION	AMOUNT
berish 90048145	Sharon Berish 1565 Skylark Ct Kalamazoo MI, 49009	25.00
		<u>25.00</u>

VENDOR TOTAL: 25.00

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	25.00
		<u>25.00</u>

VENDOR TOTAL: 25.00

GL NUMBER	DESCRIPTION	AMOUNT
oisten 90048144	Sharon Oisten 8952 Stadium Drive Kalamazoo MI, 49009	175.00
		<u>175.00</u>

VENDOR TOTAL: 175.00

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	175.00
		<u>175.00</u>

VENDOR TOTAL: 175.00

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP
 EXP CHECK RUN DATES 08/05/2016 - 08/05/2016
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

User: DeannaJ
 DB: Oshtemo

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
schulz	Sharron Schulz	08/03/2016	08022016	GEN	election worker	175.00
90048189	6270 Parkview Ave	08/05/2016		N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	N		175.00
		08/05/2016		N		

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-191-80800	Precinct Workers	175.00
VENDOR TOTAL:		175.00

sc	Siegfried Crandall	08/04/2016	89659	GEN	computer support	
90048274	246 E Kilgore Rd	08/05/2016		N		1,597.90
	Kalamazoo MI, 49002-5599	/ /	0.0000	N		0.00
		08/05/2016		N		1,597.90

Paid

GL NUMBER	DESCRIPTION	AMOUNT
206-340-80900	Computer Operations	217.90
101-201-80500	Computer Support	1,380.00
VENDOR TOTAL:		1,597.90

som	State of Michigan	08/04/2016	RM16-046-MAR16	GEN	SCANNING OF HISTORICAL CONSTRUCTION PLA	
90048275	Michigan Department of Treasury	08/05/2016	000007340	N		1,393.45
	PO Box 30471	/ /	0.0000	N		0.00
	Lansing MI, 48909	08/05/2016		N		1,393.45

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
249-371-97600	SCANNING OF HISTORIC CONSTRUCTION PLANS	1,393.45	1,393.45
VENDOR TOTAL:		1,393.45	

BANK CODE: GEN
 Vendor name Sue Janssen
 Address 2281 West E Ave
 City/State/Zip Kalamazoo MI, 49009

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		
Janssen-s	08/03/2016	08022016	GEN	election worker	225.00
90048195	08/05/2016	0.0000	N		0.00
	/ /		N		225.00
	08/05/2016		N		

Paid
 AMOUNT
 225.00
 VENDOR TOTAL: 225.00

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		
dorman	08/03/2016	08022016	GEN	election worker	225.00
90048181	08/05/2016	0.0000	N		0.00
	/ /		N		225.00
	08/05/2016		N		

Paid
 AMOUNT
 225.00
 VENDOR TOTAL: 225.00

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		
unum-ltc	08/04/2016	01508300016	GEN	long term care	292.60
90048294	08/05/2016	0.0000	N		0.00
	/ /		N		292.60
	08/05/2016		N		

Paid
 AMOUNT
 292.60
 VENDOR TOTAL: 292.60

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		
unum-ltc	08/04/2016	01508300016	GEN	long term care	292.60
90048294	08/05/2016	0.0000	N		0.00
	/ /		N		292.60
	08/05/2016		N		

Paid
 AMOUNT
 292.60
 VENDOR TOTAL: 292.60

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		
unum-ltc	08/04/2016	01508300016	GEN	long term care	292.60
90048294	08/05/2016	0.0000	N		0.00
	/ /		N		292.60
	08/05/2016		N		

Paid
 AMOUNT
 292.60
 VENDOR TOTAL: 292.60

BANK CODE: GEN
 Vendor name: Weal L.E.D.'s LLC
 Address: 537 Campbell Ave
 City/State/Zip: Kalamazoo MI, 49006

Vendor Code	Ref #	Post Date	Invoice	Bank	Invoice Description	Gross Amount
		CK Run Date	PO	Hold		Discount
		Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
	weal	08/04/2016	1860	GEN	COLLAR BRASS, NAME TAGS AND HAT BADGES	500.00
	90048279	08/05/2016	000008634	N		0.00
	Paid	/ /	0.0000	N		500.00
		08/05/2016		Y		

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-336-72500	HAT BADGES 19, 23, 38	150.00	150.00
206-336-72500	NAME PLATES	120.00	120.00
206-336-72500	COLLAR BRASS DOS AND FFS	221.00	221.00
206-336-72500	SHIPPING AND HANDLING	9.00	9.00
		500.00	500.00

VENDOR TOTAL: 500.00

MISC	DESCRIPTION	GEN	AMOUNT
90048280	West Kalamazoo Christian Church	GEN	50.00
	454 South Drake Road	N	0.00
	Kalamazoo MI, 49009	Y	50.00
		N	
Paid			

GL NUMBER	DESCRIPTION	AMOUNT
107-751-47500	Rental Fee - Flesher Pavilion	50.00

VENDOR TOTAL: 50.00

wmustryker	DESCRIPTION	GEN	AMOUNT
90048281	WMU Homer Stryker M.D. School of Me	GEN	115.00
	PO Box 50391	N	0.00
	Kalamazoo MI, 49005-0391	N	115.00
		N	
Paid			

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-340-75500	CPR CARDS	115.00	115.00

VENDOR TOTAL: 115.00

TOTAL - ALL VENDORS: 167,555.39

Memo



To: Oshtemo Charter Township Board

From: James W. Porter

Date: August 4, 2016

Subject: Purchase of Land in Maple Hills Estates No. 2 for Pressure Reduction Station

OBJECTIVE

To secure property to construct a pressure reduction station for the water line expansion planned for the Maple Hill Subdivision, 2nd Street and J Avenue.

BACKGROUND

Golder and Associates, on behalf of the KLA Group, has done water testing in the Maple Hill Subdivision area and has found that the levels of 1,4 Dioxane exceed the level acceptable for drinking water proposed by the DEQ to be enacted this year. Therefore, an expansion of the Township's water lines is necessary for public health, and to do so will require a pressure reduction station.

INFORMATION PROVIDED

Copies of a Plat Map and a proposed Warranty Deed.

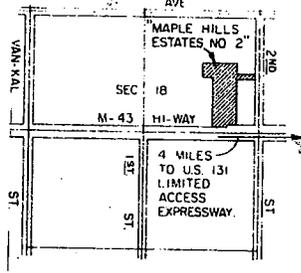
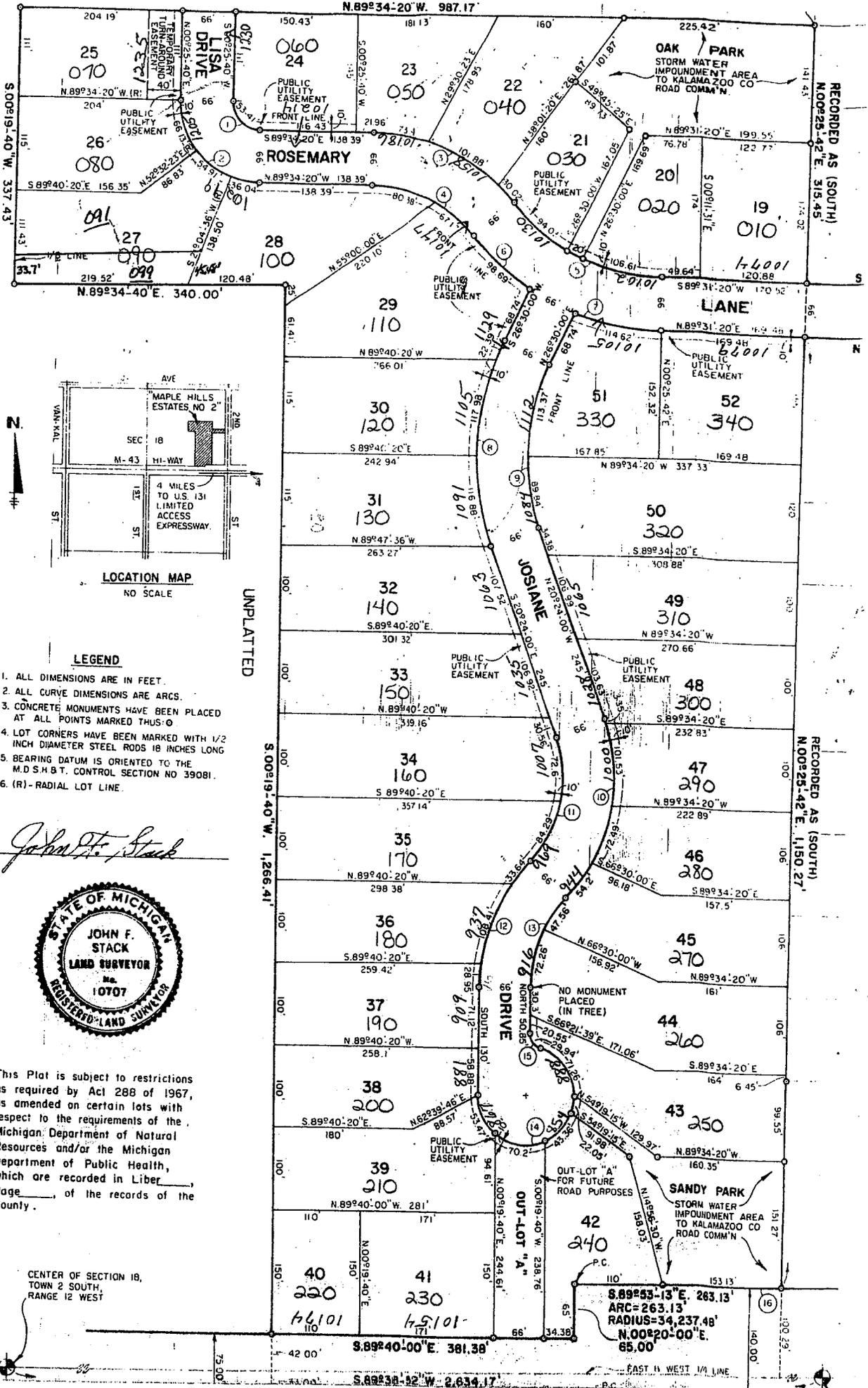
STATEMENT OF WHAT YOU ARE ASKING BOARD TO APPROVE

I am asking the Board to approve the purchase of the portion of Lot 42, Maple Hills Estates No. 2, from Mr. and Mrs. Farmer for the purchase price of \$4,500, which will be reimbursed to the Township by the KLA Group.

RESIDENTIAL ASSESSMENT RECORD

PARCEL CODE NO. **18-282-260**

CHARTER TOWNSHIP OF OSHTEMO



LEGEND

1. ALL DIMENSIONS ARE IN FEET.
2. ALL CURVE DIMENSIONS ARE ARCS.
3. CONCRETE MONUMENTS HAVE BEEN PLACED AT ALL POINTS MARKED THUS: ⊙
4. LOT CORNERS HAVE BEEN MARKED WITH 1/2 INCH DIAMETER STEEL RODS 18 INCHES LONG
5. BEARING DATUM IS ORIENTED TO THE M.D.S.H.B.T. CONTROL SECTION NO 39081.
6. (R) - RADIAL LOT LINE.

John F. Stack



This Plat is subject to restrictions as required by Act 288 of 1967, as amended on certain lots with respect to the requirements of the Michigan Department of Natural Resources and/or the Michigan Department of Public Health, which are recorded in Liber _____ Page _____ of the records of the County.

CENTER OF SECTION 18, TOWN 2 SOUTH, RANGE 12 WEST

RECORDED AS (SOUTH) N.00°25'-42"E. 315.45'

RECORDED AS (SOUTH) N.00°25'-42"E. 1,150.27'

UNPLATTED

S.00°19'-40"W. 1,266.41'

S.89°40'-00"E. 381.38'

S.89°34'-02"W. 2,634.17'

FAST N. WEST 1/4 LINE

WARRANTY DEED

The Grantors, Kevin J. Farmer and Connie Farmer, husband and wife, as tenants by the entireties, whose address is 854 Josiane Drive, Kalamazoo, MI 49009

convey and warrant to the Charter Township of Oshtemo, Kalamazoo County, Michigan, a municipal corporation, whose address is 7275 W. Main Street, Kalamazoo, MI 49009

the following described premises situated in Section 18, T. 2 S., R. 12 W., Oshtemo Township, County of Kalamazoo and State of Michigan:

Parcel to be Acquired for a Pressure Reducing Station:

Beginning at the Southwest corner of Lot 42, Maple Hills Estates No. 2 as recorded in Liber 32 of Plats on Page 29, Kalamazoo County Records; thence North 00°-19'-40" East along the West line of said Lot, 64.87 feet; thence South 89°-53'-13" East, 34.39 feet; thence South 00°-20'-00" West, 65.00 feet to the Southernmost line of said Lot; thence North 89°-40'-00" West thereon, 34.38 feet to the place of beginning. Containing 198.63 sq. ft.

NOTE: The above description was prepared from available records, no field survey was performed.

Also commonly known as 854 Josiane Drive, Kalamazoo, MI 49009
Parcel No. 3905-18-282-240

Subject, however, to easements, restrictions and conditions, and limitations of record.

Grantors grant to Grantee the right to make -0- divisions under Section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967.

This property may be located within the vicinity of farmland or a farm operation. Generally-accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

for the sum of Four Thousand Five Hundred (\$4,500.00) Dollars

Dated: _____, 2016

Grantors:

Kevin J. Farmer

Connie Farmer

STATE OF MICHIGAN)
) ss.
COUNTY OF KALAMAZOO)

The foregoing instrument was acknowledged before me this ____ day of _____, 2016, by Kevin J. Farmer and Connie Farmer, Grantors.

Notary Public
Kalamazoo County, MI
Acting in Kalamazoo County, MI
My Commission Expires: _____

Drafted by and when recorded return to:
JAMES W. PORTER
Oshtemo Charter Township
7275 West Main Street
Kalamazoo, MI 49009
(269) 375-7195

Memo



To: Oshtemo Charter Township Board
From: Julie Johnston, AICP
Date: August 4, 2016
Mtg. Date: August 9, 2016
Subject: Master Plan Update Consultant Approval

OBJECTIVE

Requesting approval from the Township Board to utilize Wade Trim as the consultant to support staff with the update to the Township's Master Plan.

BACKGROUND

During the budget process for 2016, funds were set aside in the Planning budget for consultant assistance for the development of the Maple Hill Sub-Area Plan and to investigate the Rural Residential District and "rural" character. The total for these two projects outlined in the budget is \$25,000.

Planning staff would like to utilize these funds for the completion of a Master Plan update, which would include the two projects listed above, including important community outreach and input. In addition, it would include an analysis of key trends that are influencing land use planning and development within the Township and recommendations for regulatory and/or policy changes. At their last meeting, the Downtown Development Authority (DDA) also tasked staff to include as part of the Master Plan update a critical review of the Village Theme Development plan. This review would also include community input and recommendations for possible changes to the Zoning Ordinance. The DDA will contribute funding to support this portion of the Master Plan update.

Generally, staff would solicit bids from multiple planning firms to compare and contract services. However, in this instance, staff is requesting the Township Board approve Wade Trim without the benefit of this process. Wade Trim was recently hired by the Township to assist with the re-organization of the Zoning Ordinance. This project will offer them a unique opportunity to understand the regulatory requirements of the Township prior to assisting with a larger visionary planning project. This will provide much needed insight into the development of recommendations that come to fruition from the Master Plan update, particularly Zoning Ordinance amendments.

The proposal from Wade Trim is included with this request. Their total budget for preparing a new Maple Hill Sub-Area Plan, rural character preservation strategy, and key trends totals \$26,500 and includes, succinctly, the following:

1. Planning drivers narrative:
 - a. Population trends and projections
 - b. Generational / age trends and preferences
 - c. Lifestyle preferences of populations segments
 - d. Changing demographic and household characteristics
 - e. Economic trends
 - f. Household unit trends and projections
 - g. Changing housing preferences (missing middle housing)

2. Maple Hill Drive South Sub-Area Plan
 - a. Existing conditions assessment and analysis of opportunities
 - b. Vision statement, goals and strategies
 - c. Future land use plan and land use category narratives
 - d. Conceptual development plan
 - e. Implementation actions matrix
 - f. Public input – design charrette

3. Rural Character Preservation Strategy
 - a. Existing conditions assessment and an analysis of opportunities, to include identification of key sites/elements of community importance
 - b. Analysis of applicability of the Right-to-Farm Act and GAAMPs as it pertains to local planning
 - c. Development of several “rural character compatible” residential development concepts to illustrate how growth may be allowed through appropriate design.
 - d. Goals and strategies for rural character preservation
 - e. Implementation actions matrix, including recommended amendments to the Zoning Ordinance
 - f. Community input:
 - i. Community Remarks™ – a community mapping web-based survey instrument to post ideas, comments, concerns that relate to specific geographic areas of the Township.
 - ii. Rural design alternatives workshop – selecting preferred design approaches consistent with “rural” characteristics and values.

The budget proposed is \$1,500 higher than available in the 2016 budget. However, this dollar amount could be included in the 2017 budget as the Master Plan update will not be concluded until sometime in 2017.

INFORMATION PROVIDED

Wade Trim proposal

STATEMENT OF WHAT YOU ARE ASKING BOARD TO APPROVE

Planning staff is requesting approval to utilize the \$25,000 budget delineated for consultants in the 2016 budget to hire Wade Trim for the Master Plan update.



May 27, 2016

Julie Johnston, AICP
Planning Director
Oshtemo Charter Township
7275 W. Main Street
Kalamazoo, MI 49009

Re: Proposal for Professional Assistance to Update the
Oshtemo Charter Township Master Plan

Dear Ms. Johnston:

We appreciate your invitation to provide assistance in updating the Oshtemo Charter Township Master Plan. The current Township Master Plan is a visionary document which was adopted in 2011. Comprehensive in scope, the current Master Plan covers important topics such as land use, housing, the environment, transportation, and future land use. Additionally, the Master Plan includes four separate "sub-area plans" with detailed recommendations and strategies for specific areas of the Township.

Based upon our recent discussion of the Township's needs, we understand that the Township is looking to prepare an update to the Master Plan to accomplish the following:

- Prepare a new sub-area plan for Maple Hill Drive South
- Prepare a new Rural Character Preservation Strategy element
- Prepare an analysis of key trends which are influencing land use planning and development at the local level. This analysis would serve as a framework for the recommendations presented in the Maple Hill Drive South sub-area plan and the Rural Character Preservation Strategy element.

The current Future Land Use Map of the Master Plan specifically calls out the Maple Hill Drive South area as a "sub-area"; however, a detailed sub-area plan was not developed for the area. Currently comprised of an existing golf course and smaller adjacent properties, this area has strong potential to accommodate new development. It features a strategic location with frontage along U.S. 131 and is in close proximity to existing commercial development along West Main Street and the Drake Road intersection. Given this potential, it is critical to undertake a sub-area study, where a preferred land use and development character can be identified for the area, consistent with community goals and market demand.

The Future Land Use Map identifies the majority of the western half of Oshtemo Township for Rural Residential use. The Master Plan calls for this area to include a mixture of predominantly residential and agricultural use of a rural and low-density character. The Plan also calls for the protection and preservation of natural features within the area and the rural character it defines. Although the Master Plan currently outlines a vision for rural residential use within this area, we

Wade Trim 616.956.3304
2851 Charlevoix Dr. SE 616.956.3475 fax
Suite 108
Grand Rapids, MI 49546 www.wadetrim.com

understand that the Township has found that the Master Plan fails to outline a clear implementation strategy to achieve that vision. A detailed connection between planning policies and zoning regulations/tools which can achieve such policies needs to be established. For example, the Township's existing minimum lot size for the RR Zoning District (1.5 acres) does not appear to be leading to the type of development which is consistent with rural character and the protection of agricultural and natural lands. Therefore, the new "Rural Character Preservation Strategy" will be established which outlines a clear plan for implementing the Township's vision for this area through various zoning and other development techniques.

Scope of Work

We proposed the following scope of work for the Oshtemo Township Master Plan update:

Task 1: Planning Drivers Narrative

As a framework for the evaluations and proposals which will be included in the Master Plan Update, Wade Trim will prepare a Planning Drivers Narrative. This Planning Drivers Narrative will document the key local, regional, and national trends which are influencing planning and development decisions at the local level. The following drivers/trends will be discussed in detail:

- Population trends and projections
- Generational / age trends and preferences
- Lifestyle preferences of certain population segments
- Changing demographic and household characteristics
- Economic trends, including a discussion of the New Economy and Placemaking as an economic development tool
- Housing unit trends and projections
- Changing housing preferences, including a discussion of the rise of the "Missing Middle" housing typology

When completed, Wade Trim will prepare a draft chapter narrative for delivery to the Township for review. Wade Trim will prepare necessary revisions to the draft based on comments received from the Township.

It is recommended that all of the chapters to be developed for this Master Plan update be compiled into a stand-alone Master Plan update "addendum" report. The report would be prepared in full color, with narratives as well as various maps, tables, charts, graphics and images.

Task 2: Maple Hill Drive South Sub-Area Plan

As described above, Wade Trim will prepare a sub-area plan, which outlines a preferred land use and development character, for the Maple Hill Drive South area. This plan will generally follow the same outline as the other sub-area plans currently found within the current Master Plan. The following elements will be included:

- Existing conditions assessment and an analysis of opportunities
- Description of community input (see below)
- Vision statement, goals, and strategies for the sub-area
- Future land use plan and land use category narratives
- Conceptual development plan
- Implementation actions matrix, including a “zoning plan” with recommended amendments, where appropriate

To establish a basis for the recommendations of the sub-area plan, Wade Trim will facilitate a **public design charrette** with key stakeholders of the project area. The design charrette would be open to the public; however, the Township should consider specific invitations for key stakeholders, including area citizens and business/property owners. Additionally, representatives from agencies such as MDOT and Kalamazoo County should be requested to attend the design charrette. The design charrette would begin with a presentation of the existing conditions assessment and analysis of opportunities. Then, Wade Trim facilitators would lead participants through various exercises aimed at establishing a preferred development character for the area, including land use types, circulation routes, public amenities, and other considerations.

When completed, Wade Trim will prepare a draft chapter narrative for delivery to the Township for review. Wade Trim will prepare necessary revisions to the draft based on comments received from the Township.

Task 3: Rural Character Preservation Strategy

As described above, Wade Trim will prepare a Rural Character Preservation Strategy focused on the rural western portion of Oshtemo Township. The following elements will be included as part of the strategy:

- Existing conditions assessment and an analysis of opportunities, to include an identification of key sites/elements of community importance (scenic views, rural roads, natural features, historic properties/buildings, prime agricultural lands, etc.).
- Analysis of the applicability of the Right-to-Farm Act and GAAMPs as it pertains to local planning for this portion of the Township
- Description of community input (see below)

- Development of several “rural character compatible” residential development concepts. These plan view concepts will be developed to illustrate how growth may be allowed through appropriate design principles and treatments.
- Goals and strategies for rural character preservation
- Implementation actions matrix, including a “zoning plan” with recommended amendments

We believe that it is important for Township residents, property owners, and other community stakeholders to provide direct input on the planning proposals outlined in the Rural Character Preservation Strategy. Therefore, Wade Trim proposes to utilize **Community Remarks™**, a “comment mapping” web-based survey instrument. This technology is the merger of GIS and community mapping that allows people to conveniently post their ideas, comments, and concerns to a website and relate them to a specific geographic area. The Community Remarks site will be established at the beginning stages of this effort and should be heavily promoted by the Township. Wade Trim will assist the Township in preparing marketing materials for the tool. The comments received by users of Community Remarks will be utilized throughout the Rural Character Preservation Strategy planning process, including the identification of key sites/elements of community importance.

To aide in the development of the “rural character compatible” residential development concepts, Wade Trim also proposes to facilitate a **rural design alternatives workshop** with key stakeholders of this portion of the Township. The design charrette would be open to the public; however, the Township should consider specific invitations for key stakeholders, including area citizens and property owners. During the workshop, Wade Trim facilitators would lead participants through various exercises aimed at evaluating different types/forms of development and selecting preferred design approaches which are consistent with community values.

When completed, Wade Trim will prepare a draft chapter narrative for delivery to the Township for review. Wade Trim will prepare necessary revisions to the draft based on comments received from the Township.

Task 4: Assistance with Michigan Planning Enabling Act Compliance

Throughout the Master Plan update process, Wade Trim will provide assistance to the Township to ensure compliance with the requirements of the Michigan Planning Enabling Act. This will include general guidance and the preparation of sample notices of intent, public hearing notices, and adoption resolutions.

Schedule/Meetings

Included in the above-described work tasks is Wade Trim’s attendance at the following meetings:

- Design Charrette for the Maple Hill Drive South Sub-Area Plan
- Rural Design Alternatives Workshop for the Rural Character Preservation Strategy

- Up to four progress meetings with Township representatives to present and review various work components.

We anticipate completing the above-described tasks within an approximately four-month period, resulting in a complete draft Master Plan update addendum report. Due to the State-required 63-day notification period, the official adoption process would take an additional two to three months.

Cost Estimate

We propose to complete the above-described scope of work for a lump-sum fee of **\$26,500**. This fee is broken down by task below:

<u>Task</u>	<u>Fee:</u>
Task 1: Planning Drivers Narrative	\$ 4,800
Task 2: Maple Hill Drive South Sub-Area Plan	\$ 11,400
Task 3: Rural Character Preservation Strategy	\$ 10,300
Task 4: Assistance with Michigan Planning Enabling Act Compliance	No charge
	Total \$ 26,500

This lump-sum fee is inclusive of all expenses and miscellaneous costs, including project administration, travel expenses, and supplies. Additional work requested by the Township which is not outlined in the above Scope of Work will be negotiated with the Township as a separate fee.

We look forward to working with the Township on this important project. If you have any questions concerning the work plan, please contact us.

Very truly yours,

Wade Trim Associates, Inc.



Adam Young, AICP
Professional Planner/
Project Manager

AY:jel
AAA 8140-16

4, e.



Memo

To: Oshtemo Charter Township Board
From: Marc Elliott, P.E., Director of Public Works *MCE*
Date: August 3, 2016
Subject: Atlantic Avenue Sanitary Sewer/Commercial Access Drive Project
 Contract Amendment (Change Orders 1 & 2)

OBJECTIVE

Unexpected site soil conditions and other issues caused the Atlantic Avenue project to require field-driven change orders to describe and document extra work that was necessary to complete the project in a safe and professional manner. Often referred to as a force-work account, the imperative is to address and identify the corrective action necessary to proceed with the work in a timely manner. Change orders 1 & 2 (see EJCDC formatted enclosures) are the contract documents that provide for the change in work. Each change order includes line item descriptions of work completed, with a unit-cost at the agreed rate of compensation. The sum total cost of change orders 1 and 2 exceed the Board approved project cost of \$639,754.25 (March 15, 2016).

BACKGROUND

Discoveries of unexpected field conditions were assessed by the Township's Design and Engineering Consultants/Project Managers. Prein&Newhof is overseeing the public utility work within the public right-of-way, while OCBA has design responsibility for the Commercial Area Access Drive. These two firms, acting as Township agents and project managers, consulted with each other, the general contractor, Balkema Excavating, and with Oshtemo staff in reviewing options and fair-pricing of the additional work. Oshtemo staff review was led by Public Works Director Elliott, and included Supervisor Heiny-Cogswell, Planning Director Johnston (representing DDA interests) and others.

Please note that Change Order No. 1 includes items of work overseen by both consultants. The costs attributed to the utility project are \$24,682.13. The costs attributed to the Commercial Area Access project are \$8,250.00. Please note that behind Change Order No. 1 is a memo from each respective design engineer/project manager stating their recommendations to approve the change order. The overall project of the general contractor is being managed by Tom Wheat, PE, and it is his signature is on each change order. [Mr. Wheat is expected to be available at the August 9th Board Meeting.]

Change Order No 2 was initiated in response to observed conditions subsequent to the completion of most major items of work. This change order of \$3,900.00 adds the installation of a French drain/trench drain in the roadside ditch. A memo from Mr. Wheat with his description of work and recommendation is attached.

INFORMATION PROVIDED

- I a Change Order No. 1
- I b Item Details for Change Order No. 1
- I c OCBA Plan Sheets (C2.0 & C3.0 revised)
- I d Memo of Recommendation, Prein&Newhof (Tom Wheat, PE)
- I e Memo of Recommendation, OCBA (Paul Warnick, LLA, ASLA)

- 2 a Change Order No. 2
- 2 b Item Details for Change Order No. 2
- 2 c Memo of Recommendation, Prein&Newhof (Tom Wheat, PE)

STATEMENT OF WHAT YOU ARE ASKING BOARD TO APPROVE

The Board is requested to approve change orders 1 & 2 in the combined amount of \$36,832.13 to the Atlantic Avenue Sanitary Sewer Extension and Commercial Area Access contract with Balkema Excavating, Inc., thereby raising the approved project cost to \$676,586.38.

In addition to approving changes orders 1 & 2, the Board is requested to increase the 2016 budget for Sewer Fund Construction Costs (490-00-96400) from General Reserves by \$28,582.13.

The \$8,250.00 contract increase for the Commercial Area Access project remains within the approved budget.

1a

Change Order

No. 1

Date of Issuance: June 15, 2016

Effective Date: June 15, 2016

Project: Atlantic Avenue Sanitary Sewer Extension and Commercial Area Access (Phase I)	Owner: Charter Township of Oshtemo	Owner's Contract No.:
Contract:	Engineer: Prein&Newhof	Date of Contract: April 20, 2016
Contractor: Balkema Excavating, Inc.	Contractor's Project No.:	Engineer's Project No.: 2150670

The Contract is modified as follows upon execution of this Change Order:

Description: See attached summary

Attachments (List documents supporting change):
See Attached Plan Sheets C2.0 and C3.0

CHANGE IN CONTRACT PRICE:

Original Contract Price:
\$ 610,754.18

[Increase] [Decrease] from previously approved Change Orders No. _____ to No. _____ :
\$ 0.00

Contract Price prior to this Change Order:
\$ 610,754.18

Increase of this Change Order:
\$ 32,932.13

Contract Price incorporating this Change Order:
\$ 643,686.31

CHANGE IN CONTRACT TIMES:
[note changes in Milestones if applicable]

Original Contract Times (days or dates): _____
Substantial Completion (days or dates): _____
Ready for Final Payment (days or dates): _____

[Increase] [Decrease] from previously approved Change Orders No. _____ to No. _____ :
Substantial Completion (days or dates): _____
Ready for Final Payment (days or dates): _____

Contract Times prior to this Change Order:
Substantial Completion (days or dates): _____
Ready for Final Payment (days or dates): _____

[Increase] [Decrease] of this Change Order:
Substantial Completion (days or dates): _____
Ready for Final Payment (days or dates): _____

Contract Times with all approved Change Orders
Substantial Completion (days or dates): _____
Ready for Final Payment (days or dates): _____

RECOMMENDED:

By: [Signature]
Engineer (if required)

Title: Engineer
Date: 6-15-16

Approved by Funding Agency (if applicable):
By: _____ Date: _____
Title: _____

ACCEPTED:

By: _____
Owner (Authorized Signature)

Title: _____
Date: _____

ACCEPTED:

By: Timothy J Balkema Digitally signed by Timothy J Balkema
Date: 2016.06.17 12:41:23 -04'00'
Contractor (Authorized Signature)

Title: Project Manager
Date: -- 6-17-2016

EJCDC® C-941, Change Order.

Prepared and published 2013 by the Engineers Joint Contract Documents Committee.

Change Order

For (project):		Change No. 1			
From (Contractor):		Date: June 15, 2016			
Atlantic Avenue Sanitary Sewer Extension and Commercial Area Access (Phase I)					
Balkema Excavating, Inc.					
Item No.	ITEM Description of Change	VALUE		CHANGE Increase in Contract Price	
		Quantity Change	Unit Price		
1	Atlantic Avenue Sanitary Sewer Extension Subgrade Undercut & Class II Fill Sand	1,451.89	CY	\$17.00	\$24,682.13
2	Commercial Area Access (Phase I) Regrading of landscape berms *	1	LS	\$5,250.00	5,250.00
3	Class II Fill Sand **	240	CY	\$12.50	3,000.00
*	Sheet C2.0 1. 5' wide concrete walk on the east side of the asphalt drive and roundabout to be located as shown on plan.				8,250.00
	Sheet C3.0 1. Regrade and construct berm with excess soils in the area on the west side of the drive, north of the west rain garden. All grading revisions to be within the existing project areas cleared of vegetation. 2. Construct berm with excess soils on the east side of the east walk as shown on plan. All berming to be within the existing project areas cleared of vegetation. No additional tree clearing is to be done. 3. "Additional Spoils Area" - Place spoils as required in area defined on plan. No additional tree clearing is to be done. Protect existing trees when placing soils. Seed and mulch all disturbed turf areas.				
**	Slope of Drive increased to 5% starting at Atlantic Avenue and ending at the proposed crosswalk. Grade of the drive continuing north from the crosswalk increased from 1.8% to 2.9%. Grading revisions end at the proposed 865 contour just east of the turnaround circle. On the south side of drive, provide a minimum grassed shoulder of 5' with a 2% slope. Continue with slope up to a maximum of 3:1 where shown on plan. Install erosion blanket on slopes exceeding 4:1 and where shown on plan.				
Change Totals					\$32,932.13
Net Change In Contract Price					\$32,932.13

16

PROPOSED FEATURES LEGEND:

	PROPOSED SPOT ELEVATIONS
	EXISTING SPOT ELEVATIONS TO REMAIN
	DIRECTION AND PERCENTAGE OF SLOPE
	PROPOSED STORM PIPE
	INLAND ELEVATION
	TOP OF CURB ELEVATION
	BOTTOM OF CURB ELEVATION
	HIGH POINT
	FLARED DOW SECTION WPI
	1/2" PVC SEE DETAIL 7 / C10
	3/4" PVC SEE DETAIL 10 / C10
	PROJECT LIMITS
	RAIN GARDEN, SEE DETAIL 7 / C10
	MARSH BLANKET, SEE SPECIFICATIONS
	ROAD CONTOUR LINE
	SOIL BORING - SEE GEOTECHNICAL REPORT

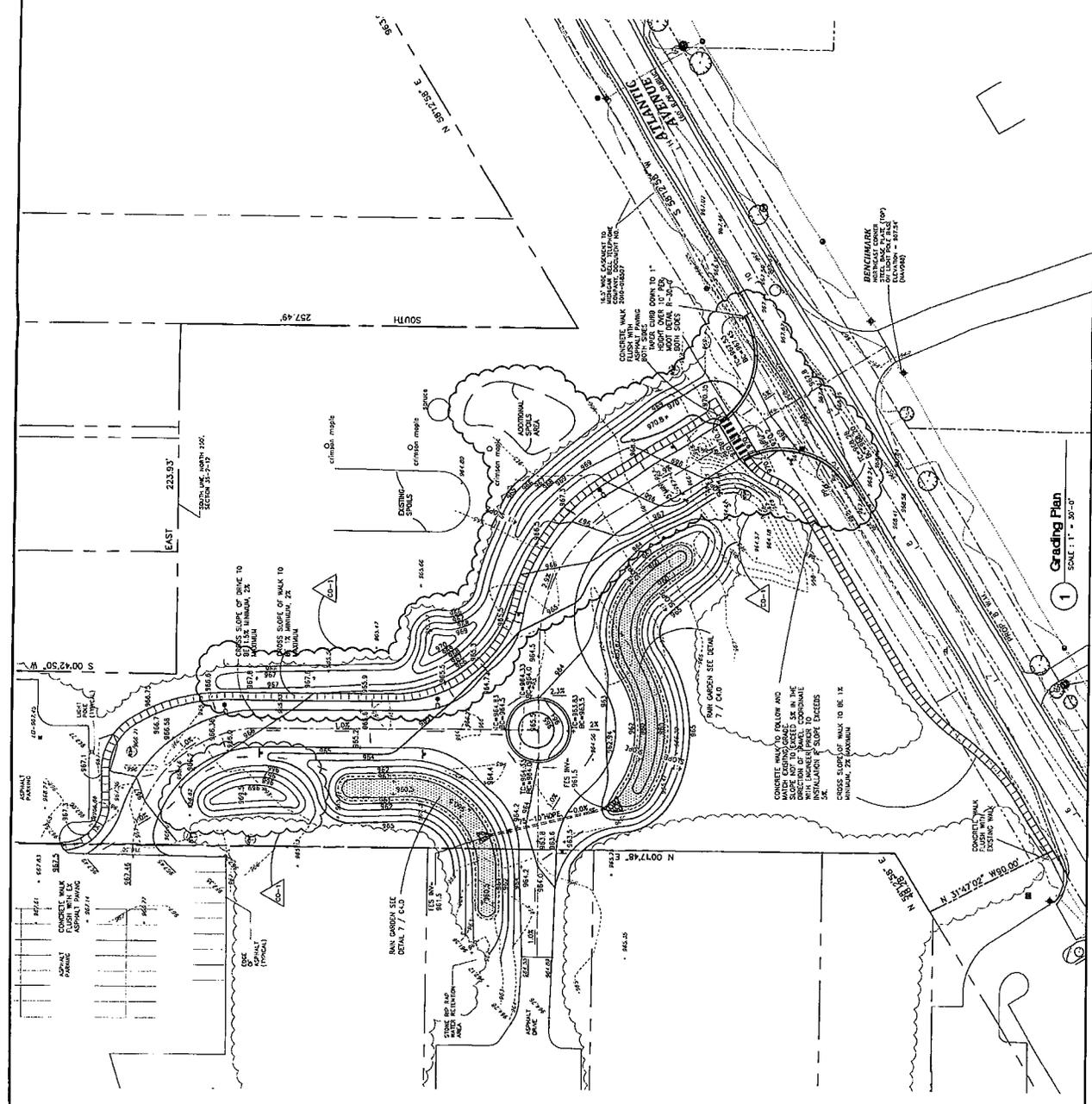
EROSION CONTROL REQUIREMENTS:
ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE TIME OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE SHORING EROSION CONTROL HANDBOOK PUBLISHED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MOT) BROWNS R-16-3, ALL EROSION CONTROL MEASURES SHALL BE REMOVED AT THE END OF CONSTRUCTION AND THE SITE SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR BETTER. EROSION CONTROL MEASURES SHOULD BE IN PLACE PRIOR TO EXCAVATION TO THE EXTENT POSSIBLE.

	PERMANENT SEEDING	P
	RIP RAP	P
	GENTELE SLOPE	P
	GRAVEL ACCESS APPROACH	T
	MULCH BLANKETS	T

NOTES:

1. ALL SITE CONDITIONS PROVIDED BY: MICHIGAN ASSOCIATION OF PROFESSIONAL ENGINEERS, INC. (MPE) PH. 399-197-3333.
2. PROPOSED WORK IN ADJACENT AREAS SHALL BE PROVIDED BY GREEN ENGINEERING & DESIGN, INC. (GEDI) PH. 337-1199.
3. EXISTING UTILITY LOCATIONS AND DEPT. ARE TO BE DETERMINED BY THE PROJECT ENGINEER AND SHALL BE SHOWN ON THE PROJECT PLAN.
4. ALL UTILITY LOCATIONS OF ALL UTILITIES SHALL BE IDENTIFIED AND MARKED PRIOR TO EXCAVATION. ALL UTILITY LOCATIONS SHALL BE MARKED WITH 1/2" DIA. WHITE PIPES OR 1/2" DIA. WHITE PIPES WITH 1/2" DIA. WHITE PIPES. ALL UTILITY LOCATIONS SHALL BE MARKED WITH 1/2" DIA. WHITE PIPES OR 1/2" DIA. WHITE PIPES WITH 1/2" DIA. WHITE PIPES. ALL UTILITY LOCATIONS SHALL BE MARKED WITH 1/2" DIA. WHITE PIPES OR 1/2" DIA. WHITE PIPES WITH 1/2" DIA. WHITE PIPES.
5. EXISTING UTILITY LOCATIONS SHALL BE IDENTIFIED AND MARKED PRIOR TO EXCAVATION. ALL UTILITY LOCATIONS SHALL BE MARKED WITH 1/2" DIA. WHITE PIPES OR 1/2" DIA. WHITE PIPES WITH 1/2" DIA. WHITE PIPES.
6. EXISTING UTILITY LOCATIONS SHALL BE IDENTIFIED AND MARKED PRIOR TO EXCAVATION. ALL UTILITY LOCATIONS SHALL BE MARKED WITH 1/2" DIA. WHITE PIPES OR 1/2" DIA. WHITE PIPES WITH 1/2" DIA. WHITE PIPES.

GENERAL EARTHWORK NOTE:
DOES AND FILL AT THIS SITE MAY BE NECESSARY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE REQUIRED PERMITS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL MAINTAIN THE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.



Grading Plan
SCALE: 1" = 30'-0"

Issued For:
ISSUED FOR BID: JANUARY 28, 2016
LOCAL GOVERNMENT: FEBRUARY 23, 2016
ASSEMBLY NO. 1: FEBRUARY 23, 2016
CHANGE ORDER NO. 1: JUNE 13, 2016

PROJECT:
Oahtemo Commercial Area
Access 888
Phase 1

Oahtemo Township, MI
Site Grading and SESC Plan



Sheet No. **4401**
Sheet No. **C3.0**

Memorandum

Date: July 25, 2016

To: Elizabeth Heiny-Cogswell

From: Thomas C. Wheat, P.E. Township Engineer

Project #: 2150670

Re: Atlantic Avenue Sanitary Sewer Extension Change Order #1

Our initial soil borings indicated that the soils in Atlantic Avenue would be sufficient for the road subbase and would not require additional sand to be brought into the site. While placing the sanitary sewer in Atlantic Avenue the contractor ran into varying soil conditions. In particular, there was an area of very silty sand east of 9th Street. This silty sand makes for a poor roadway subbase, and if kept in place would result in premature failure of the pavement. In order to provide a stable subbase, the project requires the removal of 1451.89 cubic yards of existing silty sand to be replaced with Class II fill sand.



Memorandum

Date: July 22, 2016
To: Libby Heiny-Cogswell, Oshtemo Township
From: Paul Warnick, O'Boyle, Cowell, Blalock & Associates, Inc. (OCBA)
Project: Oshtemo Commercial Access Drive
Oshtemo, Michigan

Libby,
A summary of the revisions for Change Order #1 for the Commercial Access Drive.

1. Raise grade of drive connection at Atlantic Avenue.

Subsurface explorations determined the location and depth of a fiber optic cable in the Atlantic Avenue right-of-way, and, an 8" high pressure gas main in a Consumers easement north of the right-of-way. The depth of excavations for the road construction, as originally designed, would risk damage to both utilities. After consultation with Consumers and with Midwest Communications, it was determined that a minimum 2' of existing soil cover should be maintained over both the gas and fiber optic to allow for compaction and placement of base and asphalt. The entry drive was raised to maintain this cover, requiring 230 CYDs of additional MDOT Class II fill.

2. Excess soils and Berming

The bid documents designated on site areas, outside of the project work area, for placement of excess topsoil and subsoil, as the cost of hauling soils off-site was prohibitive. As excavations progressed it was apparent the amount of excavated soils required additional storage areas, or hauling off site. After consultation with Oshtemo Township, the most cost effective means were to keep soils on site by creating berms along the east side of the concrete walk and at the north west side of the drive. Increase in costs reflects the additional contouring and shaping for the berms. An additional spoil area outside of the work limits, was also included.

Copies: Ken Peregon, OCBA

Change Order

No. 2

Date of Issuance: August 4, 2016 Effective Date: August 4, 2016

Project: Atlantic Avenue Sanitary Sewer Extension and Commercial Area Access (Phase I)	Owner: Charter Township of Oshtemo	Owner's Contract No.:
Contract:	Engineer: Prein&Newhof	Date of Contract: April 20, 2016
Contractor: Balkema Excavating, Inc.	Contractor's Project No.:	Engineer's Project No.: 2150670

The Contract is modified as follows upon execution of this Change Order:

Description: 25'x4'x4' french drain, includes hauling spoils out, placing stone, placing fabric, and flagging (see attached summary).

Attachments (List documents supporting change):
See attached P&N Memorandum dated August 4, 2016

CHANGE IN CONTRACT PRICE:	CHANGE IN CONTRACT TIMES: <i>[note changes in Milestones if applicable]</i>
Original Contract Price: \$ <u>610,754.18</u>	Original Contract Times (days or dates): _____ Substantial Completion (days or dates): _____ Ready for Final Payment (days or dates): _____
Increase from previously approved Change Orders No. <u>1</u> to No. <u>1</u> : \$ <u>32,932.13</u>	[Increase] [Decrease] from previously approved Change Orders No. _____ to No. _____ : Substantial Completion (days or dates): _____ Ready for Final Payment (days or dates): _____
Contract Price prior to this Change Order: \$ <u>643,686.31</u>	Contract Times prior to this Change Order: Substantial Completion (days or dates): _____ Ready for Final Payment (days or dates): _____
Increase of this Change Order: \$ <u>3,900.00</u>	[Increase] [Decrease] of this Change Order: Substantial Completion (days or dates): _____ Ready for Final Payment (days or dates): _____
Contract Price incorporating this Change Order: \$ <u>647,586.31</u>	Contract Times with all approved Change Orders Substantial Completion (days or dates): _____ Ready for Final Payment (days or dates): _____

RECOMMENDED:	ACCEPTED:	ACCEPTED:
By: <u>[Signature]</u> Engineer (if required)	By: _____ Owner (Authorized Signature)	By: <u>[Signature]</u> Contractor (Authorized Signature)
Title: <u>Engineer</u>	Title: _____	Title: <u>Vice President</u>
Date: <u>8-4-16</u>	Date: _____	Date: <u>8/4/16</u>
Approved by Funding Agency (if applicable):		
By: _____	Date: _____	
Title: _____		

Change Order

For (project): Atlantic Avenue Sanitary Sewer Extension and Commercial Area Access (Phase I)					Change No. <b style="font-size: 1.2em;">2	
From (Contractor): Balkema Excavating, Inc.					Date: August 4, 2016	
	ITEM	VALUE			CHANGE	
Item No.	Description of Change	Quantity Change	Unit	Unit Price	Total Value	Decrease in Contract Price
1	Atlantic Avenue Sanitary Sewer Extension 25'x4'x4' French Drain	1.00	LS	\$3,900.00	\$3,900.00	3,900.00
Change Totals					\$3,900.00	
Net Change In Contract Price					\$3,900.00	

Memorandum

Date: August 4, 2016

To: Elizabeth Heiny-Cogswell

From: Thomas C. Wheat, P.E. Township Engineer

Project #: 2150670

Re: Atlantic Avenue Sanitary Sewer Extension Change Order #2

The installation of the water main along the south side of Atlantic Avenue just north of Huntington Run required the removal of several trees, vegetation and the excavation of soils along the ditch line. After placing the water main, the ditch was rebuilt using the soils on site for backfill. The recent rain events have caused prolonged ponding of water in the low area of the ditch. The mix of soils during excavation has resulted in a silty sand layer and along with the lack of vegetation is preventing certain areas of the ditch from draining water. Prein&Newhof recommends that a French Drain be installed in the ditch to allow the water to properly drain into the soil which will also allow for the restoration of vegetation (which will also aid in drainage). The drain would be a 25 foot long, by 4 foot wide, by 4 foot deep stone trench that would allow water to reach the sandy subsoils required for proper drainage.

f.t.

**CHARTER TOWNSHIP OF OSHTEMO
POSITION DESCRIPTION**

Position Title: FIRE DEPARTMENT ADMINISTRATIVE ASSISTANT

General Summary:

Under the direct supervision of the Township Fire Chief performs a variety of clerical and a variety of dispatching duties related to the Fire Department.

Essential Job Functions:

Physical requirements described herein are representative of those requirements which must be met by an employee to successfully perform the essential job functions of this job. Reasonable accommodations may be made upon request to enable an individual with a disability to perform these essential job functions.

The employee must be able to use computer based programs and type various documents including legal documents, memos, resolutions, ordinances, notices, time reports, etc.

The employee must be able to assist with maintenance of the records of the Township Fire Chief. To do so, he or she must be able to open up, maintain and close files, requiring lifting, standing, bending, walking, manipulation of the files within his or her office, as well as the office of the Township Fire Chief. The employee must also be able to move about to file and retrieve files from storage. In addition, the Administrative Assistant is required to maintain and update the official records for the Township Fire Department and be able to file and retrieve these records from a secure location.

The employee must be able to answer the telephone in English and communicate with others, must be able to make telephone calls, schedule appointments and maintain the electronic calendars.

The employee must be able to open, sort, read and distribute incoming correspondence, both regular and electronic.

Typical Responsibilities:

Answering the telephone, and providing customer service to Township citizens.

Prepare correspondence, receive mail, and maintain appointment/meeting schedule for the Fire Chief.

Assists the Fire Department with dispatching of alarms, i.e. radio, telephone, and personnel communications in a clear and understandable speaking voice.

Coordinates with various departments, i.e. police, utilities, governmental agencies as required.

Maintains necessary reports and record keeping, i.e. station sheets, personnel attendance and payroll activity.

Secondary Responsibilities:

1. Maintain skill level as software and computers are updated.
2. Perform Internet and other Research for the Fire chief as directed
3. Other Administrative duties assigned by the Fire Chief or his management team.

The above statements are intended to describe the general nature and level of work being performed. They are not to be construed as an exhaustive list of all duties performed.

Employment Qualifications:

EDUCATION: High School graduate or equivalent.

EXPERIENCE: Must be able to meet prescribed typing and computer standards and maintain skill level as software and computers are updated.

Strong interpersonal communications skills, both oral and written.

These qualifications represent guidelines; alternative qualifications may be substituted if sufficient to perform the duties required by this position.

Effective Date: _____



Memo



T.g.

To: Libby Heiny-Cogswell, Supervisor and Township Board
From: Mark Barnes, Fire Chief
Date: August 3, 2016
Re: Authorize Additional Payment to Architectural Firm FTC&H.

As all are aware, during the final phases of our space needs analysis, there was a sudden and unexpected withdrawal of space needs for KABA. This shift in the participating entities forced our architectural partners to re-evaluate work that had already been completed which caused additional hours to be tagged onto this worthy undertaking.

Key factors for the additional time and costs include:

- Additional imagery studies for KABA to help portray the design aesthetics of what the existing fire administration space renovation could look like.
- Modification of the programming due to the eventual departure of KABA and revisions of previously developed concepts.
- Additional concept designs due to the uncertainty of KABA's location in the early stages of the initial phase. These designs included a standalone option and a new addition "pod" option to the West of the existing Township offices.
- Development of additional opinions of probable cost due to the departure of KABA
- Preparation of approximately six (6) additional concept designs. These were variations of previously developed concepts as well as new concepts.
- Cost estimation for each concept design.
- Three additional meetings.

The existing purchase order (#8007) has the original \$30,000 shared between the all four participants as follows: Maintenance \$3,000 (10%), Police \$6,000 (20%), Fire \$18,000 (60%), and building fund \$3,000 (10%).

Significant additional costs were incurred due to decisions made by KABA which disrupted the process. The Township recognizes the former partnership and will use the initial formula allocation as follows:

Recommendation: Authorize the additional payment of \$16,700 in architectural fees added to purchase order #8007 and allocated as follows. Source of funds will be from 2016 budget, Phase 2 architectural work. Phase 2 will not commence this year.

Fund	Total \$	%
Building	\$ 1,670	10
Maintenance	\$ 1,670	10
Police	\$ 3,340	20
Fire	\$ 10,020	60



Memo



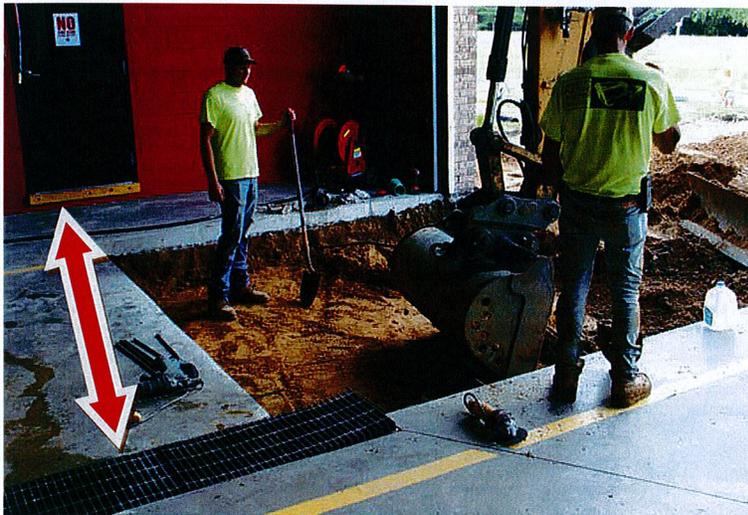
4. h.

To: Libby Heiny-Cogswell, Supervisor and Oshtemo Township Board
From: Mark Barnes, Fire Chief
Date: August 3, 2016
Re: Update on Repairs to Station 1

In June, the Board approved the low bid of \$22,300 from James Fulton and Sons to repair the concrete floor and front apron of station 1. As noted in the request, once the ground was exposed, we would then be able to discover the cause of the erosion and make necessary repairs.



More than one cause has been identified. A primary event was the leaking of a roof drain that ran under the cement and to the culvert on West Main Street. That piping was constructed of light weight corrugated plastic that had fractured. In addition, the piping was 4" in diameter which was unable to handle the water load during high rainfalls. That has been replaced with 8" solid piping. In addition, the wet soils were removed and stabilized gravel inserted. The replacement concrete is 8" thick where the old was 6" or less.



A secondary cause is due to the age of the building. It has been determined that construction seems in the trench drains under the trucks and at the wall to floor joints throughout the apparatus bay are leaking. This is allowing water to be injected under the concrete slab and will likely be the cause of future erosion if not repaired.

Instituting repairs to that problem are not within the normal experience of Fulton and Sons. They have therefore recommended that we

secure the proven experience of Mulder Waterproofing and Sealants. Their quote is attached.

Recommendation: To authorize repairs to fire station 1 as per the quote of July 25, 2016 from Mulder Waterproofing and Sealants. Total estimated cost of \$5210 with a contingency of \$1,000. Funds are to be encumbered from the department's capital fund balance.

Attachment: Quote from Mulder Waterproofing and Sealants dated 7/25/2016.



JULY 25, 2016

JAMES E FULTON & SONS
ATTN: JOHN

RE: OSHTEMO FIRE STATION

JOHN,

MULDER WATERPROOFING IS PLEASED TO QUOTE THE FOLLOING PRICE TO CAULK THE FLOOR TO EXTERIOR BLOCK WALLS, AND INSTALL A URETHANE FLEX MATERIAL INTO THE TRENCH DRAINS TO STOP WATER LEAKAGE. THE FOLLOWING IS OUR SCOPE OF WORK

FLOOR TO WALL JOINT SEALANT

GRIND THE JOINTS TO REMOVE CONCRETE AND TO PREP

INSTALL A SOFT CELL BACKER ROD

CAULK WITH TWO PART URETHANE JOINT SEALANT

DRY TOOL TO NSURE ADHESION

TOTAL LINEAIL FEET 180'

INSTALL MATERIAL ON A COVE

LUMP SUM BID \$ 2,490.00

FLEX INJECT A POLYURETHANE WATER STOP GROUT INTO THE TWO TRENCH DRAIN FLOOR TO WALL

DRILL INTO THE FLOOR TO WALL JOINT

INSTALL INJECTION PORTS EVERY 6"

INJECT AZO GROUT 675 INTO THE PORTS TO REJECTION

REMOVE INJECTION PORTS

3420 Ravine Rd. Kalamazoo, MI 49006 Phone: (269) 381-8100 Fax: (269) 381-2943

smulder@mulderwaterproofing.com * www.mulderwaterproofing.com

CLEAN UP AS REQUIRED

TOTAL LINEAL FEET SHALL BE 82'

LUMP SUM BD \$ 2,720.00

THIS WILL KEEP THE WATER IN THE TRENCK DRAINS

WORK TO BE DONE DURING A NORMAL WORDAY

PEASED CALL ME WITH ANY QUESTIONS

THANKS

SCOTT MULDER]
FILE: OSHYEMI FIRE,16

RECOMMENDATION

TO: Township Board
FROM: Human Resources Committee
DATE: August 2, 2016
SUBJECT: Recommendation for *Employee Handbook* Revision
Concerning Appendix G – Cell Phone Use

As a result of its meeting of August 2, 2016, the Human Resources Committee recommends the attached revision to the *Employee Handbook*, which is coded for your review. The attached Township Board Resolution contains the same revisions and additions, but they are not coded.

Cell Phone Use

The cell phone policy shall be as follows:

A. Employees required to have cell phones.

The Township will provide cell phones and a selected service plan for employees who the Township Board determines require cell phones at all times to further their official duties, which include full-time Elected Officials (Supervisor, Clerk and Treasurer), the Ordinance Enforcement Officer, Maintenance Dept. Head, **Fire Chief, Assistant Fire Chief**, and ~~full-time those~~ **firefighters the Fire Chief determines require cell phones.**

1. Township employees required to have a cell phone, but who do not use this cell phone for personal use, will not incur any expense. Those employees wishing to use the Township cell phone for personal use may do so by paying ~~\$25.00 per~~ **one-half of the** per month **cost** for the service in addition to any other charges not deemed necessary by the Township. ~~The cost of replacement batteries will be shared 50/50.~~
2. Those employees required to have a cell phone at all times but who wish to maintain their own cell phone service may request reimbursement of **up to one-half of the cost of such the Township's service plan.** ~~up to \$25.00 per month.~~

B. Employees required to have cell phones periodically.

Township employees with duties and responsibilities which take them from the Township Offices should have a cell phone available while on Township business. Employees have the option of using their own cell phone and making that phone number available to the Township, or, in the alternative, may secure a cell phone from the front desk by logging out the same and returning the same upon their return from the field.

APPENDIX G

Addition of Cell Phone Use Guidelines – Eff. 10/13/09
Amendment of Cell Phone Use Guidelines – Eff. 7/28/11
Amendment of Cell Phone Use Guidelines ¶ A- Eff. 10/9/12
Amend. of Cell Phone Use Guidelines ¶A1& 2 & New ¶B – Eff. 10/08/13
Amend. of Cell Phone Use Guidelines ¶A – Eff. _____

CHARTER TOWNSHIP OF OSHTEMO
KALAMAZOO COUNTY, MICHIGAN

August 9, 2016

Resolution Regarding Revision of Appendix G – Cell Phone Use
Oshtemo Charter Township Employee Handbook

WHEREAS, the Oshtemo Charter Township Board recognizes the need to provide guidance to its employees regarding their conduct; and

WHEREAS, the Oshtemo Charter Township Board recognizes that the Township Supervisor and/or Personnel Director and the Human Resources Committee need guidance to oversee the conduct of the Township's employees; and

WHEREAS, it has been determined that Oshtemo Charter Township needs to establish written guidelines to provide the necessary guidance to its employees and administrative staff.

NOW, THEREFORE, BE IT HEREBY RESOLVED that:

(1) Appendix G – Cell Phone Use shall be revised, adopted and made part of the *Oshtemo Charter Township Employee Handbook*, as reflected in the Attachment to this Resolution.

The foregoing Resolution was offered by Board Member _____,
and supported by Board Member _____.

Upon roll call vote, the following voted "Aye":

The following voted "Nay":

The following abstained:

The Supervisor declared the Resolution adopted.

DEBORAH L. EVERETT, Clerk
Oshtemo Charter Township

CERTIFICATE

I hereby certify that the foregoing constitutes a true and complete copy of an Excerpt of the Minutes of a meeting of the Oshtemo Charter Township Board, held on August 9, 2016, at which meeting ___ members were present and voted upon the same as indicated in said Minutes; that said meeting was held in accordance with the Open Meetings Act of the State of Michigan.

DEBORAH L. EVERETT, Township Clerk

ATTACHMENT

Cell Phone Use

The cell phone policy shall be as follows:

A. Employees required to have cell phones.

The Township will provide cell phones and a selected service plan for employees who the Township Board determines require cell phones at all times to further their official duties, which include full-time Elected Officials (Supervisor, Clerk and Treasurer), the Ordinance Enforcement Officer, Maintenance Dept. Head, Fire Chief, Assistant Fire Chief, and those firefighters the Fire Chief determines require cell phones.

1. Township employees required to have a cell phone, but who do not use this cell phone for personal use, will not incur any expense. Those employees wishing to use the Township cell phone for personal use may do so by paying one-half of the per month cost for the service in addition to any other charges not deemed necessary by the Township
2. Those employees required to have a cell phone at all times but who wish to maintain their own cell phone service may request reimbursement of up to one-half of the cost of the Township's service plan.

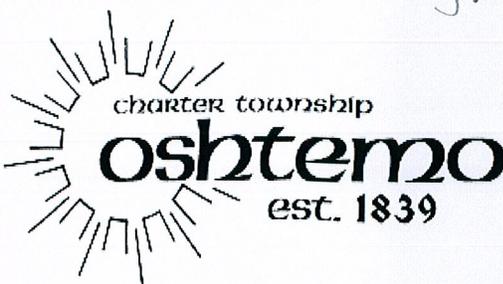
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Township employees with duties and responsibilities which take them from the Township Offices should have a cell phone available while on Township business. Employees have the option of using their own cell phone and making that phone number available to the Township, or, in the alternative, may secure a cell phone from the front desk by logging out the same and returning the same upon their return from the field.

APPENDIX G

Addition of Cell Phone Use Guidelines – Eff. 10/13/09
Amendment of Cell Phone Use Guidelines – Eff. 7/28/11
Amendment of Cell Phone Use Guidelines ¶ A- Eff. 10/9/12
Amend. of Cell Phone Use Guidelines ¶A1 & 2 & New ¶B – Eff. 10/08/13
Amend. of Cell Phone Use Guidelines ¶A – Eff. _____

4.j.



Memo

To: Oshtemo Charter Township Board

From: Marc Elliott, P.E., Director of Public Works *ME*

Date: August 3, 2016

Subject: Oshtemo Construction Standards, Sidewalks and Shared-Use Paths

OBJECTIVE

Revisions to Oshtemo Townships Sidewalk/Shared-Use Path Construction Standards are needed to assure a uniform and standard quality of work when public sidewalks are extended as an item of work during individual home site construction. The revision clarifies that curb ramps, ductile iron detectible warning plates and concrete curbing at roadway crosswalks are to be completed as the developer's obligation prior to acceptance of a proposed land division.

BACKGROUND

Public sidewalks has been required in Oshtemo for new commercial developments and new residential subdivisions for several years. Residential developers have generally been allowed to have the individual lot builders install residential sidewalks at the time of constructing the single family residence. Unfortunately, individual home builders bring a wide variety of experience in dealing with ADA requirements for public sidewalks. We have identified that increased public oversight, and additional specificity of construction standards are required to better communicate expectations and enforceable work standards. An additional overall purpose is to avoid disjointed construction when lot-based sidewalk extensions are installed.

INFORMATION PROVIDED

Redline markup of draft changes. Please note the proposed changes were reviewed and edited in-committee. The enclosed changes are unanimously recommended for board adoption by members the Capital Improvements Committee of Oshtemo Township.

Clean print of the revised 2016 standards and specifications.

STATEMENT OF WHAT YOU ARE ASKING BOARD TO APPROVE

Board action in accordance with Ordinance No. 468 (294.005 Sec V. B) to approve the 2016 Oshtemo Township Sidewalk/Shared-Use Path Construction Standards,



OSHTEMO TOWNSHIP SIDEWALK/~~MULTI-PURPOSE~~SHARED-USE PATH CONSTRUCTION STANDARDS

CONCRETE SIDEWALK CONSTRUCTION

~~Concrete sidewalk shall conform to MDOT 2003~~The construction of Sidewalks and Shared-Use Paths within Oshtemo is managed through the Township's issuance of a Sidewalk/Non-Motorized Path Permit. The permitting process includes both a pre-pour inspection of the base and concrete forms, and a final project inspection for acceptance of the work. Concrete sidewalk shall conform to MDOT 2012 (or current edition) Standard Specifications for Construction Section 803, "Concrete Sidewalks, Sidewalk Ramps and Steps" and shall be a minimum of five (5) feet wide unless a different width is required by other Township ordinances or regulations.

Grade

The sidewalk shall be constructed to match the existing grade, or as noted on the construction drawings. The sidewalk will have a transverse slope either toward or away from the road to maintain existing drainage patterns. Minor fills and cuts will be made in the field during construction to provide smooth transition of the sidewalk and maintain existing drainage patterns.

Sub-base Preparation

Existing vegetation shall be removed and topsoil excavated to provide a four (4") inch sand sub-base for the proposed sidewalk. The existing sand sub-base shall be compacted to ninety-five (95%) percent maximum unit weight in accordance with MDOT procedures. Where fill sand is required it shall be compacted to achieve ninety-five (95%) percent maximum unit weight in accordance with MDOT procedures.

Concrete

Concrete shall meet the requirements for Grade P1 Concrete or Grade S2 Concrete as specified in the MDOT ~~2003~~ Standard Specifications for Construction Section 601, "Portland Cement Concrete Pavements". Concrete shall be six sack limestone mix and shall be air-entrained and shall have a compressive strength of not less than 3,500 pounds per square inch, within twenty-eight (28) days of paving. Other materials shall meet the requirements of the applicable portions of the MDOT ~~2003~~ Standard Specifications for Construction. All concrete sidewalks shall be paved with a single course of concrete. Sidewalks through driveways shall be six (6") inches thick. All other walks shall be four (4") inches thick.

Joints

Full depth transverse expansion joints shall be constructed perpendicular to the surface of the sidewalk at intervals not to exceed fifty (50') feet. Expansion joint material shall be one-half (1/2") inch pre-molded expansion joints and shall be set 1/4" below the surface of the sidewalk. Sealing of joints will not be required. One (1") inch pre-molded expansion joints must be placed between the sidewalk and back-of-curb when sidewalk is constructed between the curb and building or other rigid structures. Sealing of joints will not be required. Transverse plane of weakness joints shall be true to line and grade, and shall be placed at four (4') foot intervals and shall be formed with a grooving tool. Planes of weakness joints shall be constructed to a depth of at least one (1") inch and a width of 1/8 inch to 1/4 inch. Sealing of joints will not be required.

Surface

The surface of the concrete shall be floated to a level uniform surface and left with a slightly rounded surface. The surface shall be roughened with mechanic's brush to prevent smooth and slippery surfaces. No surface shall be troweled to a glassy finish. Edges at the forms and joints shall be rounded with an edging tool.

Curb Ramps and Approaches

New roadway construction in locations where non-motorized facilities are anticipated shall incorporate concrete curbing of RCKC standards at intersections. Roadway curbing shall be extended through the roadway intersection, within the right-of-way limits of each approaching roadway. The purpose of this standard is to ensure that all non-motorized ramps, (current and anticipated) are fully integrated into the casting of the concrete curb through the intersection. As required, concrete curbing within intersections shall be extended a sufficient length to assure that the concrete curb carries the transition from the existing edge of pavement design of each approaching roadway. Commonly encountered edge-of-roadway pavement designs include ditch drainage, gravel shoulder, bituminous valley gutter, mountable and high back concrete curb.

Curb ramps shall be concrete unless written approval of an alternative is pre-approved by the Township. In locations where existing concrete curb is without an integrated approach (curb-cut), the entire roadway concrete curb section may need to be removed and re-constructed to meet ADA compliance standards. On a case by case basis, the removal of an existing curb back by saw cutting may be able to yield an ADA compliant transition through the curb. Proposals to use the saw cut method of ramp construction should seek prior approval from the Township.

Ramp that approach existing roads without concrete curbing should be reviewed with the Township prior to ramp construction. If providing new concrete curb for the ramp transition is determined to be impracticable, or if extensive re-construction the intersection curb is determined to be excessive, ADA compliant asphalt transitions onto asphalt paving may be accepted upon prior written approval of the township.

Butt joints must be provided at the transition from concrete to bituminous paving for all non-motorized facilities. Saw cutting, grinding, or similar means of joint formation is required. As practicable, transition butt-joints to asphalt curbing shall be located at the curb high-point. Material transition joints are not allowed along a drainage flow-line. Surface grinding of existing asphalt curbing is an acceptable means to achieve ADA compliant transitions. Alternately, IR asphalt restoration or placement of a new transition segment of asphalt paving can be constructed through

the curb profile to achieve the transition from the asphalt roadway to the concrete ramp. Regardless of construction method or prior approval of the means of construction, compliance with ADA standards will need to be demonstrated to receive acceptance of the work.

Sidewalk Detectable Warnings

~~Sidewalk~~Sidewalk Detectable Warning shall apply to all construction or reconstruction of streets, curbs, or sidewalks. Detectable Warnings shall be placed at all street intersections and at select commercial/industrial driveways where driveway traffic and pedestrian crossings are determined/projected by the Township to generate sufficient conflicts to warrant the greater risk awareness provided by detectable warnings.

~~Sidewalk~~Detectable Warning details Warnings shall conform to ADA requirements, MDOT Specifications and MDOT Detail R-28-E.

~~Warning details shall apply to all construction or reconstruction of streets, curbs, or sidewalks.~~ Detectable Warnings shall be made of ductile iron material, extend the full width of the curb/sidewalk ramp. They shall be located so that the edge nearest the curb line or street is 6" to 8" from the curb line.

HOT MIX ASPHALT SHARED-USE PATH CONSTRUCTION

~~Multi~~Shared-use paths shall be a minimum of ten (10) feet wide unless a different width is required by other Township ordinances or regulations.

Grade

The sidewalk shall be constructed to match the existing grade, or as noted on construction drawings. The ~~sidewalk~~path will have a transverse slope either toward or away from the road to maintain existing drainage patterns. Minor fills and cuts will be made in the field during construction to provide smooth transition of the ~~sidewalk~~path and maintain existing drainage patterns.

Sub-base Preparation

Existing vegetation shall be removed and topsoil excavated to provide a six (6) inch sand sub-base for the proposed ~~sidewalk~~path. The existing sand sub-base shall be compacted to ninety-five (95%) percent maximum unit weight in accordance with MDOT procedures. Where fill sand is required it shall be compacted to achieve ninety-five (95%) percent maximum unit weight in accordance with MDOT procedures.

Gravel Base

The gravel base shall extend one foot beyond the width of the topcoat on each side and consist of six (6) inches of compacted MDOT 22A gravel in accordance with the section as indicated on the construction drawing. Density of the gravel shall be ninety five (95%) percent.

~~Hot~~ Hot Mix Asphalt (HMA) Surface

The hot mix asphalt surface shall consist of 120 lbs/SY MDOT 36A hot mix asphalt (top) over 165 lbs/SY of MDOT 13A hot mix asphalt (level) placed in accordance with the section as indicated on the construction drawings. The asphalt performance grade shall be 58-28. The hot mix asphalt shall be placed with a self-propelled paver; spreader boxes will not be permitted. A bond coat shall be applied between successive courses of hot mix asphalt at an application rate of 0.1 gal./SY.

REMOVABLE BOLLARDS (Vehicle Exclusion Device)

Certain Shared-Use Pathways may include removable Bollards as vehicle exclusion devices. When shown on plans, this work shall include the construction of the concrete footings, in-ground receiver, installation of the bollards, and all related work necessary to provide complete Removable Bollards as shown on the plans.

Materials

The materials shall be as specified below:

1. Removable Bollard: Model R-7901 Steel Removable Bollard with Removable Mounting and locking hinged steel lid from Reliance Foundry, Petersen Mfg. Co., Inc., or approved equal. Bollard shall be corrosion resistant under coating and safety yellow in color with safety yellow reflective tape at the top.
2. Concrete: Provide grade S1 concrete as specified in Section 701 of the MDOT Standard Specifications for Construction.
3. Steel Reinforcement: Provide steel reinforcement as specified in Section 905 of the MDOT Standard Specifications for Construction.
4. Submittals: The Contractor shall submit complete shop drawings, showing all materials, dimension, fastenings, and fastening devices.

Construction

The Removable Bollards shall be constructed according to the plans and as described below.

1. Preparation work shall be thoroughly reviewed with the Engineer prior to installation. Saw cut the existing HMA prior to placement.
2. Install Removable Bollards complete per manufacturer's specifications and instructions and as detailed on approved shop drawings.
3. Concrete: Install concrete components as specified in Section 706 of the MDOT Standard Specifications for Construction and as detailed on the plans.
4. All excess and waste materials shall be disposed of legally off-site. Upon completion of the work, leave areas in a clean condition.

SIGNS

Certain Shared-Use Pathways may include restricted usage or way-finding signs. When shown on plans, this work shall comply with the construction standards of the Kalamazoo County Road Commission and all permit requirements of the applicable operating authority of the public right-of-way. In order to promote uniformity in style (community sense-of-place), shop drawings for all signage shall be submitted for Oshtemo Township approval prior to installation.

LAWN AND YARD RESTORATION

After construction is completed all disturbed lawn areas, including adjacent cut and fill areas as required to blend into the existing yards, shall be repaired using a maximum of 1 on 4 ~~backslope~~back slope, four (4) inches of topsoil, MDOT Class A seed, fertilizer and mulch.

All disturbed areas, including adjacent cut and fill areas as required to blend into the existing yards, which are not lawns, shall be repaired using a maximum of 1 on 3 ~~backslope~~back slope, two (2) inches of topsoil, MDOT Roadside Seed, fertilizer and mulch.

Restored areas shall be repaired and reseeded as often as necessary in order to produce a close stand of weed free grass to the edges of the sidewalk or multi-use path.

ATTACHMENTS:

MDOT Construction Details (2013 or current edition):

R-28-H Sidewalk Ramp and Detectable Warning Details

R-29-H Driveway Openings & Approaches and Concrete Sidewalk

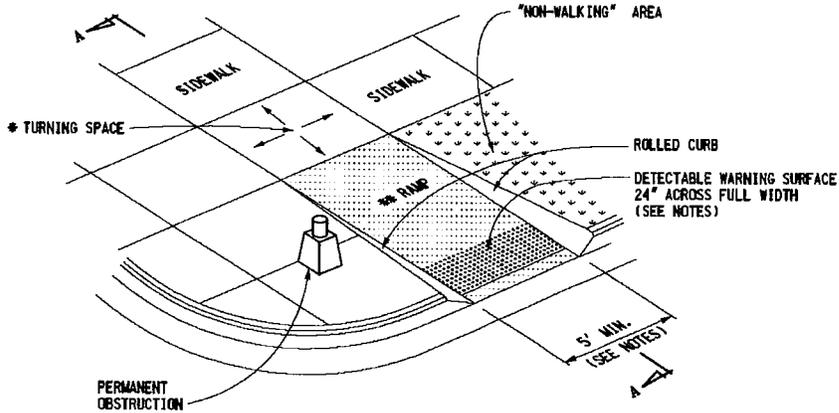
P&N Slope Cut & Fill Limitations

P&N Precast Concrete Rip-Rap Retaining Wall

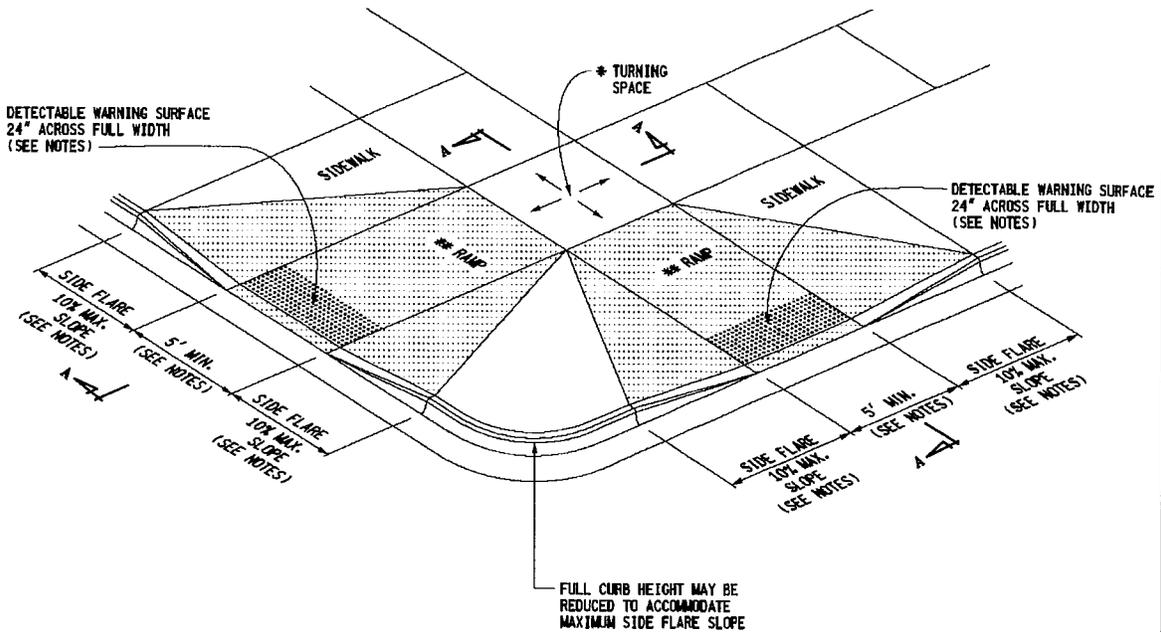
P&N Lumber Retaining Wall

P&N Lumber Fencing

* MAXIMUM TURNING SPACE SLOPE IS 2% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.
 ** MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



SIDEWALK RAMP TYPE R
(ROLLED SIDES)

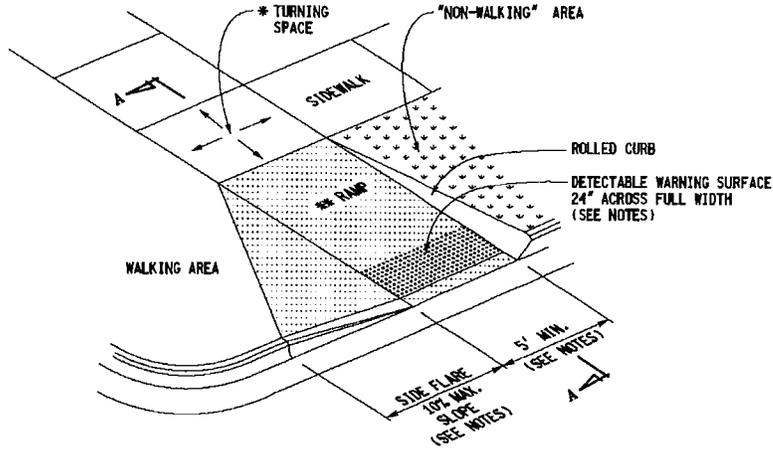


SIDEWALK RAMP TYPE F
(FLARED SIDES, TWO RAMPS SHOWN)

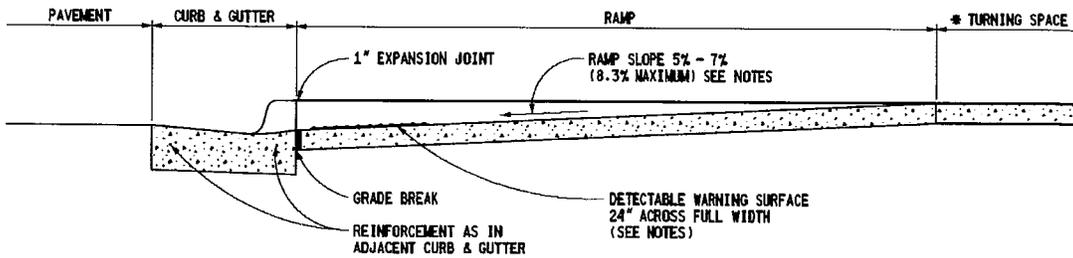
 PREPARED BY DESIGN DIVISION DRAWN BY: <u>B.L.T.</u> CHECKED BY: <u>W.K.P.</u>	DEPARTMENT DIRECTOR Kirk T. Steudle APPROVED BY: <u>Randy V. Pittell</u> DIRECTOR, BUREAU OF FIELD SERVICES	MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR SIDEWALK RAMP AND DETECTABLE WARNING DETAILS		
	APPROVED BY: <u>Maia A. Van Paul</u> DIRECTOR, BUREAU OF HIGHWAY DEVELOPMENT	1-25-2013 F.H.W.A. APPROVAL	10-3-2012 PLAN DATE	R-28-H SHEET 1 OF 7

* MAXIMUM TURNING SPACE SLOPE IS 2% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

** MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.

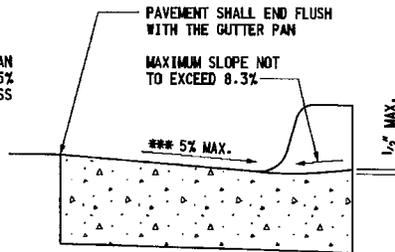


SIDEWALK RAMP TYPE RF
(ROLLED / FLARED SIDES)



SECTION A-A

*** TRANSITION ADJACENT GUTTER PAN CROSS SECTION TO PROVIDE 5% MAXIMUM COUNTER SLOPE ACROSS THE RAMP OPENING.



SECTION THROUGH CURB CUT
(TYPICAL ALL RAMP TYPES)

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

**SIDEWALK RAMP AND
DETECTABLE WARNING DETAILS**

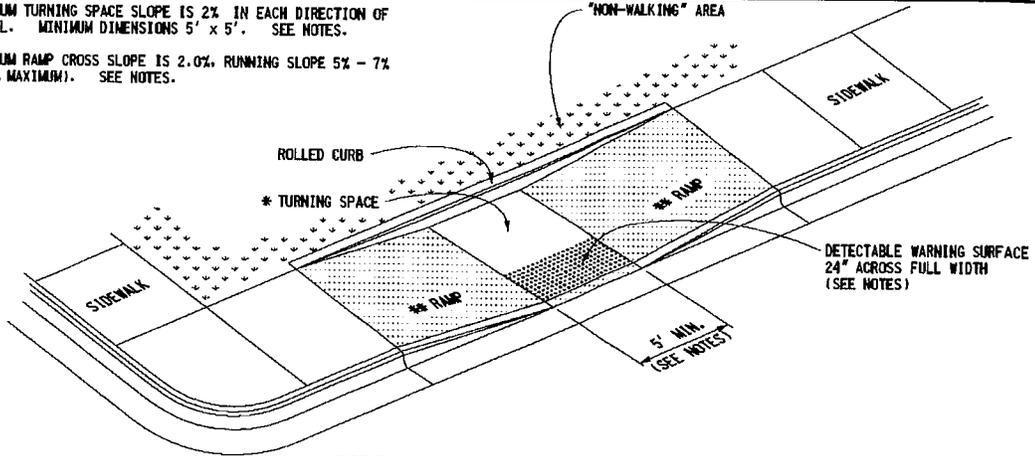
1-25-2013
F.H.W.A. APPROVAL

10-3-2012
PLAN DATE

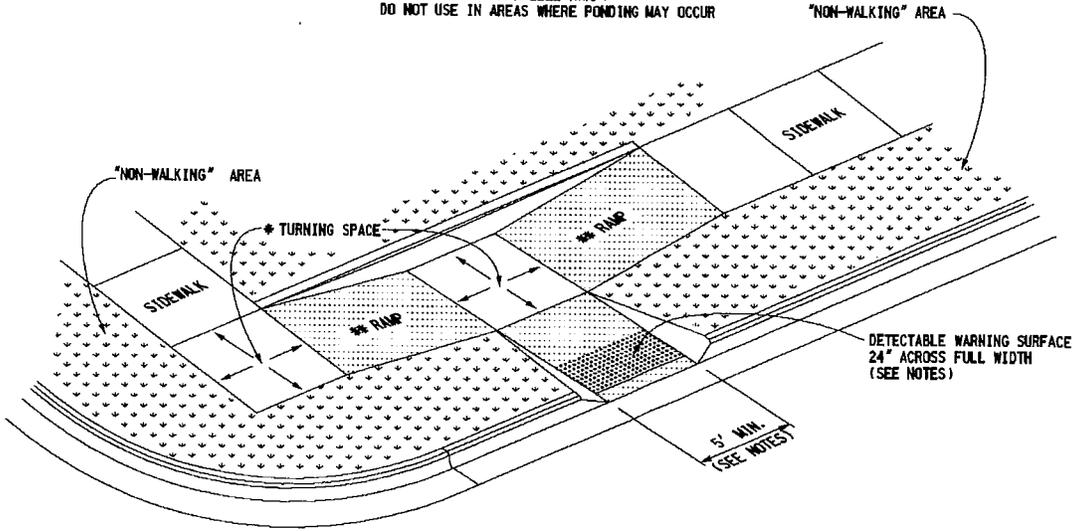
R-28-H

SHEET
2 OF 7

- * MAXIMUM TURNING SPACE SLOPE IS 2% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.
- ** MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.

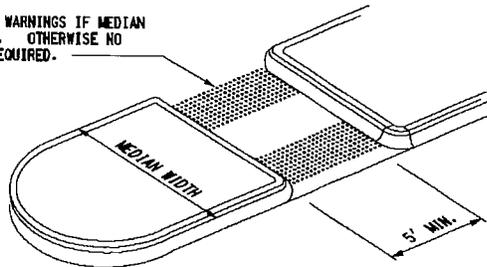


SIDEWALK RAMP TYPE P
(PARALLEL RAMP)
DO NOT USE IN AREAS WHERE PONDING MAY OCCUR



SIDEWALK RAMP TYPE C
(COMBINATION RAMP)

USE 24" DEEP DETECTABLE WARNINGS IF MEDIAN WIDTH IS AT LEAST 6'-0". OTHERWISE NO DETECTABLE WARNING IS REQUIRED.

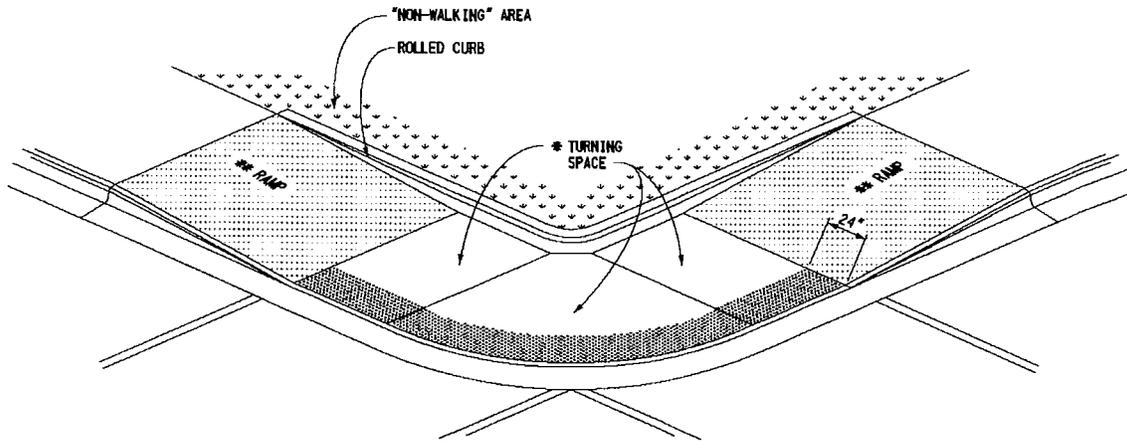


SIDEWALK RAMP TYPE M
(MEDIAN ISLAND)

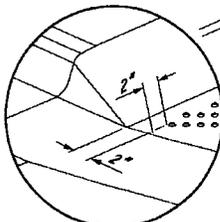
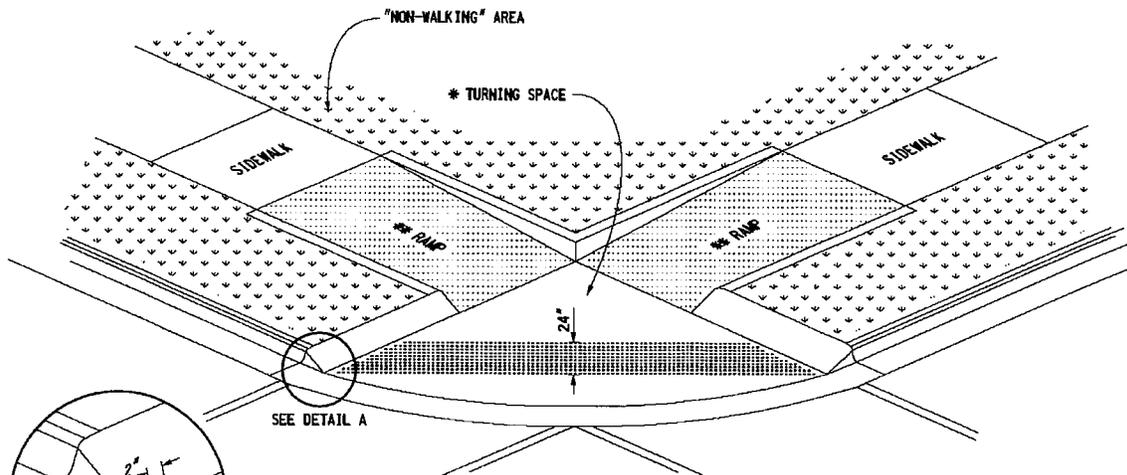
MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR
**SIDEWALK RAMP AND
DETECTABLE WARNING DETAILS**

1-25-2013 F.H.W.A. APPROVAL	10-3-2012 PLAN DATE	R-28-H	SHEET 3 OF 7
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- * MAXIMUM TURNING SPACE SLOPE IS 2% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.
- ** MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



(RADIAL DETECTABLE WARNING SHOWN)
 DETECTABLE WARNING SURFACE COVERAGE IS 24" FOR THE FULL WIDTH OF THE RAMP OPENING EXCLUDING CURBED OR CURB TRANSITION AREAS. A CURB OFFSET NOT GREATER THAN 2" MEASURED ALONG THE EDGES OF THE DETECTABLE WARNING IS ALLOWABLE.



DETAIL A

(TANGENT DETECTABLE WARNING SHOWN)
 A CONCRETE BORDER OFFSET NOT GREATER THAN 2" IS ALLOWABLE FOR DETECTABLE WARNING INSTALLATION WHERE THE BACK OF CURB IS ON A RADIUS. THE BORDER OFFSET MAY BE MEASURED FROM THE END OF THE RADIUS.

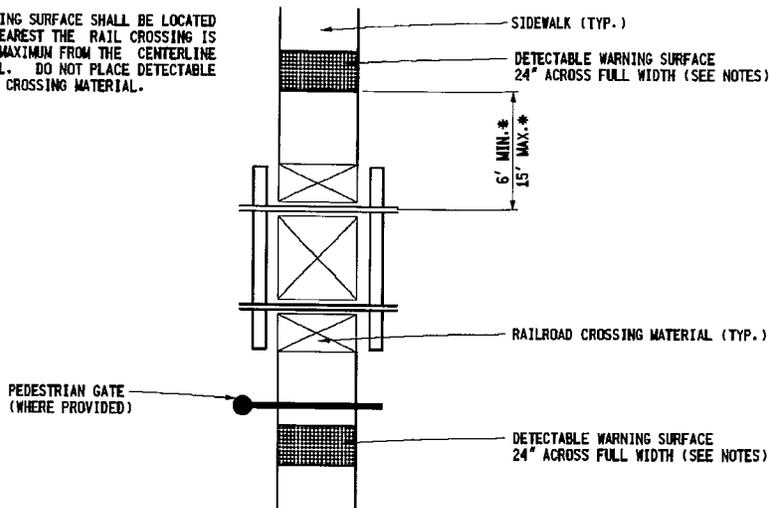
SIDEWALK RAMP TYPE D
 (DEPRESSED CORNER)

USE ONLY WHEN INDEPENDENT DIRECTIONAL RAMPS CAN NOT BE CONSTRUCTED FOR EACH CROSSING DIRECTION

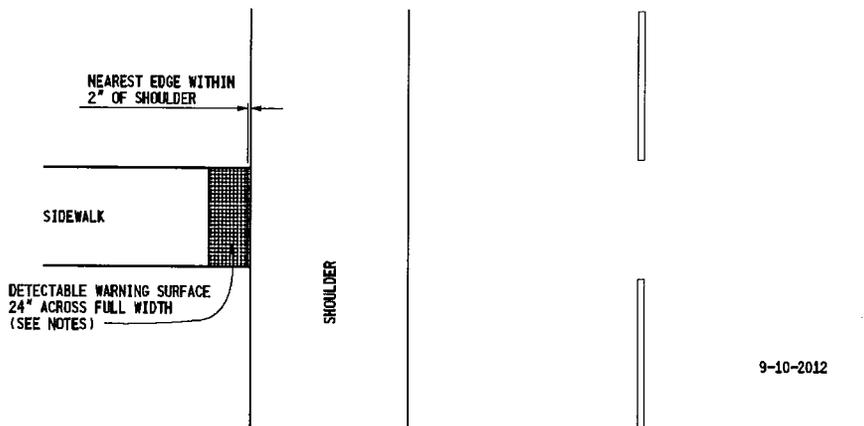
MICHIGAN DEPARTMENT OF TRANSPORTATION
 BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR
**SIDEWALK RAMP AND
 DETECTABLE WARNING DETAILS**

1-25-2013 F.H.V.A. APPROVAL	10-3-2012 PLAN DATE	R-28-H	SHEET 4 OF 7
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* THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE RAIL CROSSING IS 6' MINIMUM AND 15' MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL. DO NOT PLACE DETECTABLE WARNING ON RAILROAD CROSSING MATERIAL.

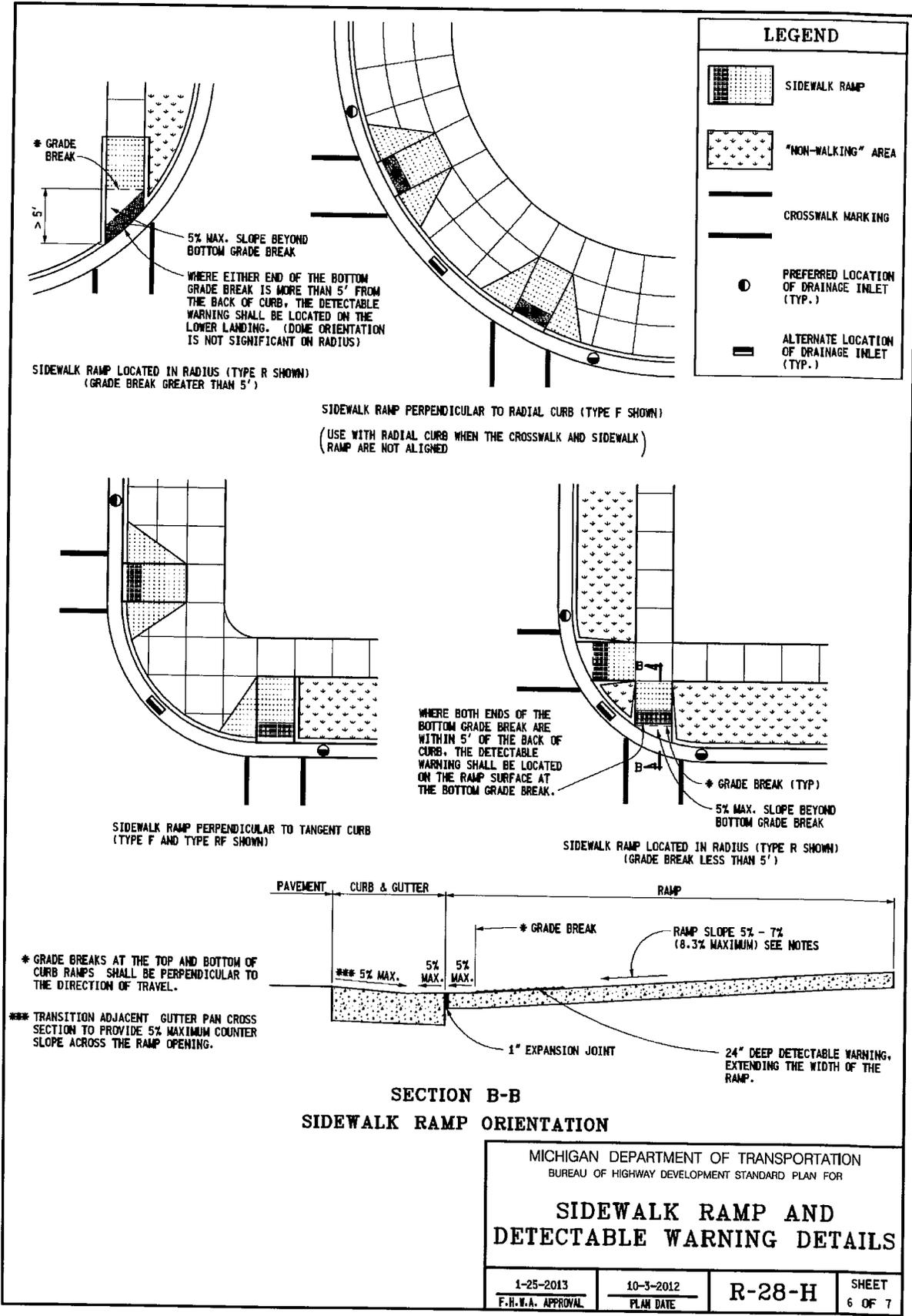


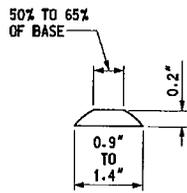
DETECTABLE WARNING AT RAILROAD CROSSING



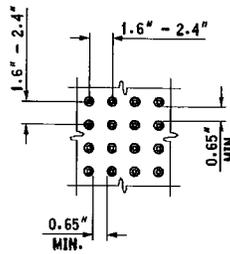
DETECTABLE WARNING AT FLUSH SHOULDER OR ROADWAY

MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR			
SIDEWALK RAMP AND DETECTABLE WARNING DETAILS			
1-25-2013 F.R.V.A. APPROVAL	10-3-2012 PLAN DATE	R-28-H	SHEET 5 OF 7

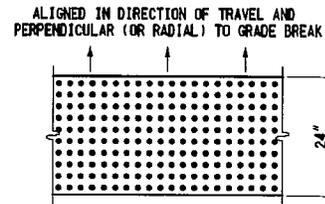




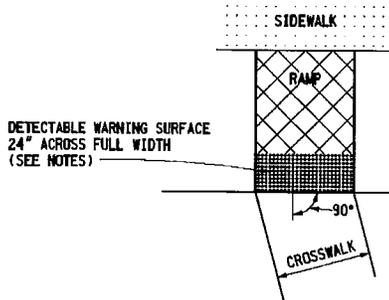
DOME SECTION



DOME SPACING



DOME ALIGNMENT



DETECTABLE WARNING DETAILS

NOTES:

DETAILS SPECIFIED ON THIS PLAN APPLY TO ALL CONSTRUCTION, RECONSTRUCTION, OR ALTERATION OF STREETS, CURBS, OR SIDEWALKS BY ALL PUBLIC AGENCIES AND BY ALL PRIVATE ORGANIZATIONS CONSTRUCTING FACILITIES FOR PUBLIC USE.

SIDEWALK RAMP ARE TO BE LOCATED AS SPECIFIED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

RAMP SHALL BE PROVIDED AT ALL CORNERS OF AN INTERSECTION WHERE THERE IS EXISTING OR PROPOSED SIDEWALK AND CURB. RAMP SHALL ALSO BE PROVIDED AT MARKED AND/OR SIGNALIZED MID-BLOCK CROSSINGS.

SURFACE TEXTURE OF THE RAMP SHALL BE THAT OBTAINED BY A COARSE BROOMING, TRANSVERSE TO THE RUNNING SLOPE.

SIDEWALK SHALL BE RAMPED WHERE THE DRIVEWAY CURB IS EXTENDED ACROSS THE WALK.

CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE ON THE RAMP, WHERE CONDITIONS PERMIT, IT IS DESIRABLE THAT THE SLOPE OF THE RAMP BE IN ONLY ONE DIRECTION, PARALLEL TO THE DIRECTION OF TRAVEL.

RAMP WIDTH SHALL BE INCREASED, IF NECESSARY, TO ACCOMMODATE SIDEWALK SNOW REMOVAL EQUIPMENT NORMALLY USED BY THE MUNICIPALITY.

PROVIDE TURNING SPACES WHERE PEDESTRIAN TURNING MOVEMENTS ARE REQUIRED.

WHEN 5' MINIMUM WIDTHS ARE NOT FEASIBLE, RAMP WIDTH MAY BE REDUCED TO NOT LESS THAN 4' AND TURNING SPACES TO NOT LESS THAN 4' x 4'.

DETECTABLE WARNING SURFACE COVERAGE IS 24" MINIMUM IN THE DIRECTION OF RAMP/PATH TRAVEL AND THE FULL WIDTH OF THE RAMP/PATH OPENING EXCLUDING CURBED OR FLARED CURB TRANSITION AREAS. A CURB OFFSET NOT GREATER THAN 2" MEASURED ALONG THE EDGES OF THE DETECTABLE WARNING (OR AS OTHERWISE SHOWN ON THIS STANDARD) IS ALLOWABLE.

FOR NEW ROADWAY CONSTRUCTION, THE RAMP CROSS SLOPE MAY NOT EXCEED 2%. FOR ALTERATIONS TO EXISTING ROADWAYS, THE CROSS SLOPE MAY BE TRANSITIONED TO MEET AN EXISTING ROADWAY GRADE. THE CROSS SLOPE TRANSITION SHALL BE APPLIED UNIFORMLY OVER THE FULL LENGTH OF THE RAMP.

THE MAXIMUM RUNNING SLOPE OF 8.3% IS RELATIVE TO A FLAT (0%) REFERENCE. HOWEVER, IT SHALL NOT REQUIRE ANY RAMP OR SERIES OF RAMP TO EXCEED 15 FEET IN LENGTH.

DRAINAGE STRUCTURES SHOULD NOT BE PLACED IN LINE WITH RAMP. THE LOCATION OF THE RAMP SHOULD TAKE PRECEDENCE OVER THE LOCATION OF THE DRAINAGE STRUCTURE. WHERE EXISTING DRAINAGE STRUCTURES ARE LOCATED IN THE RAMP PATH OF TRAVEL, USE A MANUFACTURER'S ADA COMPLIANT GRATE. OPENINGS SHALL NOT BE GREATER THAN 1/2" ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.

TRANSITION THE GUTTER PAN CROSS SECTION SUCH THAT THE COUNTER SLOPE IN THE DIRECTION OF RAMP TRAVEL IS NOT GREATER THAN 5%. MAINTAIN THE NORMAL GUTTER PAN CROSS SECTION ACROSS DRAINAGE STRUCTURES.

THE TOP OF THE JOINT FILLER FOR ALL RAMP TYPES SHALL BE FLUSH WITH THE ADJACENT CONCRETE.

CROSSWALK AND STOP LINE MARKINGS, IF USED, SHALL BE SO LOCATED AS TO STOP TRAFFIC SHORT OF RAMP CROSSINGS. SPECIFIC DETAILS FOR MARKING APPLICATIONS ARE GIVEN IN THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".

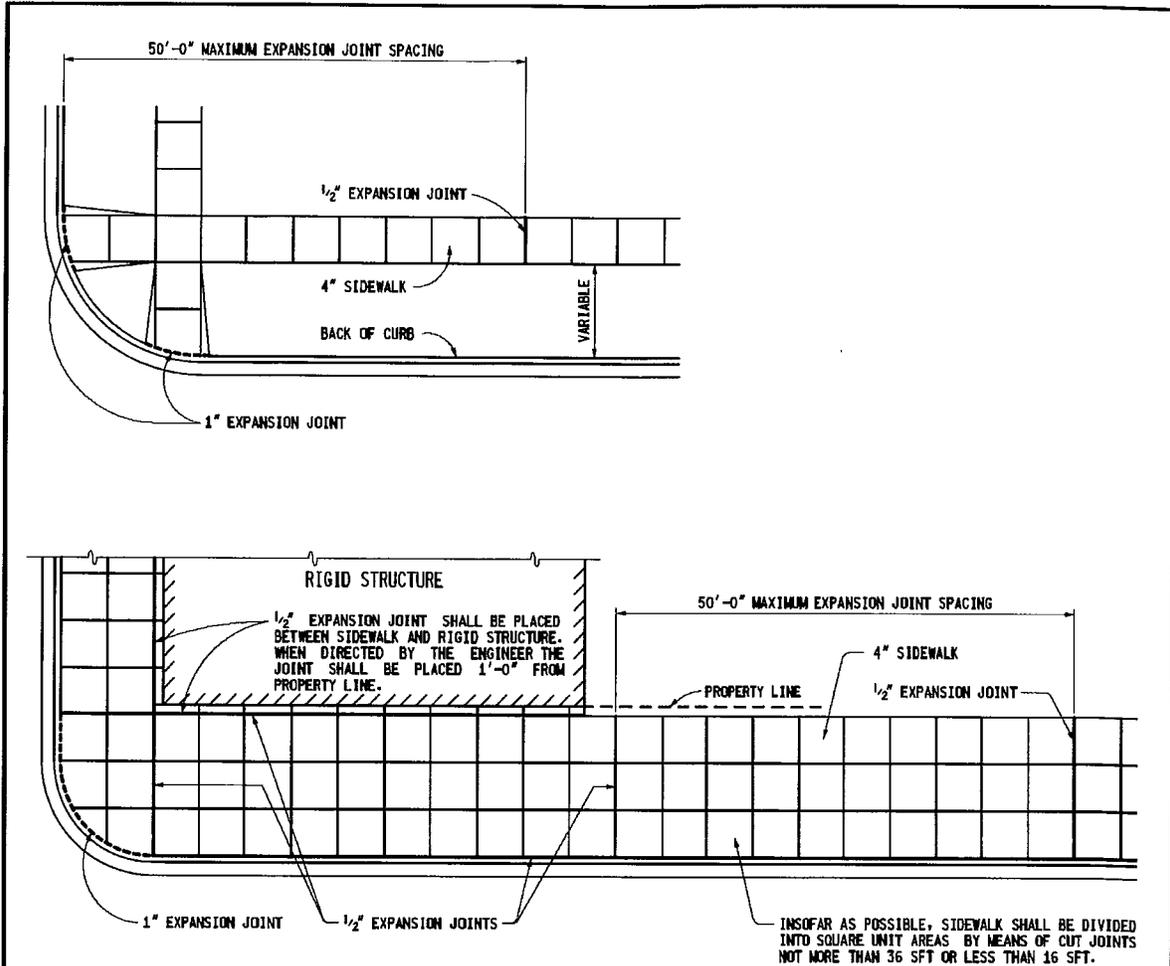
FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED ALONG THE ROADSIDE CURB LINE, SHALL BE PROVIDED WHERE AN UNOBSTRUCTED CIRCULATION PATH LATERALLY CROSSES THE SIDEWALK RAMP. FLARED SIDES ARE NOT REQUIRED WHERE THE RAMP IS BORDERED BY LANDSCAPING, UNPAVED SURFACE OR PERMANENT FIXED OBJECTS. WHERE THEY ARE NOT REQUIRED, FLARED SIDES CAN BE CONSIDERED IN ORDER TO AVOID SHARP CURB RETURNS AT RAMP OPENINGS.

DETECTABLE WARNING PLATES MUST BE INSTALLED USING FABRICATED OR FIELD CUT UNITS CAST AND/OR ANCHORED IN THE PAVEMENT TO RESIST SHIFTING OR HEAVING.

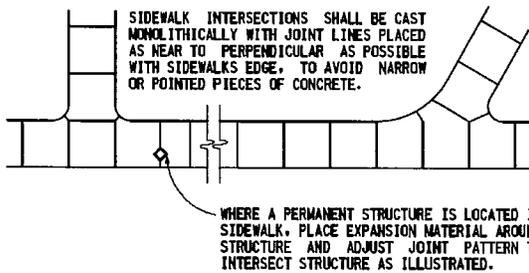
MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

**SIDEWALK RAMP AND
DETECTABLE WARNING DETAILS**

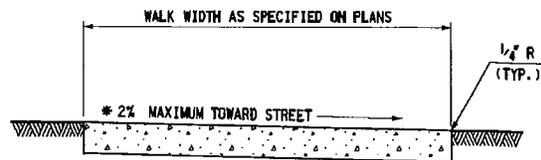
1-25-2013 F.R.V.A. APPROVAL	10-3-2012 PLAN DATE	R-28-H	SHEET 7 OF 7
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LOCATION OF JOINTS IN CONCRETE SIDEWALK



WHERE A PERMANENT STRUCTURE IS LOCATED IN SIDEWALK, PLACE EXPANSION MATERIAL AROUND STRUCTURE AND ADJUST JOINT PATTERN TO INTERSECT STRUCTURE AS ILLUSTRATED.

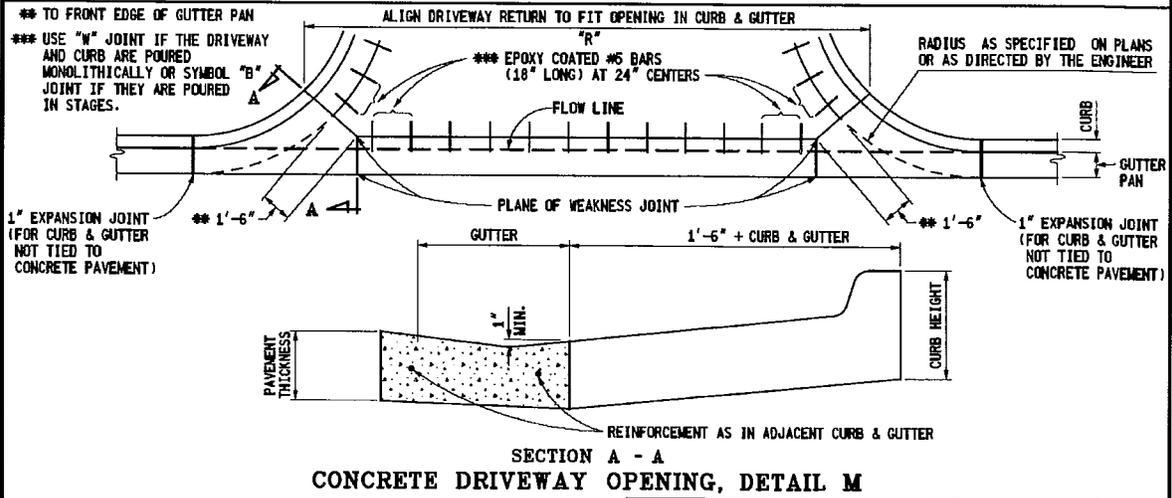
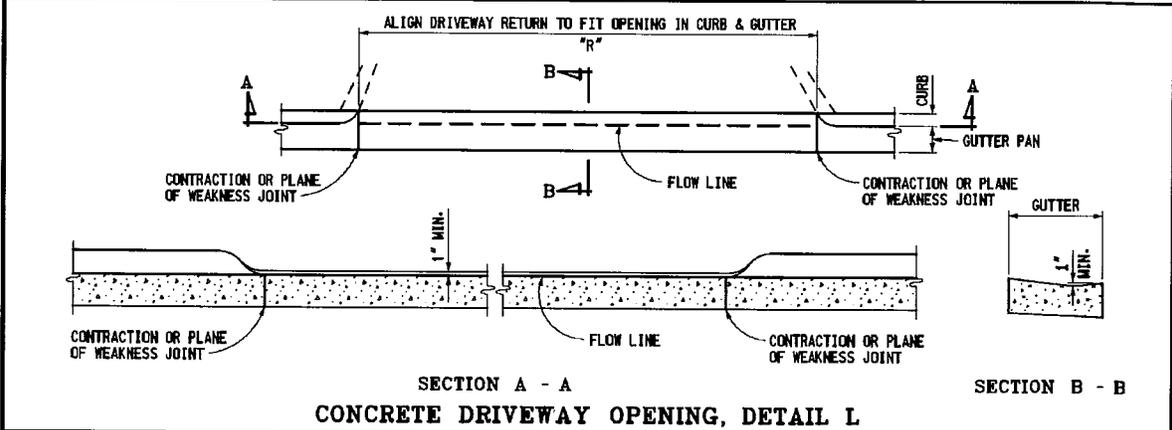
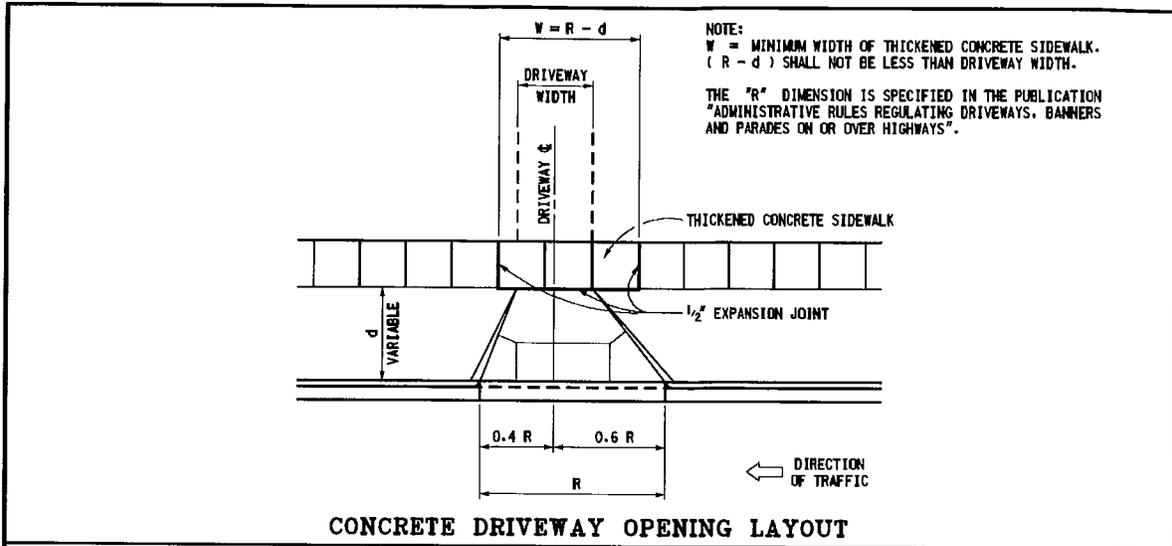


* SEE NOTES

TYPICAL SIDEWALK JOINT LAYOUTS

4" CONCRETE SIDEWALK

<p>PREPARED BY DESIGN DIVISION DRAWN BY: <u>B.L.T.</u> CHECKED BY: <u>W.K.P.</u></p>	<p>DEPARTMENT DIRECTOR Kirk T. Steudle</p> <p>APPROVED BY: <i>Randy U. Pittford</i> DIRECTOR, BUREAU OF FIELD SERVICES</p>	<p>MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK</p>	
	<p>APPROVED BY: <i>Mark A. Van Pelt</i> DIRECTOR, BUREAU OF HIGHWAY DEVELOPMENT</p>	<p>1-25-2013 F.H.W.A. APPROVAL</p>	<p>10-1-2012 PLAN DATE</p>

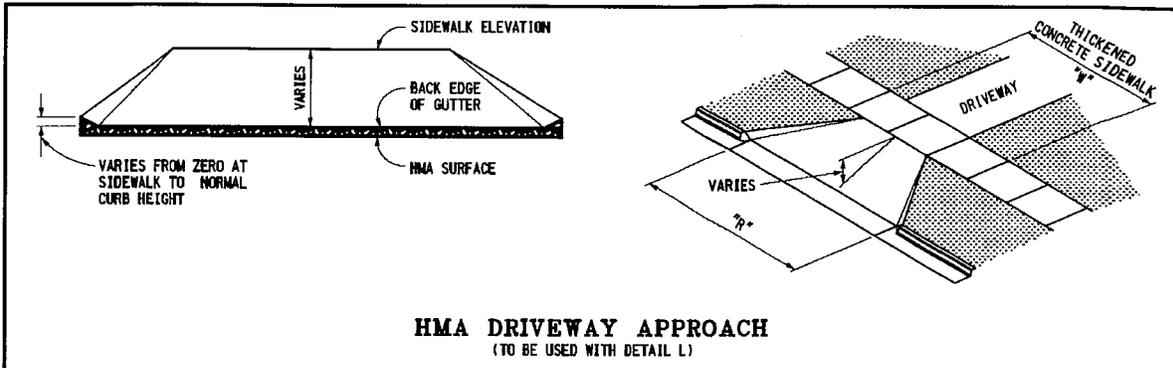


NOTE:
 FOR ROADWAYS WITH CONCRETE PAVEMENTS, LONGITUDINAL LANE TIES WILL
 BE CONTINUOUS THROUGH THE DRIVEWAY OPENING AND THE SPACING OF THE
 #6 BARS IN CONCRETE DRIVEWAYS SHALL BE ADJUSTED TO AVOID CONFLICT
 WITH THE LONGITUDINAL LANE TIES.

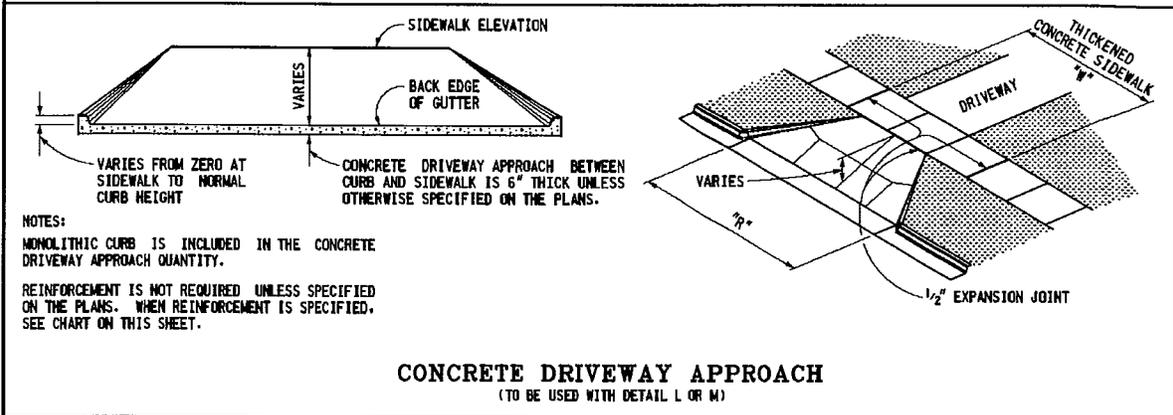
MICHIGAN DEPARTMENT OF TRANSPORTATION
 BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

**DRIVEWAY OPENINGS
 & APPROACHES,
 AND CONCRETE SIDEWALK**

1-25-2013 F.H.W.A. APPROVAL	10-1-2012 PLAN DATE	R-29-H	SHEET 2 OF 4
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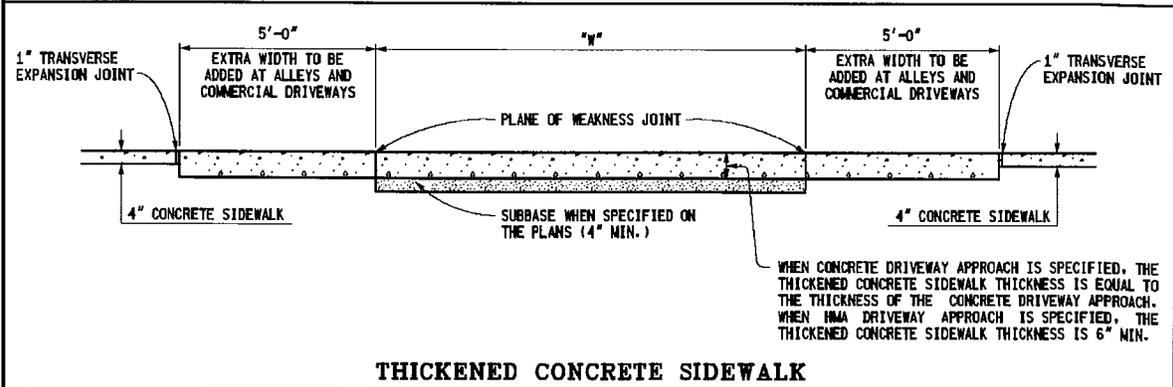


HMA DRIVEWAY APPROACH
(TO BE USED WITH DETAIL L)

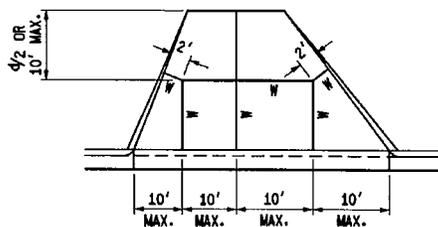


NOTES:
MONOLITHIC CURB IS INCLUDED IN THE CONCRETE DRIVEWAY APPROACH QUANTITY.
REINFORCEMENT IS NOT REQUIRED UNLESS SPECIFIED ON THE PLANS. WHEN REINFORCEMENT IS SPECIFIED, SEE CHART ON THIS SHEET.

CONCRETE DRIVEWAY APPROACH
(TO BE USED WITH DETAIL L OR M)



THICKENED CONCRETE SIDEWALK



ADJUST DRIVEWAY JOINTS AS NEEDED TO ALIGN WITH ANY COINCIDING TRANSVERSE PAVEMENT JOINTS.
JOINT LAYOUT IS AS INDICATED OR AS DIRECTED BY THE ENGINEER.

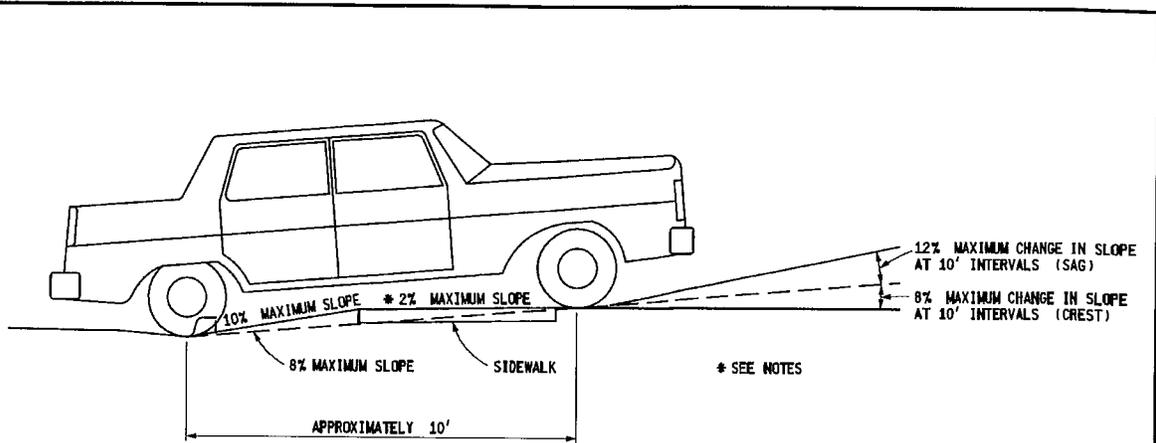
INTERMEDIATE DRIVEWAY JOINT DETAILS

REINFORCEMENT FOR CONCRETE DRIVEWAYS		
CONCRETE DRIVEWAY THICKNESS	WIRE SIZE (6" x 6" MESH)	AVERAGE WEIGHT (LBS/100 SFT)
LESS THAN 8"	W1.4	21
	W2.9	42
8" OR GREATER	USE WIRE FABRIC REINFORCEMENT SPECIFIED ON STANDARD PLAN R-37-SERIES	

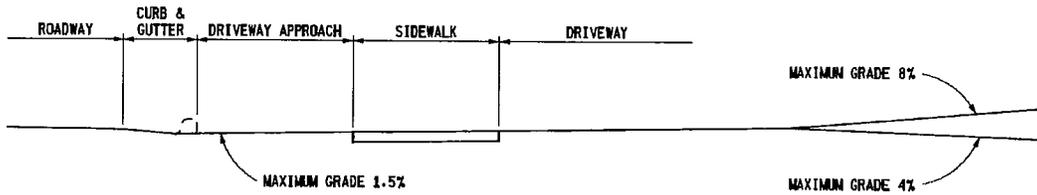
MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

**DRIVEWAY OPENINGS
& APPROACHES,
AND CONCRETE SIDEWALK**

1-25-2013 F.H.V.A. APPROVAL	10-1-2012 PLAN DATE	R-29-H	SHEET 3 OF 4
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LOW VOLUME COMMERCIAL OR RESIDENTIAL DRIVEWAY SLOPES



COMMERCIAL DRIVEWAY PROFILE FOR MAJOR TRAFFIC GENERATORS

NOTES:

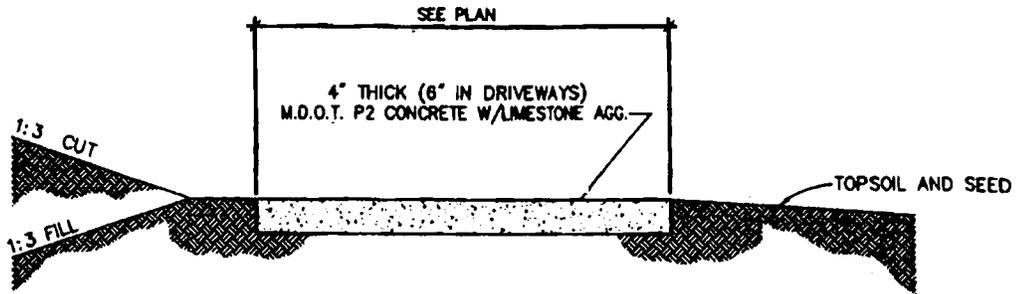
FOR DRIVEWAY DESIGN REFER ALSO TO "ADMINISTRATIVE RULES REGULATING DRIVEWAYS, BANNERS, AND PARADES ON OR OVER HIGHWAYS" AND GEOMETRIC DESIGN G-680-SERIES, COMMERCIAL DRIVEWAYS.

FOR CURB AND GUTTER DETAILS, SEE STANDARD PLAN R-30-SERIES.

TRANSVERSE SIDEWALK SLOPES ARE TYPICALLY 1.5% OR 2% MAXIMUM. IN ORDER TO MEET SITE CONDITIONS, IF THE TRANSVERSE SLOPE IS REQUIRED TO BE LESS THAN 1.5%, LONGITUDINAL DRAINAGE MUST BE PROVIDED.

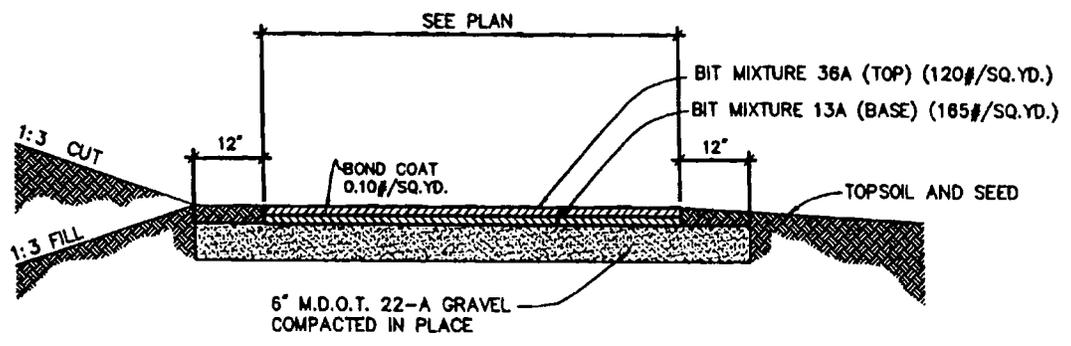
WHEN SETTING GRADES FOR COMMERCIAL DRIVES, THE TYPES OF VEHICLES USING THE DRIVE SHOULD BE CONSIDERED.

MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK			
1-25-2013	10-1-2012	R-29-H	SHEET
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CONCRETE SIDEWALK DETAIL

NO SCALE

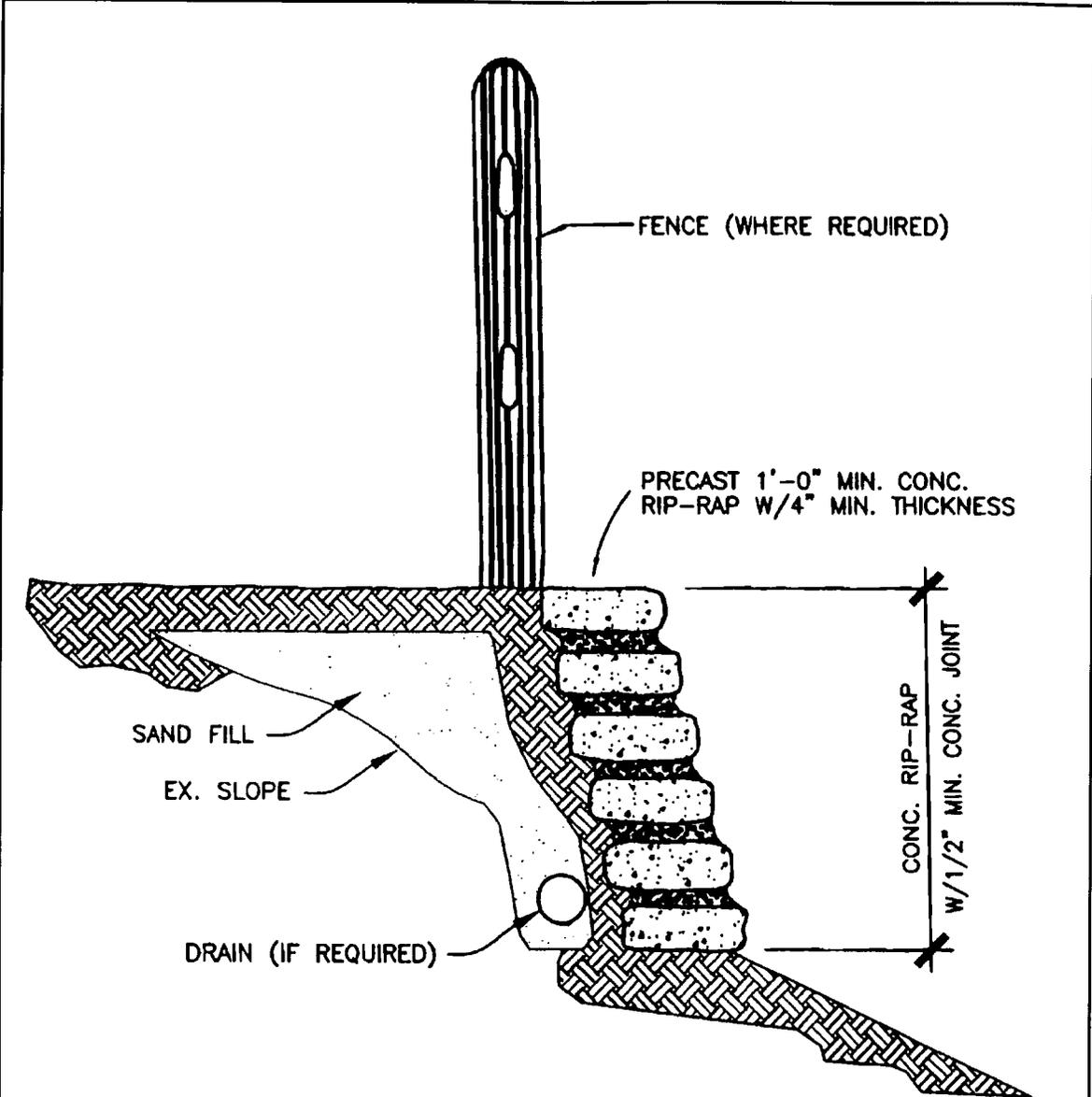


BITUMINOUS MULTI-PURPOSE PATH DETAIL

NO SCALE

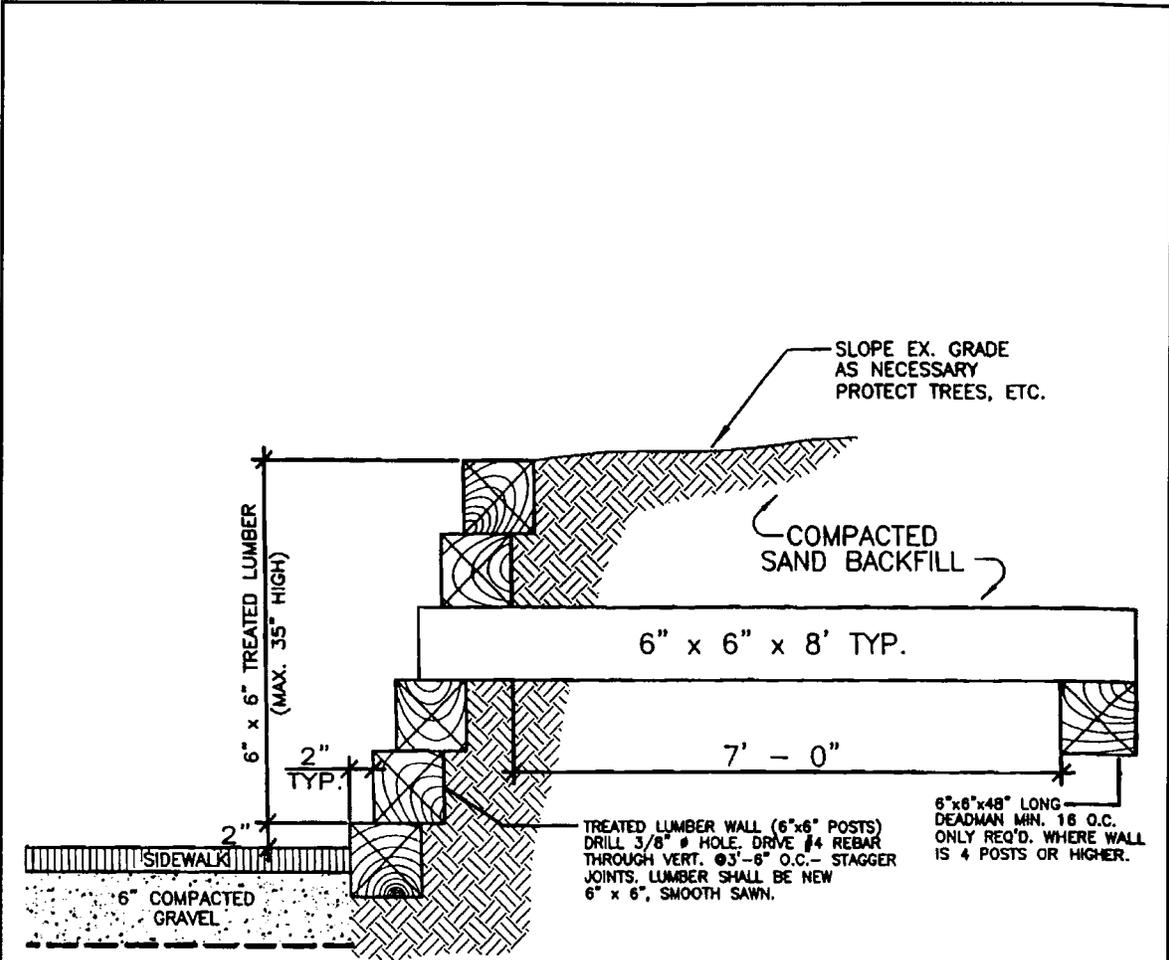
SIDEWALK DETAILS

PREIN & NEWHOF
CONSULTING ENGINEERS



TYPICAL CONCRETE RIP-RAP RETAINING WALL

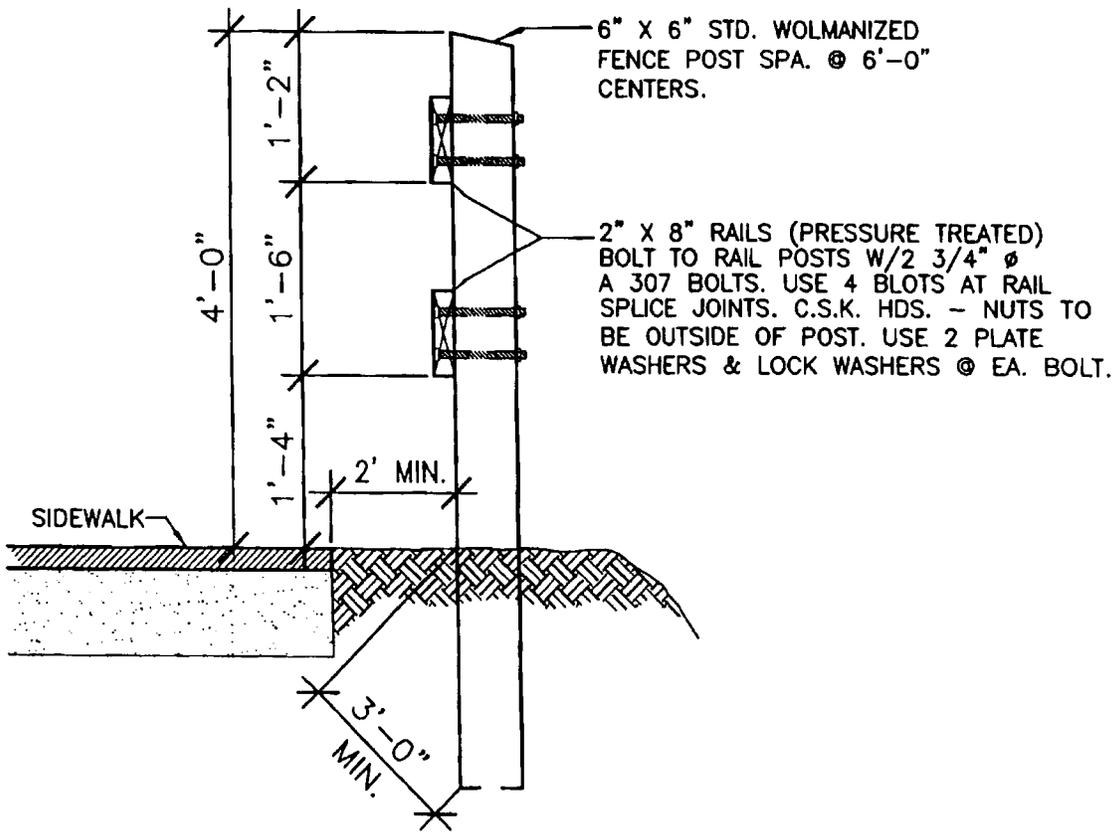
PREIN & NEWHOF
CONSULTING ENGINEERS



(6" x 6" TREATED LUMBER, 0.4 RETENTION,
EQUIVALENT TO WOOD FOUNDATION
SOUTHERN YELLOW OR RED PINE - SMOOTH SAWN)

TYPICAL TREATED LUMBER RETAINING WALL DETAIL

PREIN & NEWHOF
CONSULTING ENGINEERS



TYPICAL TREATED LUMBER FENCE DETAIL

PREIN & NEWHOF
CONSULTING ENGINEERS



OSHTEMO TOWNSHIP SIDEWALK/SHARED-USE PATH CONSTRUCTION STANDARDS

CONCRETE SIDEWALK CONSTRUCTION

The construction of Sidewalks and Shared-Use Paths within Oshtemo is managed through the Township's issuance of a Sidewalk/Non-Motorized Path Permit. The permitting process includes both a pre-pour inspection of the base and concrete forms, and a final project inspection for acceptance of the work. Concrete sidewalk shall conform to MDOT 2012 (or current edition) Standard Specifications for Construction Section 803, "Concrete Sidewalks, Sidewalk Ramps and Steps" and shall be a minimum of five (5) feet wide unless a different width is required by other Township ordinances or regulations.

Grade

The sidewalk shall be constructed to match the existing grade, or as noted on the construction drawings. The sidewalk will have a transverse slope either toward or away from the road to maintain existing drainage patterns. Minor fills and cuts will be made in the field during construction to provide smooth transition of the sidewalk and maintain existing drainage patterns.

Sub-base Preparation

Existing vegetation shall be removed and topsoil excavated to provide a four (4") inch sand sub-base for the proposed sidewalk. The existing sand sub-base shall be compacted to ninety-five (95%) percent maximum unit weight in accordance with MDOT procedures. Where fill sand is required it shall be compacted to achieve ninety-five (95%) percent maximum unit weight in accordance with MDOT procedures.

Concrete

Concrete shall meet the requirements for Grade P1 Concrete or Grade S2 Concrete as specified in the MDOT Standard Specifications for Construction Section 601, "Portland Cement Concrete Pavements". Concrete shall be six sack limestone mix and shall be air-entrained and shall have a compressive strength of not less than 3,500 pounds per square inch, within twenty-eight (28) days of paving. Other materials shall meet the requirements of the applicable portions of the MDOT Standard Specifications for Construction. All concrete sidewalks shall be paved with a single course of concrete. Sidewalks through driveways shall be six (6") inches thick. All other walks shall be four (4") inches thick.

Joints

Full depth transverse expansion joints shall be constructed perpendicular to the surface of the sidewalk at intervals not to exceed fifty (50') feet. Expansion joint material shall be one-half (1/2") inch pre-

molded expansion joints and shall be set 1/4" below the surface of the sidewalk. Sealing of joints will not be required. One (1") inch pre-molded expansion joints must be placed between the sidewalk and back-of-curb when sidewalk is constructed between the curb and building or other rigid structures. Sealing of joints will not be required. Transverse plane of weakness joints shall be true to line and grade, and shall be placed at four (4') foot intervals and shall be formed with a grooving tool. Planes of weakness joints shall be constructed to a depth of at least one (1") inch and a width of 1/8 inch to 1/4 inch. Sealing of joints will not be required.

Surface

The surface of the concrete shall be floated to a level uniform surface and left with a slightly rounded surface. The surface shall be roughened with mechanic's brush to prevent smooth and slippery surfaces. No surface shall be troweled to a glassy finish. Edges at the forms and joints shall be rounded with an edging tool.

Curb Ramps and Approaches

New roadway construction in locations where non-motorized facilities are anticipated shall incorporate concrete curbing of RCKC standards at intersections. Roadway curbing shall be extended through the roadway intersection, within the right-of-way limits of each approaching roadway. The purpose of this standard is to ensure that all non-motorized ramps, (current and anticipated) are fully integrated into the casting of the concrete curb through the intersection. As required, concrete curbing within intersections shall be extended a sufficient length to assure that the concrete curb carries the transition from the existing edge of pavement design of each approaching roadway. Commonly encountered edge-of-roadway pavement designs include ditch drainage, gravel shoulder, bituminous valley gutter, mountable and high back concrete curb.

Curb ramps shall be concrete unless written approval of an alternative is pre-approved by the Township. In locations where existing concrete curb is without an integrated approach (curb-cut), the entire roadway concrete curb section may need to be removed and re-constructed to meet ADA compliance standards. On a case by case basis, the removal of an existing curb back by saw cutting may be able to yield an ADA compliant transition through the curb. Proposals to use the saw cut method of ramp construction should seek prior approval from the Township.

Ramp that approach existing roads without concrete curbing should be reviewed with the Township prior to ramp construction. If providing new concrete curb for the ramp transition is determined to be impracticable, or if extensive re-construction the intersection curb is determined to be excessive, ADA compliant asphalt transitions onto asphalt paving may be accepted upon prior written approval of the township.

Butt joints must be provided at the transition from concrete to bituminous paving for all non-motorized facilities. Saw cutting, grinding, or similar means of joint formation is required. As practicable, transition butt-joints to asphalt curbing shall be located at the curb high-point. Material transition joints are not allowed along a drainage flow-line. Surface grinding of existing asphalt curbing is an acceptable means to achieve ADA compliant transitions. Alternately, IR asphalt restoration or placement of a new transition segment of asphalt paving can be constructed through the curb profile to achieve the transition from the asphalt roadway to the concrete ramp. Regardless

of construction method or prior approval of the means of construction, compliance with ADA standards will need to be demonstrated to receive acceptance of the work.

Sidewalk Detectable Warnings

Sidewalk Detectable Warning shall apply to all construction or reconstruction of streets, curbs, or sidewalks. Detectable Warnings shall be placed at all street intersections and at select commercial/industrial driveways where driveway traffic and pedestrian crossings are determined/projected by the Township to generate sufficient conflicts to warrant the greater risk awareness provided by detectable warnings.

Detectable Warnings shall conform to ADA requirements, MDOT Specifications and MDOT Detail R-28-E. Detectable Warnings shall be made of ductal iron material, extend the full width of the curb/sidewalk ramp. They shall be located so that the edge nearest the curb line or street is 6" to 8" from the curb line.

HOT MIX ASPHALT SHARED-USE PATH CONSTRUCTION

Shared-use paths shall be a minimum of ten (10) feet wide unless a different width is required by other Township ordinances or regulations.

Grade

The sidewalk shall be constructed to match the existing grade, or as noted on construction drawings. The path will have a transverse slope either toward or away from the road to maintain existing drainage patterns. Minor fills and cuts will be made in the field during construction to provide smooth transition of the path and maintain existing drainage patterns.

Sub-base Preparation

Existing vegetation shall be removed and topsoil excavated to provide a six (6) inch sand sub-base for the proposed path. The existing sand sub-base shall be compacted to ninety-five (95%) percent maximum unit weight in accordance with MDOT procedures. Where fill sand is required it shall be compacted to achieve ninety-five (95%) percent maximum unit weight in accordance with MDOT procedures.

Gravel Base

The gravel base shall extend one foot beyond the width of the topcoat on each side and consist of six (6) inches of compacted MDOT 22A gravel in accordance with the section as indicated on the construction drawing. Density of the gravel shall be ninety five (95%) percent.

Hot Mix Asphalt (HMA) Surface

The hot mix asphalt surface shall consist of 120 lbs/SY MDOT 36A hot mix asphalt (top) over 165 lbs/SY of MDOT 13A hot mix asphalt (level) placed in accordance with the section as indicated on

the construction drawings. The asphalt performance grade shall be 58-28. The hot mix asphalt shall be placed with a self-propelled paver; spreader boxes will not be permitted. A bond coat shall be applied between successive courses of hot mix asphalt at an application rate of 0.1 gal./SY.

REMOVABLE BOLLARDS (Vehicle Exclusion Device)

Certain Shared-Use Pathways may include removable Bollards as vehicle exclusion devices. When shown on plans, this work shall include the construction of the concrete footings, in-ground receiver, installation of the bollards, and all related work necessary to provide complete Removable Bollards as shown on the plans.

Materials

The materials shall be as specified below:

1. Removable Bollard: Model R-7901 Steel Removable Bollard with Removable Mounting and locking hinged steel lid from Reliance Foundry, Petersen Mfg. Co., Inc., or approved equal. Bollard shall be corrosion resistant under coating and safety yellow in color with safety yellow reflective tape at the top.
2. Concrete: Provide grade S1 concrete as specified in Section 701 of the MDOT Standard Specifications for Construction.
3. Steel Reinforcement: Provide steel reinforcement as specified in Section 905 of the MDOT Standard Specifications for Construction.
4. Submittals: The Contractor shall submit complete shop drawings, showing all materials, dimension, fastenings, and fastening devices.

Construction

The Removable Bollards shall be constructed according to the plans and as described below.

1. Preparation work shall be thoroughly reviewed with the Engineer prior to installation. Saw cut the existing HMA prior to placement.
2. Install Removable Bollards complete per manufacturer's specifications and instructions and as detailed on approved shop drawings.
3. Concrete: Install concrete components as specified in Section 706 of the MDOT Standard Specifications for Construction and as detailed on the plans.
4. All excess and waste materials shall be disposed of legally off-site. Upon completion of the work, leave areas in a clean condition.

SIGNS

Certain Shared-Use Pathways may include restricted usage or way-finding signs. When shown on plans, this work shall comply with the construction standards of the Kalamazoo County Road Commission and all permit requirements of the applicable operating authority of the public right-of-way. In order to promote uniformity in style (community sense-of-place), shop drawings for all signage shall be submitted for Oshtemo Township approval prior to installation.

LAWN AND YARD RESTORATION

After construction is completed all disturbed lawn areas, including adjacent cut and fill areas as required to blend into the existing yards, shall be repaired using a maximum of 1 on 4 back slope, four (4) inches of topsoil, MDOT Class A seed, fertilizer and mulch.

All disturbed areas, including adjacent cut and fill areas as required to blend into the existing yards, which are not lawns, shall be repaired using a maximum of 1 on 3 back slope, two (2) inches of topsoil, MDOT Roadside Seed, fertilizer and mulch.

Restored areas shall be repaired and reseeded as often as necessary in order to produce a close stand of weed free grass to the edges of the sidewalk or multi-use path.

ATTACHMENTS:

MDOT Construction Details (2013 or current edition):

R-28-H Sidewalk Ramp and Detectable Warning Details

R-29-H Driveway Openings & Approaches and Concrete Sidewalk

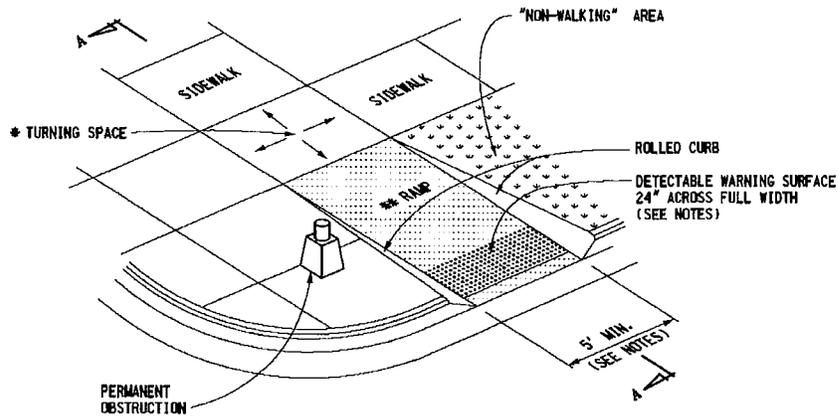
P&N Slope Cut & Fill Limitations

P&N Precast Concrete Rip-Rap Retaining Wall

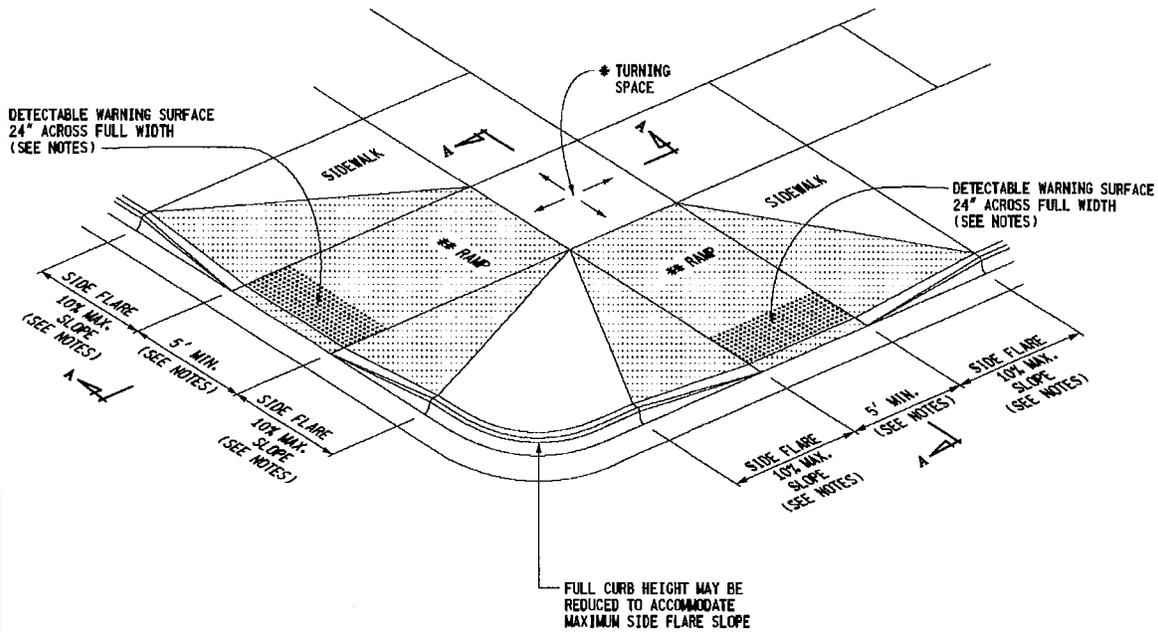
P&N Lumber Retaining Wall

P&N Lumber Fencing

- * MAXIMUM TURNING SPACE SLOPE IS 2% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.
- ** MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



SIDEWALK RAMP TYPE R
(ROLLED SIDES)

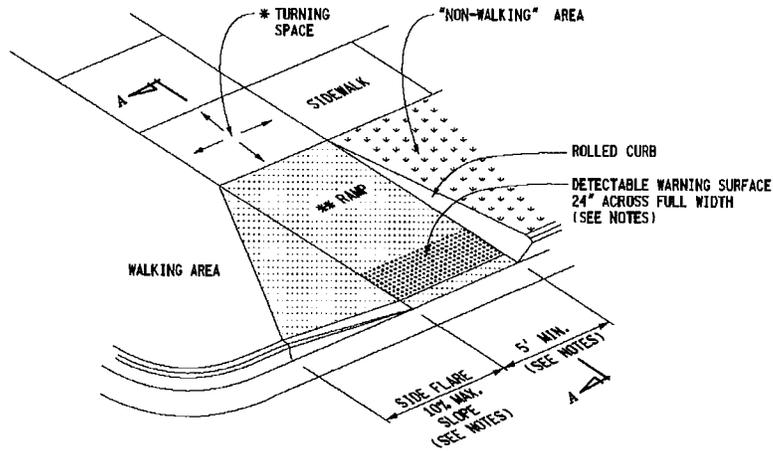


SIDEWALK RAMP TYPE F
(FLARED SIDES, TWO RAMPS SHOWN)

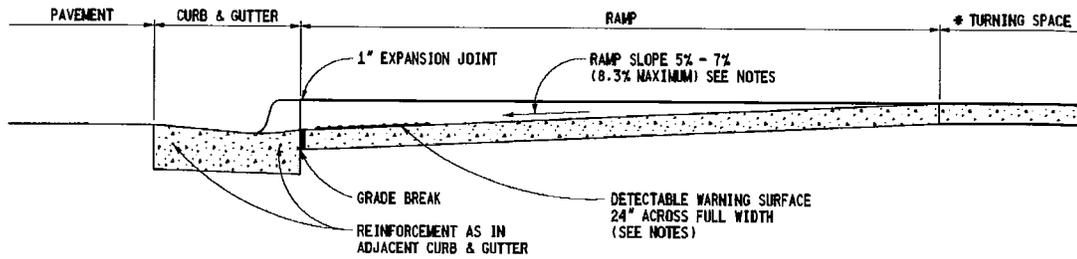
<p>PREPARED BY DESIGN DIVISION</p> <p>DRAWN BY: <u>B.L.T.</u></p> <p>CHECKED BY: <u>W.K.P.</u></p>	<p>DEPARTMENT DIRECTOR Kirk T. Stuedle</p> <p>APPROVED BY: <u>Randy V. [Signature]</u> DIRECTOR, BUREAU OF FIELD SERVICES</p> <p>APPROVED BY: <u>Neil A. Van Paul [Signature]</u> DIRECTOR, BUREAU OF HIGHWAY DEVELOPMENT</p>	<p>MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR</p> <p>SIDEWALK RAMP AND DETECTABLE WARNING DETAILS</p>	
	<p>1-25-2013 F.H.W.A. APPROVAL</p>	<p>10-3-2012 PLAN DATE</p>	<p>R-28-H</p>

* MAXIMUM TURNING SPACE SLOPE IS 2% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

** MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.

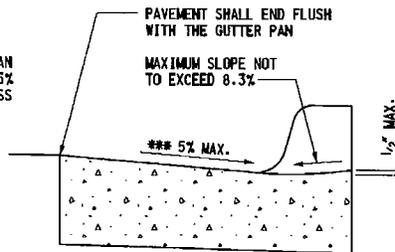


SIDEWALK RAMP TYPE RF
(ROLLED / FLARED SIDES)



SECTION A-A

*** TRANSITION ADJACENT GUTTER PAN CROSS SECTION TO PROVIDE 5% MAXIMUM COUNTER SLOPE ACROSS THE RAMP OPENING.



SECTION THROUGH CURB CUT
(TYPICAL ALL RAMP TYPES)

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

**SIDEWALK RAMP AND
DETECTABLE WARNING DETAILS**

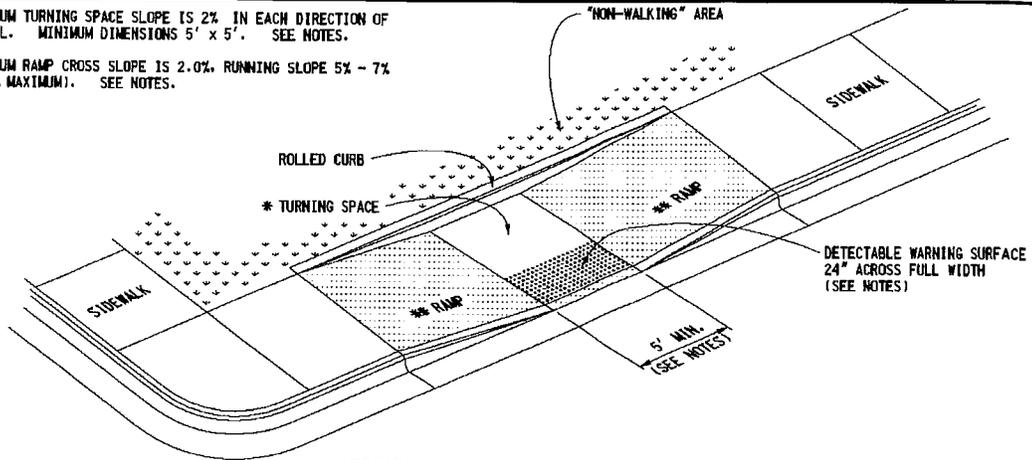
1-25-2013
F.H.W.A. APPROVAL

10-3-2012
PLAN DATE

R-28-H

SHEET
2 OF 7

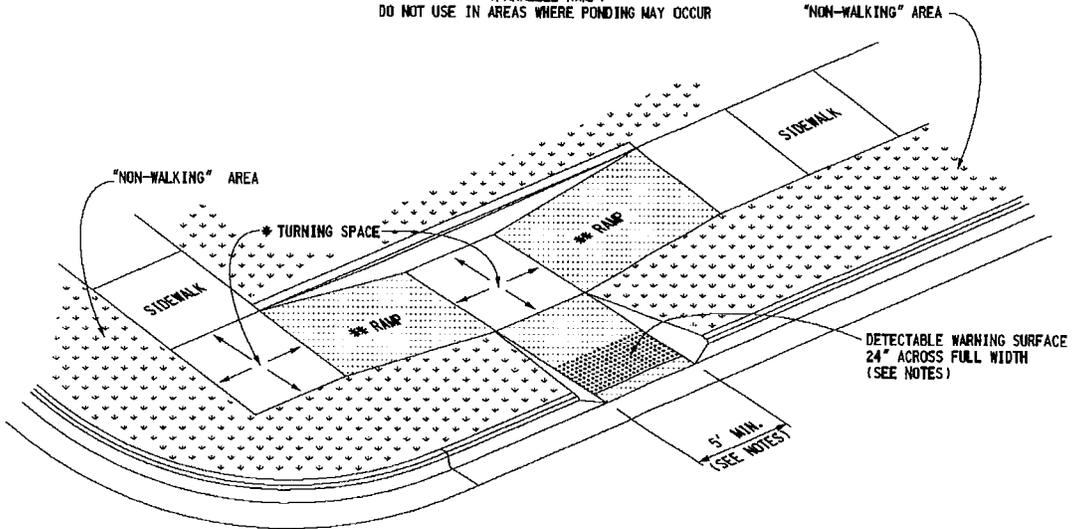
* MAXIMUM TURNING SPACE SLOPE IS 2% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.
 ** MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



SIDEWALK RAMP TYPE P

(PARALLEL RAMP)

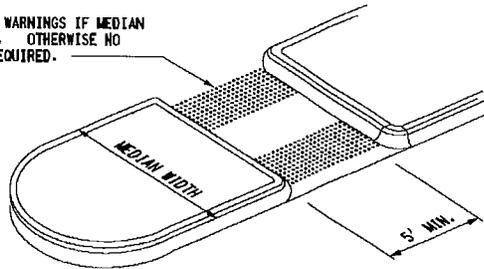
DO NOT USE IN AREAS WHERE PONDING MAY OCCUR



SIDEWALK RAMP TYPE C

(COMBINATION RAMP)

USE 24" DEEP DETECTABLE WARNINGS IF MEDIAN WIDTH IS AT LEAST 6'-0". OTHERWISE NO DETECTABLE WARNING IS REQUIRED.



SIDEWALK RAMP TYPE M

(MEDIAN ISLAND)

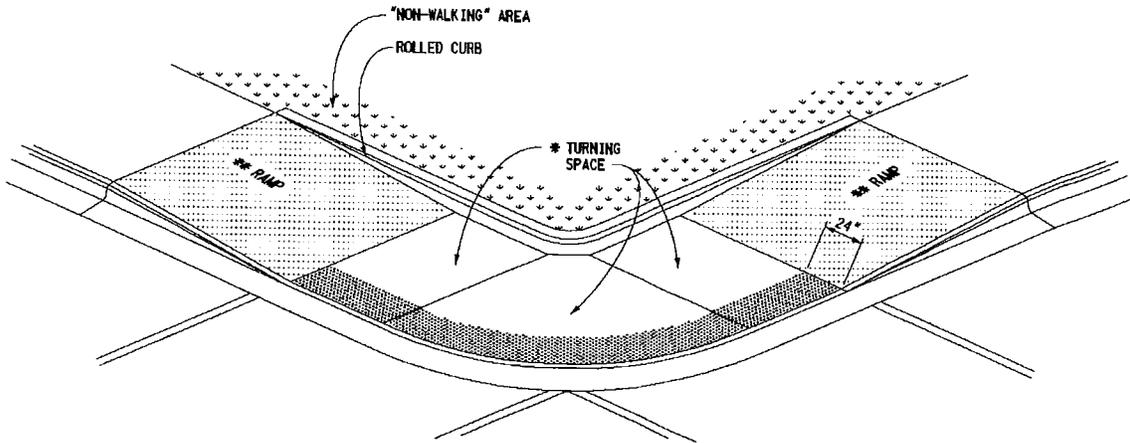
MICHIGAN DEPARTMENT OF TRANSPORTATION
 BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

**SIDEWALK RAMP AND
 DETECTABLE WARNING DETAILS**

1-25-2013 F.H.V.A. APPROVAL	10-3-2012 PLAN DATE	R-28-H	SHEET 3 OF 7
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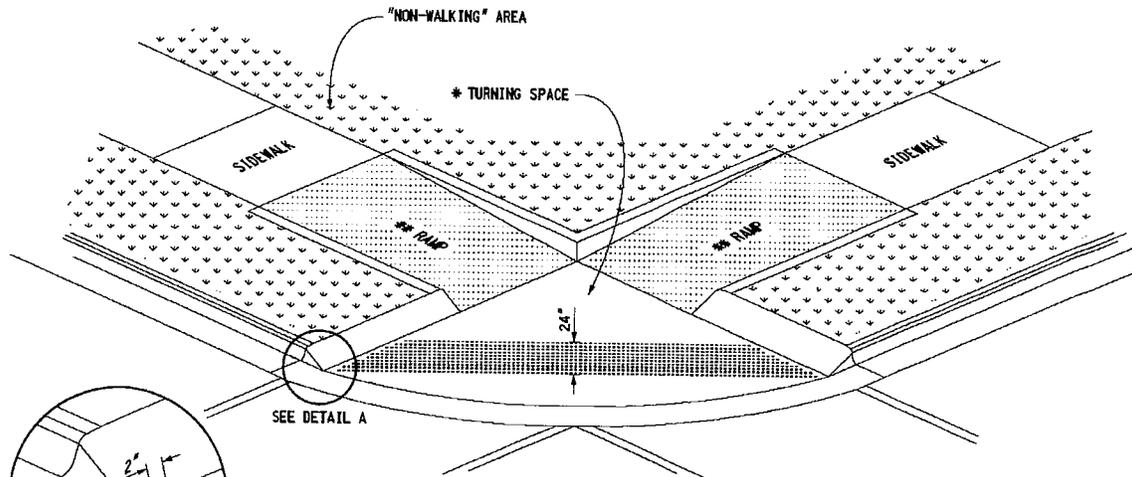
* MAXIMUM TURNING SPACE SLOPE IS 2% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

** MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



(RADIAL DETECTABLE WARNING SHOWN)

DETECTABLE WARNING SURFACE COVERAGE IS 24" FOR THE FULL WIDTH OF THE RAMP OPENING EXCLUDING CURBED OR CURB TRANSITION AREAS. A CURB OFFSET NOT GREATER THAN 2" MEASURED ALONG THE EDGES OF THE DETECTABLE WARNING IS ALLOWABLE.



DETAIL A

(TANGENT DETECTABLE WARNING SHOWN)

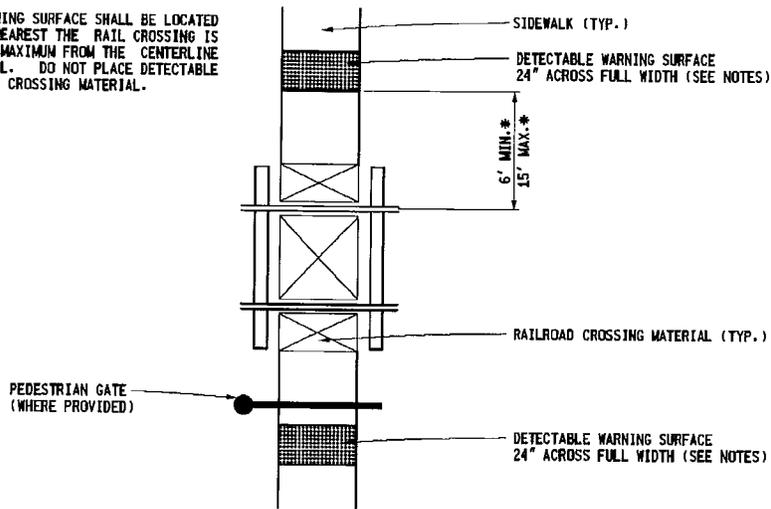
A CONCRETE BORDER OFFSET NOT GREATER THAN 2" IS ALLOWABLE FOR DETECTABLE WARNING INSTALLATION WHERE THE BACK OF CURB IS ON A RADIUS. THE BORDER OFFSET MAY BE MEASURED FROM THE END OF THE RADIUS.

SIDEWALK RAMP TYPE D
(DEPRESSED CORNER)

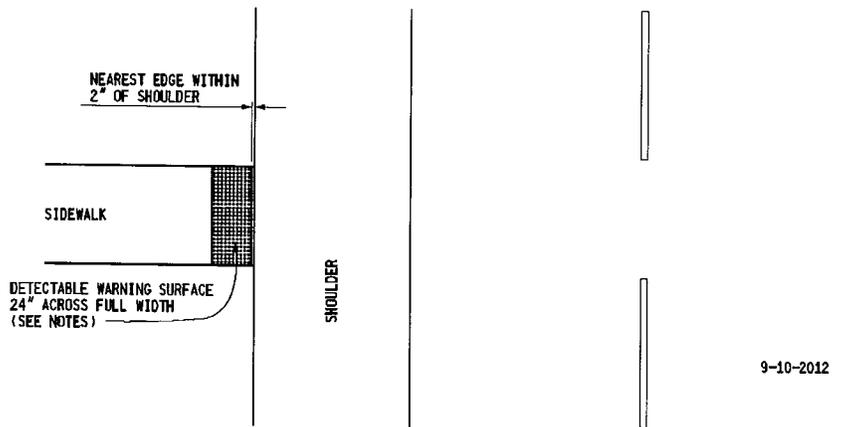
USE ONLY WHEN INDEPENDENT DIRECTIONAL RAMPS CAN NOT BE CONSTRUCTED FOR EACH CROSSING DIRECTION

MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR		
SIDEWALK RAMP AND DETECTABLE WARNING DETAILS		
1-25-2013 F.H.W.A. APPROVAL	10-3-2012 PLAN DATE	R-28-H
		SHEET 4 OF 7

* THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE RAIL CROSSING IS 6' MINIMUM AND 15' MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL. DO NOT PLACE DETECTABLE WARNING ON RAILROAD CROSSING MATERIAL.

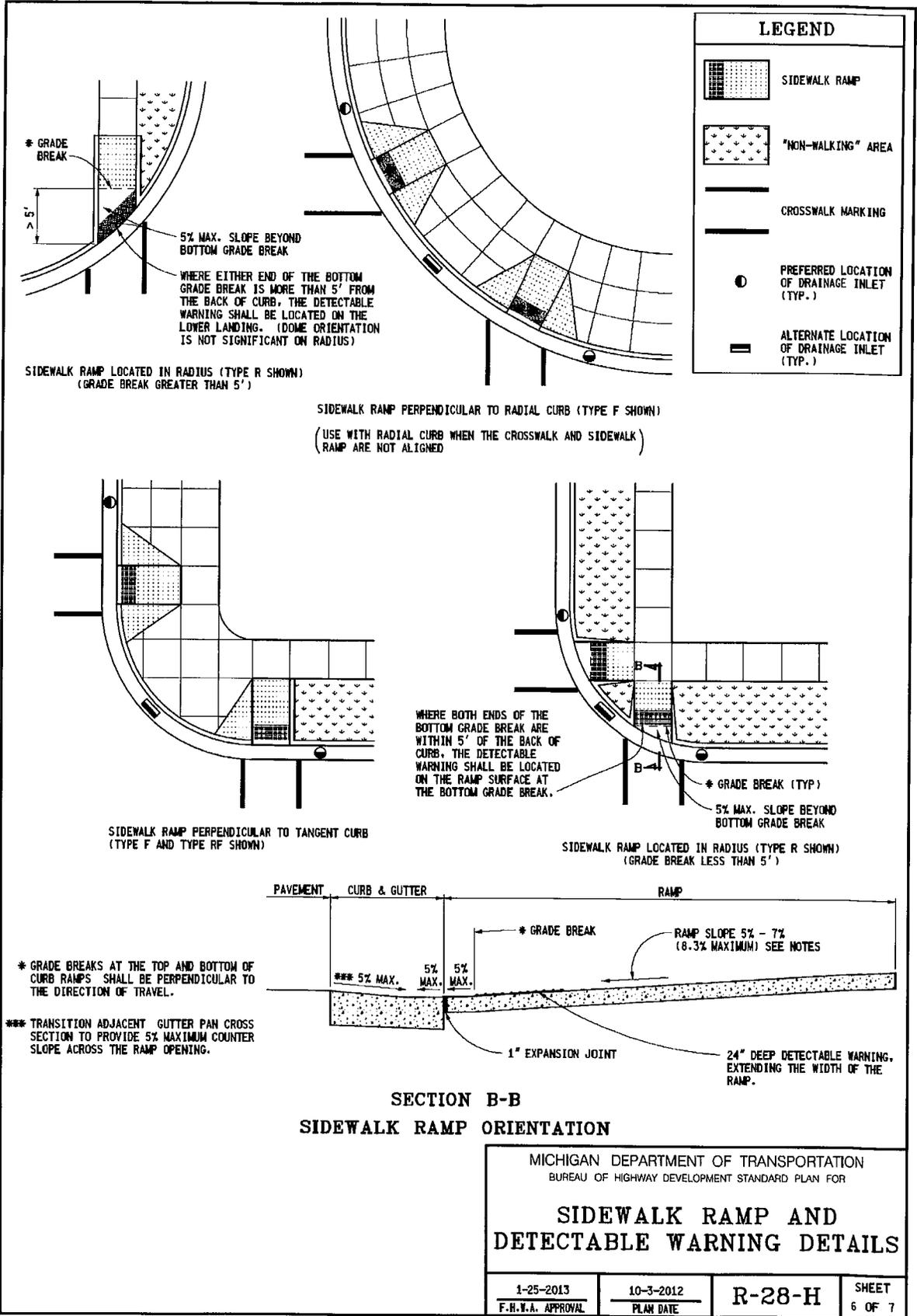


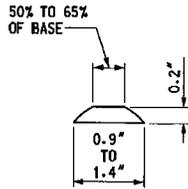
DETECTABLE WARNING AT RAILROAD CROSSING



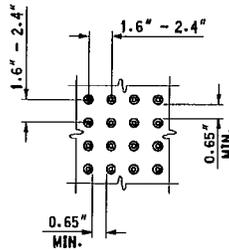
DETECTABLE WARNING AT FLUSH SHOULDER OR ROADWAY

MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR			
SIDEWALK RAMP AND DETECTABLE WARNING DETAILS			
1-25-2013 F.H.W.A. APPROVAL	10-3-2012 PLAN DATE	R-28-H	SHEET 5 OF 7

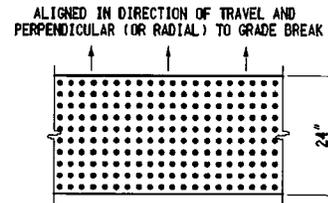




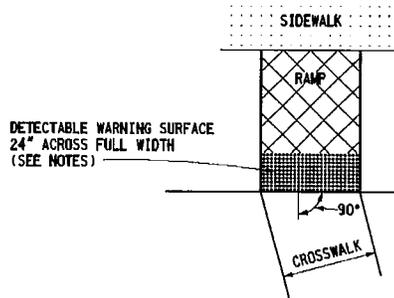
DOME SECTION



DOME SPACING



DOME ALIGNMENT



DETECTABLE WARNING DETAILS

NOTES:

DETAILS SPECIFIED ON THIS PLAN APPLY TO ALL CONSTRUCTION, RECONSTRUCTION, OR ALTERATION OF STREETS, CURBS, OR SIDEWALKS BY ALL PUBLIC AGENCIES AND BY ALL PRIVATE ORGANIZATIONS CONSTRUCTING FACILITIES FOR PUBLIC USE.

SIDEWALK RAMP ARE TO BE LOCATED AS SPECIFIED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

RAMP SHALL BE PROVIDED AT ALL CORNERS OF AN INTERSECTION WHERE THERE IS EXISTING OR PROPOSED SIDEWALK AND CURB. RAMP SHALL ALSO BE PROVIDED AT MARKED AND/OR SIGNALIZED MID-BLOCK CROSSINGS.

SURFACE TEXTURE OF THE RAMP SHALL BE THAT OBTAINED BY A COARSE BROOMING, TRANSVERSE TO THE RUNNING SLOPE.

SIDEWALK SHALL BE RAMPED WHERE THE DRIVEWAY CURB IS EXTENDED ACROSS THE WALK.

CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE ON THE RAMP. WHERE CONDITIONS PERMIT, IT IS DESIRABLE THAT THE SLOPE OF THE RAMP BE IN ONLY ONE DIRECTION, PARALLEL TO THE DIRECTION OF TRAVEL.

RAMP WIDTH SHALL BE INCREASED, IF NECESSARY, TO ACCOMMODATE SIDEWALK SNOW REMOVAL EQUIPMENT NORMALLY USED BY THE MUNICIPALITY.

PROVIDE TURNING SPACES WHERE PEDESTRIAN TURNING MOVEMENTS ARE REQUIRED.

WHEN 5' MINIMUM WIDTHS ARE NOT FEASIBLE, RAMP WIDTH MAY BE REDUCED TO NOT LESS THAN 4' AND TURNING SPACES TO NOT LESS THAN 4' x 4'.

DETECTABLE WARNING SURFACE COVERAGE IS 24" MINIMUM IN THE DIRECTION OF RAMP/PATH TRAVEL AND THE FULL WIDTH OF THE RAMP/PATH OPENING EXCLUDING CURBED OR FLARED CURB TRANSITION AREAS. A CURB OFFSET NOT GREATER THAN 2" MEASURED ALONG THE EDGES OF THE DETECTABLE WARNING (OR AS OTHERWISE SHOWN ON THIS STANDARD) IS ALLOWABLE.

FOR NEW ROADWAY CONSTRUCTION, THE RAMP CROSS SLOPE MAY NOT EXCEED 2%. FOR ALTERATIONS TO EXISTING ROADWAYS, THE CROSS SLOPE MAY BE TRANSITIONED TO MEET AN EXISTING ROADWAY GRADE. THE CROSS SLOPE TRANSITION SHALL BE APPLIED UNIFORMLY OVER THE FULL LENGTH OF THE RAMP.

THE MAXIMUM RUNNING SLOPE OF 8.3% IS RELATIVE TO A FLAT (0%) REFERENCE. HOWEVER, IT SHALL NOT REQUIRE ANY RAMP OR SERIES OF RAMP TO EXCEED 15 FEET IN LENGTH.

DRAINAGE STRUCTURES SHOULD NOT BE PLACED IN LINE WITH RAMP. THE LOCATION OF THE RAMP SHOULD TAKE PRECEDENCE OVER THE LOCATION OF THE DRAINAGE STRUCTURE. WHERE EXISTING DRAINAGE STRUCTURES ARE LOCATED IN THE RAMP PATH OF TRAVEL, USE A MANUFACTURER'S ADA COMPLIANT GRATE. OPENINGS SHALL NOT BE GREATER THAN 1/2". ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.

TRANSITION THE GUTTER PAN CROSS SECTION SUCH THAT THE COUNTER SLOPE IN THE DIRECTION OF RAMP TRAVEL IS NOT GREATER THAN 5%. MAINTAIN THE NORMAL GUTTER PAN CROSS SECTION ACROSS DRAINAGE STRUCTURES.

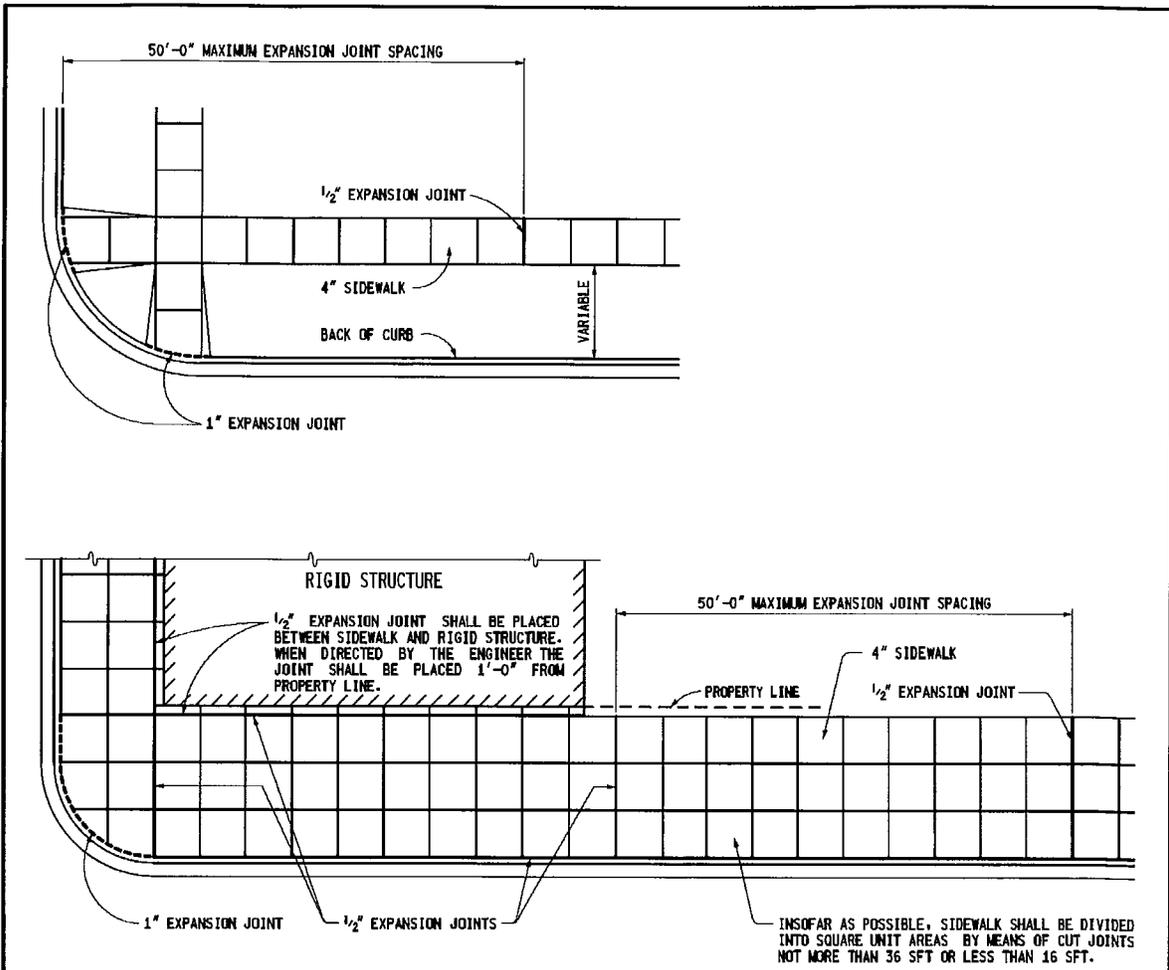
THE TOP OF THE JOINT FILLER FOR ALL RAMP TYPES SHALL BE FLUSH WITH THE ADJACENT CONCRETE.

CROSSWALK AND STOP LINE MARKINGS, IF USED, SHALL BE SO LOCATED AS TO STOP TRAFFIC SHORT OF RAMP CROSSINGS. SPECIFIC DETAILS FOR MARKING APPLICATIONS ARE GIVEN IN THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".

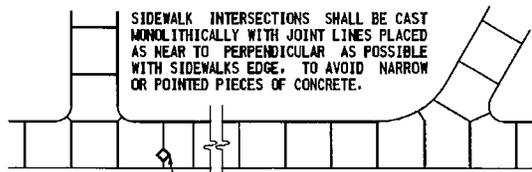
FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED ALONG THE ROADSIDE CURB LINE, SHALL BE PROVIDED WHERE AN UNOBSTRUCTED CIRCULATION PATH LATERALLY CROSSES THE SIDEWALK RAMP. FLARED SIDES ARE NOT REQUIRED WHERE THE RAMP IS BORDERED BY LANDSCAPING, UNPAVED SURFACE OR PERMANENT FIXED OBJECTS. WHERE THEY ARE NOT REQUIRED, FLARED SIDES CAN BE CONSIDERED IN ORDER TO AVOID SHARP CURB RETURNS AT RAMP OPENINGS.

DETECTABLE WARNING PLATES MUST BE INSTALLED USING FABRICATED OR FIELD CUT UNITS CAST AND/OR ANCHORED IN THE PAVEMENT TO RESIST SHIFTING OR HEAVING.

MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR			
SIDEWALK RAMP AND DETECTABLE WARNING DETAILS			
1-25-2013 F.R.Y.A. APPROVAL	10-3-2012 PLAN DATE	R-28-H	SHEET 7 OF 7

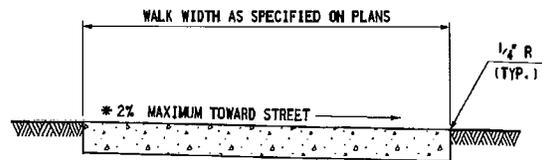


LOCATION OF JOINTS IN CONCRETE SIDEWALK



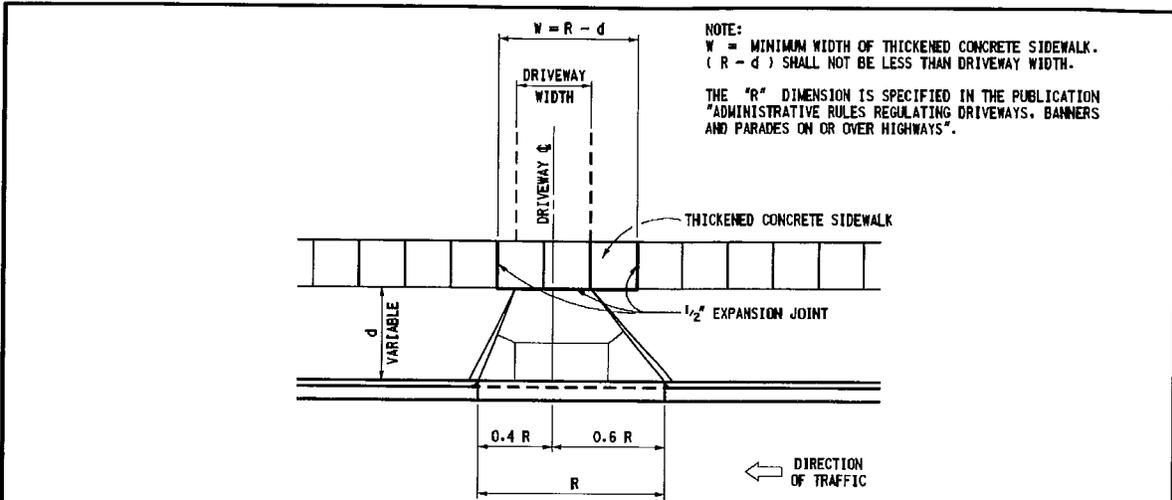
WHERE A PERMANENT STRUCTURE IS LOCATED IN SIDEWALK, PLACE EXPANSION MATERIAL AROUND STRUCTURE AND ADJUST JOINT PATTERN TO INTERSECT STRUCTURE AS ILLUSTRATED.

TYPICAL SIDEWALK JOINT LAYOUTS

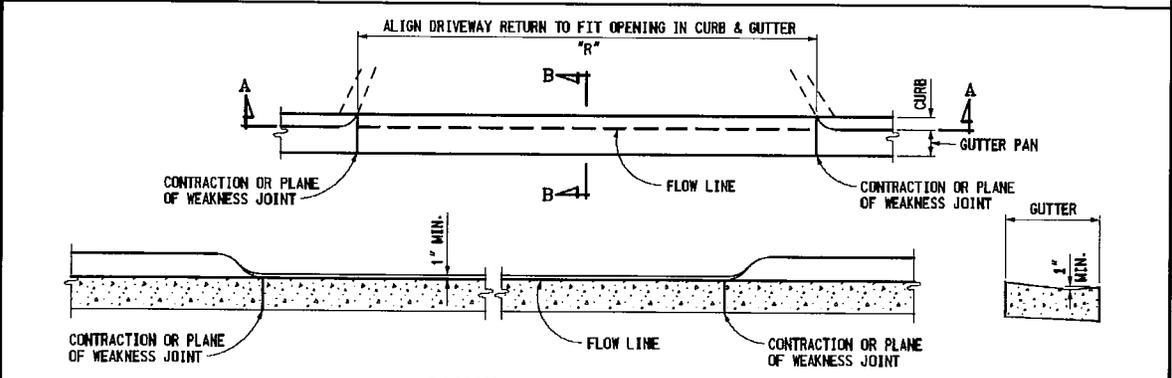


4" CONCRETE SIDEWALK

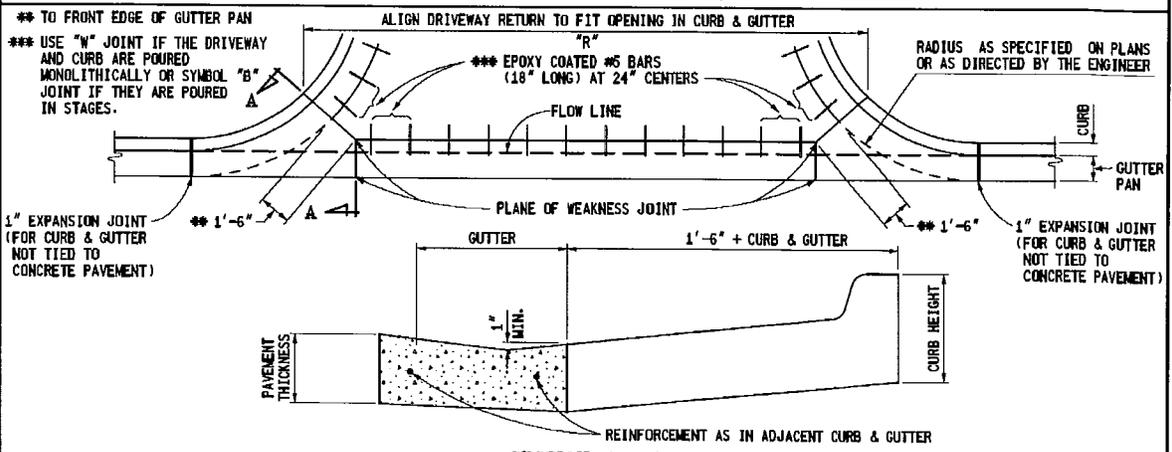
<p>PREPARED BY DESIGN DIVISION DRAWN BY: <u>B.L.T.</u> CHECKED BY: <u>W.K.P.</u></p>	<p>DEPARTMENT DIRECTOR Kirk T. Stuedle</p> <p>APPROVED BY: <i>Randy V. Pittford</i> DIRECTOR, BUREAU OF FIELD SERVICES</p>	<p>MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK</p>		
	<p>APPROVED BY: <i>Maia A. Van Pelt</i> DIRECTOR, BUREAU OF HIGHWAY DEVELOPMENT</p>	<p>1-25-2013 F.H.W.A. APPROVAL</p>	<p>10-1-2012 PLAN DATE</p>	<p>R-29-H SHEET 1 OF 4</p>



CONCRETE DRIVEWAY OPENING LAYOUT



CONCRETE DRIVEWAY OPENING, DETAIL L



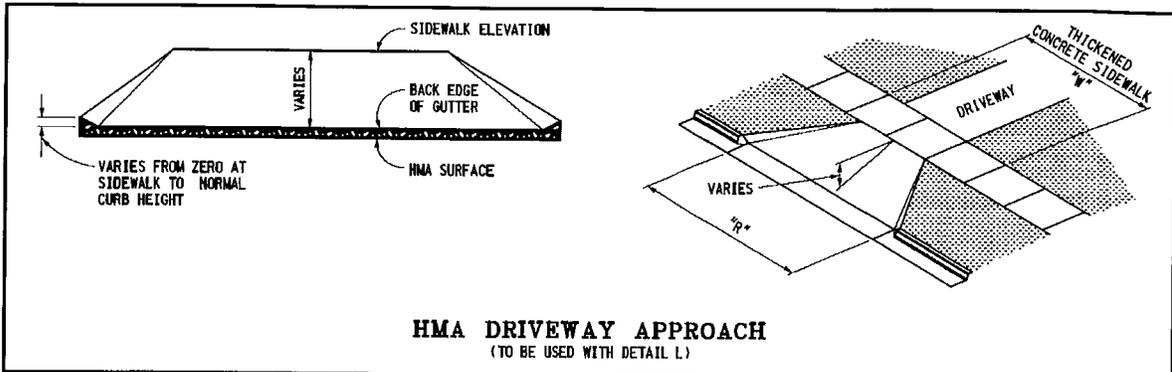
CONCRETE DRIVEWAY OPENING, DETAIL M

NOTE:
FOR ROADWAYS WITH CONCRETE PAVEMENTS, LONGITUDINAL LANE TIES WILL BE CONTINUOUS THROUGH THE DRIVEWAY OPENING AND THE SPACING OF THE #5 BARS IN CONCRETE DRIVEWAYS SHALL BE ADJUSTED TO AVOID CONFLICT WITH THE LONGITUDINAL LANE TIES.

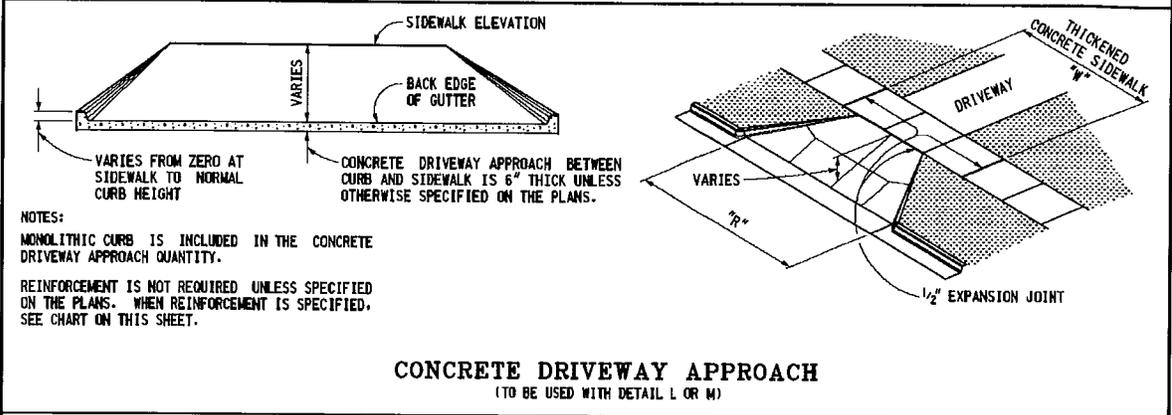
MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

**DRIVEWAY OPENINGS
& APPROACHES,
AND CONCRETE SIDEWALK**

1-25-2013 F.H.W.A. APPROVAL	10-1-2012 PLAN DATE	R-29-H	SHEET 2 OF 4
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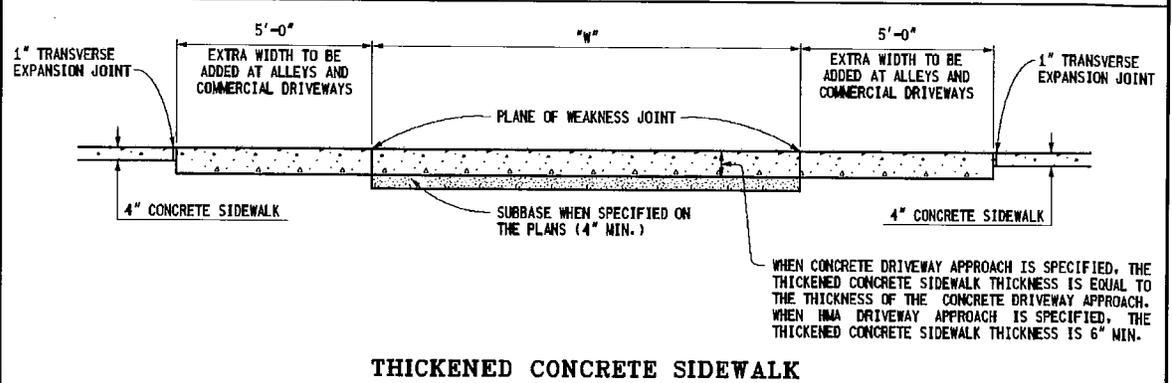
HMA DRIVEWAY APPROACH
(TO BE USED WITH DETAIL L)



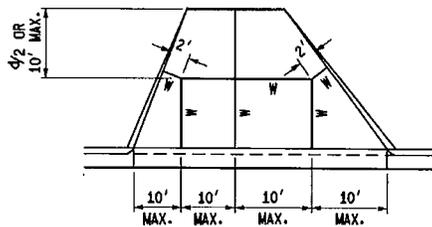
CONCRETE DRIVEWAY APPROACH
(TO BE USED WITH DETAIL L OR M)

NOTES:
MONOLITHIC CURB IS INCLUDED IN THE CONCRETE DRIVEWAY APPROACH QUANTITY.

REINFORCEMENT IS NOT REQUIRED UNLESS SPECIFIED ON THE PLANS. WHEN REINFORCEMENT IS SPECIFIED, SEE CHART ON THIS SHEET.



THICKENED CONCRETE SIDEWALK



ADJUST DRIVEWAY JOINTS AS NEEDED TO ALIGN WITH ANY COINCIDING TRANSVERSE PAVEMENT JOINTS.

JOINT LAYOUT IS AS INDICATED OR AS DIRECTED BY THE ENGINEER.

INTERMEDIATE DRIVEWAY JOINT DETAILS

REINFORCEMENT FOR CONCRETE DRIVEWAYS

CONCRETE DRIVEWAY THICKNESS	WIRE SIZE (6" x 6" MESH)	AVERAGE WEIGHT (LBS/100 SFT)
LESS THAN 8"	W1.4	21
	W2.9	42
8" OR GREATER	USE WIRE FABRIC REINFORCEMENT SPECIFIED ON STANDARD PLAN R-37-SERIES	

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

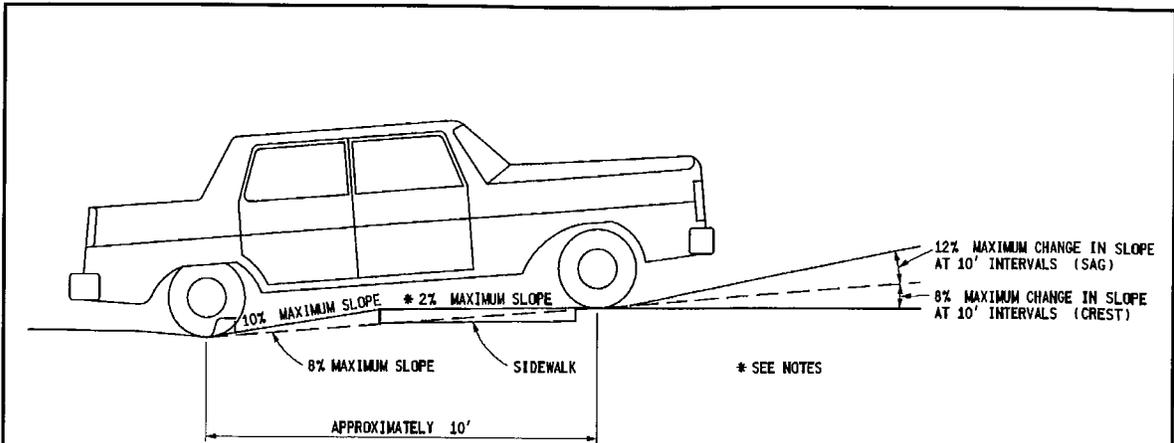
**DRIVEWAY OPENINGS
& APPROACHES,
AND CONCRETE SIDEWALK**

1-25-2013
F.H.V.A. APPROVAL

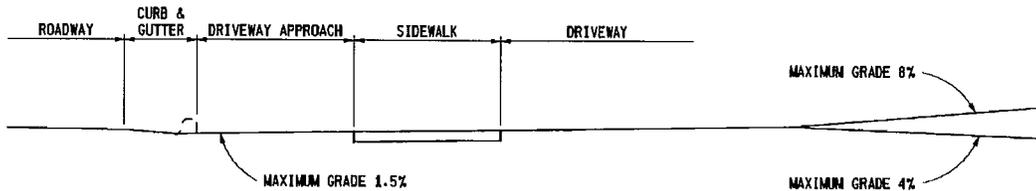
10-1-2012
PLAN DATE

R-29-H

SHEET
3 OF 4



LOW VOLUME COMMERCIAL OR RESIDENTIAL DRIVEWAY SLOPES



COMMERCIAL DRIVEWAY PROFILE FOR MAJOR TRAFFIC GENERATORS

NOTES:

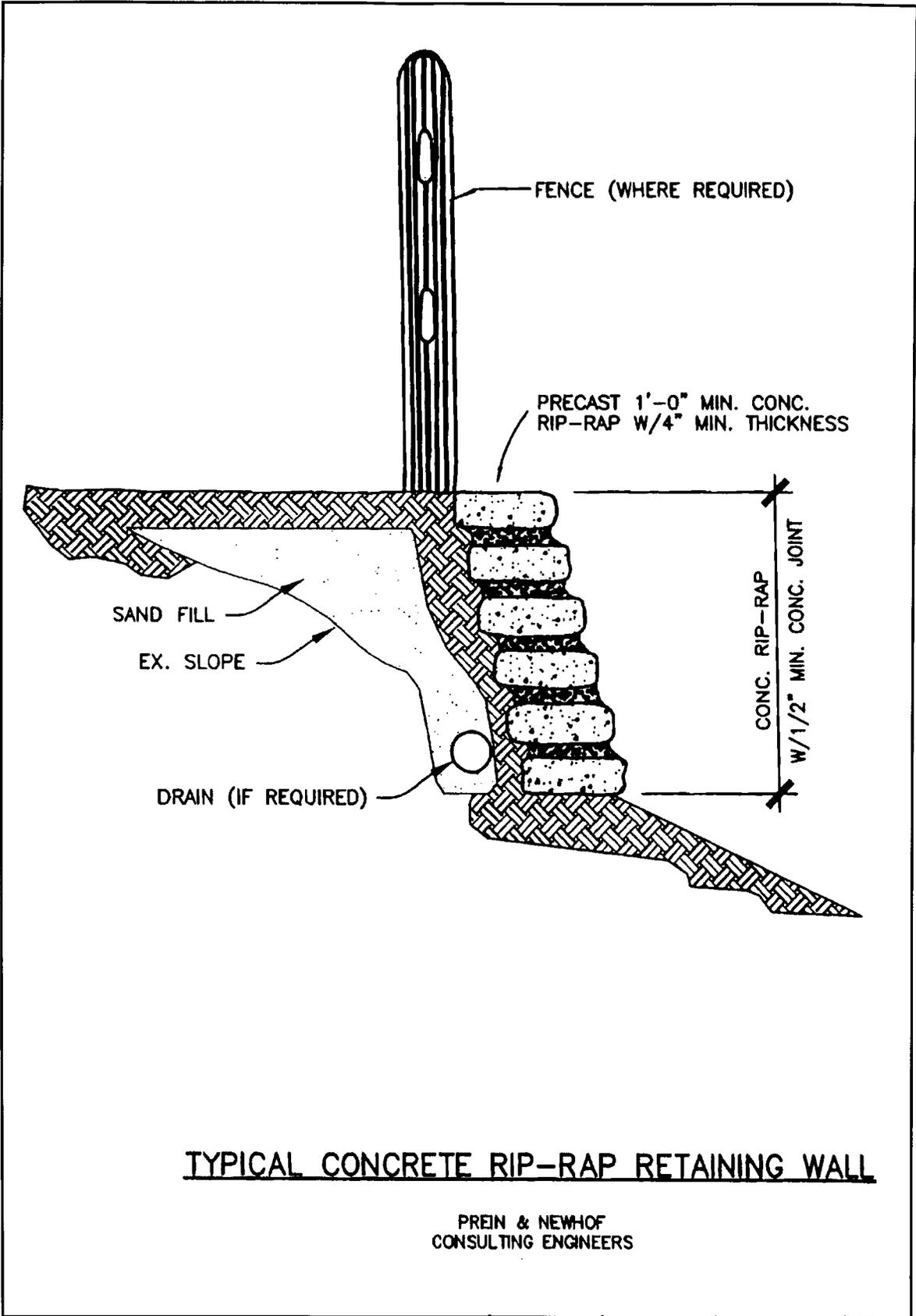
FOR DRIVEWAY DESIGN REFER ALSO TO "ADMINISTRATIVE RULES REGULATING DRIVEWAYS, BARRIERS, AND PARADES ON OR OVER HIGHWAYS" AND GEOMETRIC DESIGN G-680-SERIES, COMMERCIAL DRIVEWAYS.

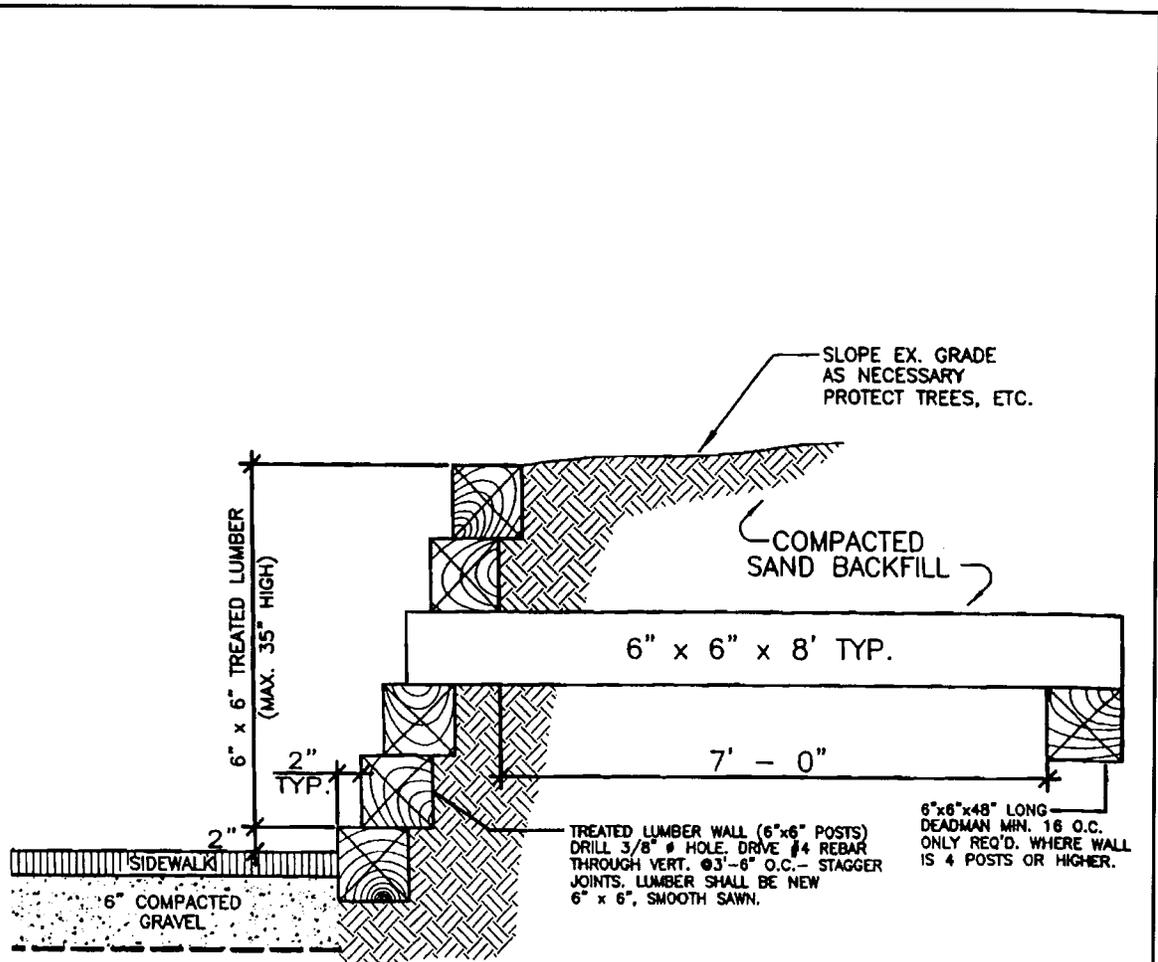
FOR CURB AND GUTTER DETAILS, SEE STANDARD PLAN R-30-SERIES.

TRANSVERSE SIDEWALK SLOPES ARE TYPICALLY 1.5% OR 2% MAXIMUM. IN ORDER TO MEET SITE CONDITIONS, IF THE TRANSVERSE SLOPE IS REQUIRED TO BE LESS THAN 1.5%, LONGITUDINAL DRAINAGE MUST BE PROVIDED.

WHEN SETTING GRADES FOR COMMERCIAL DRIVES, THE TYPES OF VEHICLES USING THE DRIVE SHOULD BE CONSIDERED.

MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK			
1-25-2013 F.H.W.A. APPROVAL	10-1-2012 PLAN DATE	R-29-H	SHEET 4 OF 4

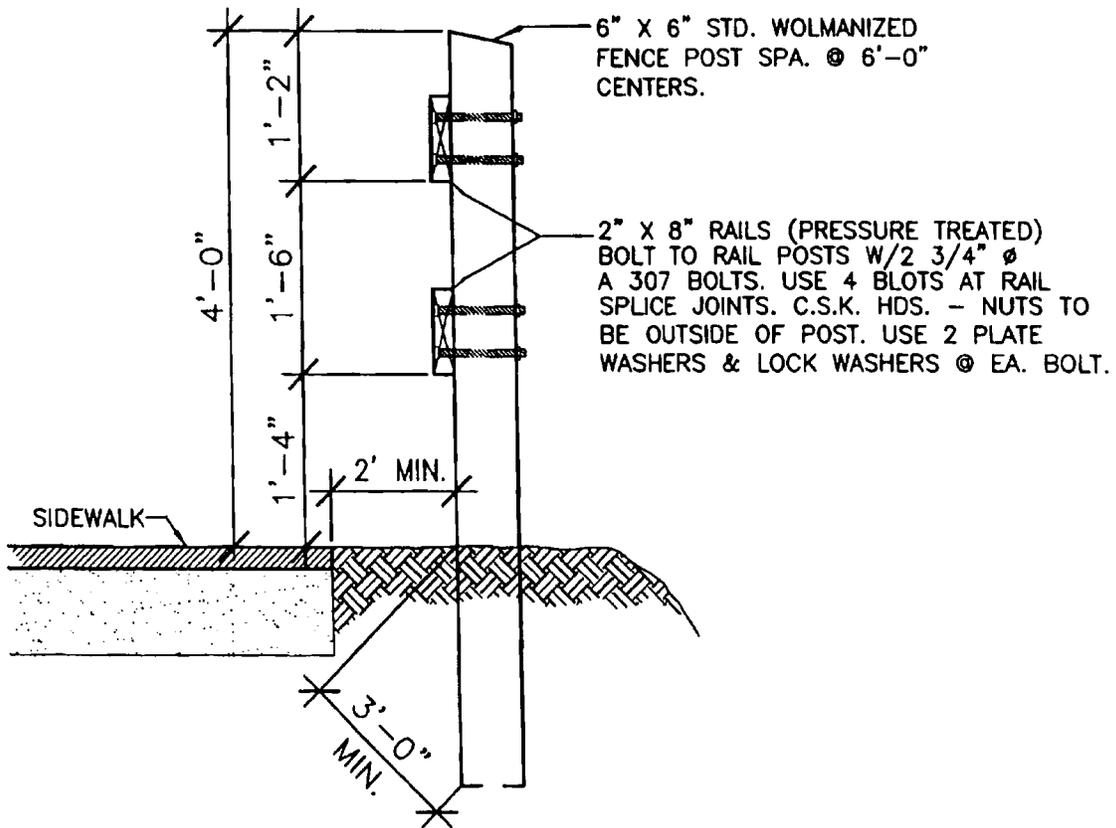




(6" x 6" TREATED LUMBER, 0.4 RETENTION,
EQUIVALENT TO WOOD FOUNDATION
SOUTHERN YELLOW OR RED PINE - SMOOTH SAWN)

TYPICAL TREATED LUMBER RETAINING WALL DETAIL

PREIN & NEWHOF
CONSULTING ENGINEERS



TYPICAL TREATED LUMBER FENCE DETAIL

PREIN & NEUHOFF
CONSULTING ENGINEERS

Memo



To: Oshtemo Charter Township Board

From: James W. Porter *JWP*

Date: August 4, 2016

Subject: Resolution Supporting Resumption of Transportation Services to 9th Street and West Main Street

OBJECTIVE

To restore CCTA bus service to 9th Street and West Main Street.

To make the public aware that the Township did not terminate service and is doing its best to restore service.

BACKGROUND

As the Board is aware, the CCTA has taken a position that it will not provide bus service to any area outside of its Metro Transit Service Area without the local unit paying the full transit millage for the excluded precinct. The Board previously placed five of its precincts into the Metro Transit Service Area but excluded precincts 3 and 9 because of the very limited amount of service – one mile on M-43 and U.S. 131 to 9th Street. Full transit millage would be over \$200,000.

INFORMATION PROVIDED

A resolution showing that the Township strongly supports CCTA with a projected 2017 contribution of nearly \$300,000. The resolution further reiterates that adding a route of one mile or less outside the Service Area, especially to those units which already support CCTA would have a minimum impact on CCTA's budget and would, in fact, allow for a more flexible service policy, thereby encouraging the expansion of the Service Area in the future.

STATEMENT OF WHAT YOU ARE ASKING BOARD TO APPROVE

Approve the resolution authorizing your Supervisor to present CCTA with the Township's resolution along with a good-faith offer of \$50,000 annually to restore full bus service to 9th Street and West Main Street.

CHARTER TOWNSHIP OF OSHTEMO
KALAMAZOO COUNTY, MICHIGAN

**RESOLUTION SUPPORTING RESUMPTION OF TRANSPORTATION SERVICES
TO 9TH STREET AND WEST MAIN STREET**

August 9, 2016

WHEREAS, Oshtemo Charter Township, for years prior to any other townships participating in metro bus service, paid to provide bus service to 9th Street and West Main Street; and

WHEREAS, Oshtemo Charter Township would like to continue bus service to 9th Street and West Main Street; and

WHEREAS, Oshtemo Charter Township has opted five of its precincts into the CCTA Metro Transit Service Area, which will raise nearly \$300,000 for metro transit in 2017; thereby demonstrating the Township's commitment to public transportation; and

WHEREAS, due to the limited service offered in precincts 3 and 9, the Oshtemo Charter Township Board could not in good conscience opt those precincts into the metro transit service area; and

WHEREAS, the addition of a one-mile service to 9th Street and West Main Street would have minor impact on the variable costs to the CCTA; and

WHEREAS, according to the CCTA, ridership on the route to 9th Street and West Main Street is well supported; and

WHEREAS, Oshtemo Charter Township has limited resources and cannot pay the amount established by the CCTA current policies to restore service to 9th Street and West Main Street; and

WHEREAS, a change in CCTA policies to allow the establishment of a service route of one mile or less outside the Metropolitan Transit Service Area would provide a more flexible policy for the CCTA and municipalities wishing to participate with the CCTA and would also encourage further expansion of the Metropolitan Transit Service Area of the future; and

WHEREAS, Oshtemo Charter Township wishes to make a good faith offer to the CCTA to restore service to 9th Street and West Main Street.

NOW, THEREFORE, BE IT RESOLVED that the Township Supervisor is hereby authorized to present CCTA with an offer of \$50,000 annually to restore full bus service to 9th Street and West Main Street and to execute a formal agreement to restore such service upon the terms set forth herein.

A motion was made by _____, seconded by _____, to adopt the foregoing Resolution.

Upon a roll call vote, the following voted "Aye":

The following voted "Nay":

The following "Abstained":

The Supervisor declared that the Resolution has been adopted.

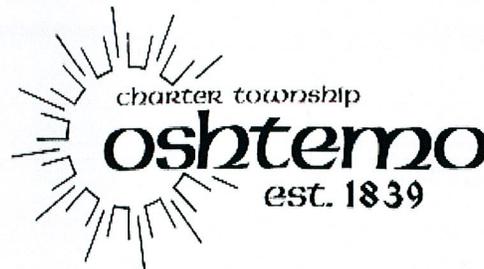
DEBORAH L. EVERETT, Clerk
Oshtemo Charter Township

CERTIFICATE

I hereby certify that the foregoing constitutes a true and complete copy of an Excerpt of the Minutes of a meeting of the Oshtemo Charter Township Board, held on August 9, 2016, at which meeting ____ members were present and voted upon the same as indicated in said Minutes; that said meeting was held in accordance with the Open Meetings Act of the State of Michigan.

DEBORAH L. EVERETT, Township Clerk

Memo



To: Oshtemo Charter Township Board
From: Julie Johnston, AICP
Date: August 4, 2016
Mtg. Date: August 9, 2016
Subject: Zoning Ordinance Amendments – 2nd Reading

OBJECTIVE

Second reading of amended Zoning Ordinances, specifically Sections 24.205: Permitted Uses – Multiple-Family Dwellings; 39.406: Development Standards of the Business and Research Park District; 66:201: Schedule of Area, Frontage and/or Width Requirements; and, 76.190: Temporary Signs, for the Township Boards consideration.

BACKGROUND

Section 24.205: R-4 District Permitted Uses – Multiple Family Dwellings

A request was made by a Township Trustee to promote recycling in multi-family developments within the Township. The R-4 District, which allows multi-family projects by right, has some specific requirements for development. To encourage residents within any new multi-family development to recycle, receptacles will need to be made available. Requiring these receptacles within Dumpster enclosures is within the purview of zoning and can be included within these requirements.

The recommended language is as follows:

Recycling. Dumpster enclosures shall be designed large enough to contain both a standard trash receptacle and a recycling receptacle.

In addition to adding the language above, some minor organizational changes are recommended to address consistency within this section.

Section 39.406: Development Standards of the Business and Research Park District

During discussions with Western Michigan University (WMU) regarding the development of the Business Technology Research Park (BTR) 2.0, concerns were raised about the Business and Research Park (BRP) District language related to open space. The current requirement refers to total ground coverage per individual site, as follows:

39.406 *Development Standards.*

(d) *Total ground coverage shall not exceed 50 percent of the individual site.*

The difficulty with phrasing the requirement in this way is two-fold, as follows:

- The Township Zoning Ordinance does not have a definition for ground coverage. While seemingly self-explanatory, ground coverage is defined differently in many ordinances. Some include sidewalks and some do not, some define it as any impervious surface while some just count the building. Without a definition, we would have to count everything that is not naturally occurring on the site, which could considerably reduce the buildable footprint.
- By regulating through “ground coverage” on individual sites, we are precluding, or making it extremely difficult, to provide dedicated and/or public open space within a BRP development. For example, the current design for BTR 2.0 has approximately 16 acres set aside as dedicated open space, meaning the land will be owned and maintained by the condominium association separate from the individual buildable sites. It is the intent of WMU to allow this open space to be open to the public. Based on the current ordinance language, none of this land could be counted toward the open space requirements of the individual sites. Each individual buildable site would continue to be required to have 50 percent open space, limiting the overall buildable area of each site and the entire development.

Based on these concerns, the Planning Commission recommends changing the development standard to the following:

50 percent of the entire development shall be retained as open space. This open space can be developed as dedicated open space that is owned and maintained by an association, or provided on each individual parcel, lot or building site within the development, or a combination of these options. In no case, shall an individual parcel, lot or building site have less than 20 percent open space.

The revised language will provide some flexibility within the regulation to allow each developer an opportunity to plan open space as either dedicated to the larger project, dedicated for public use or as natural features on the individual sites. It also provides some continued requirements on each individual buildable site, eliminating the possibility of an entire parcel, lot or buildable site being 100 percent covered by impervious surface.

Section 66.201: Schedule of Area, Frontage and/or Width Requirements

With the recent amendments approved by the Township Board to Section 62.000 Nonconforming Uses, Structures and Land, a change needed to be made to Section 66.201, which deals with area, frontage and width requirements of parcels, lots and building sites. Currently Section 66.201 states the following:

Any parcel, lot or building site existing prior to March 31, 1997 shall be considered buildable if the only dimensional nonconformity is a depth to width ratio exceeding four-to-one subject to the Planning Director in his/her discretion to require the dedication of a 66-foot-wide easement for future access to interior lands.

The changes to the Nonconforming section of the Zoning Ordinance allows all parcels, lots or building sites that were lawfully created to be buildable. To ensure these two sections of the code work well together, the Planning Commission is recommending the following language:

Parcels, lots or building sites which meet the regulations of Section 62: Nonconforming Uses, Structures and Land may be issued a building permit provided all other requirements of this Ordinance are met.

Section 76.190: Temporary Signs

A reoccurring request has been made to the Planning Department to allow temporary business signs during the rehabilitation or reconstruction of a building or during the maintenance of a permanent sign, when the business will still be active. For example, a commercial center is completing façade improvements to update the look of the building. The planned improvements are not internal so construction will not require the businesses in the center to close. However, the improvements will require the removal of the permanent business signs. The request made to the Planning Department is to allow temporary banner signs during construction.

The current Sign Ordinance does not permit this type of sign in the Temporary Sign section of the code. The amended language recommended by the Planning Commission would permit these types of signs for the duration of the construction or maintenance period with a maximum approval time of 12 months. The recommendation is to allow temporary banner signs, 32 square feet in area, for each business that may be effected by the construction, as follows:

Commercial Banner Signs	Number	1 per business
	Area	32 square feet
	Height	8 feet, maximum
	Duration	During construction or maintenance period (not to exceed 12 months)
	Location	Building wall
	Permit	Not required

The Planning Commission forwarded a recommendation of approval of these amendments at their June 23, 2016 meeting and the Township Board approved first reading on July 12, 2016.

INFORMATION PROVIDED

Planning Commission Minutes
Proposed Ordinance

STATEMENT OF WHAT YOU ARE ASKING BOARD TO APPROVE

Township staff request a motion of approval for second and final reading from the Township Board for the amendments to Sections 24.205: Permitted Uses – Multiple-Family Dwellings; 39.406: Development Standards of the Business and Research Park District; 66:201: Schedule of Area, Frontage and/or Width Requirements; and, 76.190: Temporary Signs, as presented in the attached Ordinance.

**OSHTEMO CHARTER TOWNSHIP
PLANNING COMMISSION**

MINUTES OF A MEETING HELD JUNE 23, 2016

Agenda

PUBLIC HEARING: ZONING ORDINANCE AMENDMENTS

- a. **Section 66.201: Schedule of Area, Frontage and / or Width Requirements**
- b. **Section 39.406: Business Research Park Development Standards**
- c. **Section 76.190: Temporary Signs**
- d. **Section 24.205: Multiple-Family Dwelling Conditions of Development**

Old Business:

- a. **Landscape Ordinance Amendments**
-

A meeting of the Oshtemo Charter Township Planning Commission was held on Thursday, June 23, 2016, commencing at approximately 7:00 p.m. at the Oshtemo Charter Township Hall.

ALL MEMBERS WERE PRESENT:

Millard Loy, Chair
Fred Antosz
Kimberly Avery
Wiley Boulding, Sr.
Dusty Farmer
Pam Jackson
Mary Smith

Also present were Julie Johnston, Planning Director, James Porter, Township Attorney, and Martha Coash, Meeting Transcriptionist. No other persons were in attendance.

Call to Order and Pledge of Allegiance

The meeting was called to order by Chairperson Loy at approximately 7:00 p.m., and the "Pledge of Allegiance" was recited.

Agenda

Chairperson Loy asked if there were any additions, deletions or corrections to the Agenda. Hearing none, he called for a motion to accept the Agenda as presented.

Ms. Jackson made a motion to accept the agenda as presented. Mr. Antosz seconded the motion. The motion passed unanimously.

Public Comment on Non-Agenda Items

Chairperson Loy noted there were no audience members present and proceeded to the next agenda item.

Approval of the Minutes of June 9, 2016

Chairperson Loy asked if there were any additions, deletions or corrections to the minutes of June 9, 2016. Hearing none, he asked for motion to approve the minutes.

Mr. Antosz made a motion to approve the minutes of June 9, 2016 as presented. Ms. Jackson seconded the motion. The motion was approved unanimously.

PUBLIC HEARING:

Section 66.201: Schedule of Area, Frontage and / or Width Requirements

Section 39.406: Business Research Park Development Standards

Section 76.190: Temporary Signs

Section 24.205: Multiple-Family Dwelling Conditions of Development

Mr. Loy moved to the next item on the agenda and asked Ms. Johnston to review the proposed Ordinance amendments to the four sections listed.

Ms. Johnston walked through the proposed changes to the four sections for Commissioner review.

a. Schedule of Area, Frontage and/or Width Requirements

Ms. Johnston explained with the recent changes recommended by the Planning Commission to the Township Board on Section 62.000 Nonconforming Uses, Structures and Land, a change needed to be made to Section 66.201, which deals with area, frontage and width requirements of parcels, lots and building sites. Currently Section 66.201 states the following:

The changes to the Nonconforming section of the Zoning Ordinance allows all parcels, lots or building sites that were lawfully created to be buildable. To ensure these two sections of the code work well together, the following language was recommended:

Parcels, lots or building sites which meet the regulations of Section 62: Nonconforming Uses, Structures and Land may be issued a building permit provided all other requirements of this Ordinance are met.

b. Business Research Park Open Space Requirements

Ms. Johnston said during the discussion with Western Michigan University regarding the development of the Business Technology Research Park (BTR) 2.0, concerns were raised about the Business Research Park (BRP) District language related to open space. The current requirement refers to total ground coverage per individual site, as follows:

39.406 Development Standards.

- ***Total ground coverage shall not exceed 50 percent of the individual site.***

She said the difficulty with phrasing the requirement in this way is two-fold:

- The Township Zoning Ordinance does not have a definition for ground coverage.
- By regulating through “ground coverage” on individual sites, we are precluding, or making it extremely difficult, to provide dedicated public open space within a BRP development. Each individual buildable site would continue to be required to have 50 percent open space, limiting the overall buildable area of each site and the entire development.

Based on these concerns, Planning staff recommended changing the development standard to the following:

50 percent of the entire development shall be retained as open space. This open space can be developed as dedicated open space that is owned and maintained by an association, or provided on each individual parcel, lot or building site within the development, or a combination of these options. In no case, shall an individual parcel, lot or building site have less than 20 percent open space.

Ms. Johnston said the revised language would provide some flexibility within the regulation to allow each developer an opportunity to plan open space as either dedicated to public use or as natural features on the individual sites. It also provides some continued requirements on each individual buildable site, eliminating the possibility of an entire parcel, lot or buildable site being 100 percent covered.

c. Temporary Signs

Ms. Johnston explained a recurring request has been made to the Planning Department to allow temporary business signs during the rehabilitation or reconstruction of a building, when the business will still be active. The request made to the Planning Department is to allow temporary banner signs during construction.

The current Sign Ordinance does not permit this type of sign in the Temporary Sign section of the code. The amended language would permit these types of signs for the duration of the construction or maintenance period with a maximum approval time of 12 months. The recommendation is to allow temporary banner signs, 32 square feet in area, for each business that may be affected by the construction.

d. Recycling in Multi-Family Developments

Ms. Johnston said a request was made by a Township Trustee to promote recycling in multi-family developments within the Township. The R-4 District, which allows multi-family projects by right, has some specific requirements for development. To encourage residents within any new multi-family development to recycle, receptacles will need to be made available. Requiring these receptacles within Dumpster enclosures is within the purview of zoning and can be included within these requirements.

She recommended language as follows:

Recycling. Dumpster enclosures shall be designed large enough to contain both a standard trash receptacle and a recycling receptacle. Recycling shall be made available in all Dumpster enclosures.

Ms. Johnston noted in addition to adding this language, minor organizational changes are recommended to address consistency within this section.

Chairperson Loy asked if there were questions for Ms. Johnston from Commissioners.

In answer to questions regarding why multi-family unit residents are not required to recycle, Attorney Porter said when the Ordinance regarding recycling was put in place, a large number of multi-family unit owners complained they did not have the area needed and were not equipped to provide recycling. A requirement may be considered in the future. He also noted the Township is looking at the possibility of a single hauler.

Ms. Farmer noted that residents are not required to recycle by Township Ordinance, but do have recycle bins and are required to pay for them regardless of whether they recycle or not.

Ms. Johnston noted if multi-family unit residents are required to recycle it would be through a General rather than a Zoning Ordinance.

Ms. Smith wondered how solar panels are viewed regarding the open space requirement.

Ms. Johnston said they are not allowed in a natural state, but they would be considered part of the impervious area of a property.

Ms. Farmer asked for a definition of "public space" as related to the Business Research Park.

Ms. Johnston said most all Ordinances call for open space. It is up to an association whether they want to make the open space public, that is for anyone to enjoy. Some private developments make open space available to employees only.

Attorney Porter noted WMU makes its open space open to the public.

Ms. Farmer confirmed the change to the multi-family recycling language is for future developments only, with the proposed change to the Ordinance. She also suggested the proposed language for this section be revised in order make it clear that recycling is not required of residents.

It was the consensus of the Board that the second sentence, "Recycling shall be made available in all Dumpster enclosures" could be misleading and should be deleted.

In answer to a question from Ms. Smith who was concerned about the type of temporary sign that might be utilized, Ms. Johnston confirmed the Ordinance does not say a temporary sign must be professionally made.

There were no further questions from Commissioners, and after noting there were no audience members present to comment in the public hearing, Chairperson Loy moved to Board Deliberation.

There were no further comments; Chairperson Loy entertained a motion on the recommendation.

Ms. Jackson made a motion to approve four amendments to the as recommended by staff with the second sentence of the recycling language deleted as discussed. The motion was supported by Ms. Farmer. The motion carried unanimously.

Chairperson Loy moved to the next item on the agenda.

OLD BUSINESS

Landscape Ordinance Amendments

Ms. Johnston introduced an amended Landscaping Ordinance as well as an alternate Ordinance approach to start discussion. While working on updates to the existing code, Staff researched a number of Ordinances throughout Michigan to see how other communities manage this requirement. They ran the gamut from those that were very detailed to those with few specific conditions. The current Township landscaping requirements fall closer to those that are detailed.

She compared the current landscaping Ordinance to the Alternate Approach and said there are essentially two main differences. The first is the percentage requirement for on-site landscaping. The second is the difference between the current requirement for a greenbelt or buffer zone along all property lines. She noted the Ordinance does not currently have requirements to screen incompatible uses.

Ms. Johnston walked through the various suggested changes in Total Site Landscaping, Screening Between Land Uses, Parking Lot Landscaping, Street Rights-of Way Greenbelts and Landscape Elements. She described the various ramifications and benefits of each.

There was discussion of a number of items, particularly cross-visibility and screening requirements, access between businesses, safe movement of vehicles and pedestrians between sites, and the desire to require the appropriate number and types of plantings.

Commissioners were supportive of the concept; Ms. Johnston said she would return to the Board with landscape plans that illustrate the differences between the two Ordinances and expected the review process to take several meetings.

ANY OTHER BUSINESS

Ms. Johnston told Commissioners the Township Board approved her recommendation to fund a new Internet based Zoning Ordinance program. Consultants have begun work on a licensing agreement to have them host the online Zoning Ordinance. It is expected the website will be up and running and available to the public in 60-90 days with the existing code. The new code likely take a year to complete and will replace the current code online.

She also noted an update of some sections of the Master Plan, including Implementation, will be completed in 2017.

PLANNING COMMISSIONER COMMENTS

Ms. Jackson said the approved work at the property at Drake and H Avenue looks very nice but suggested a review of the parking lot work to be sure it does not exceed allowed dimensions.

Chairperson Loy noted there has been a major breakthrough by police in concert with residents regarding recent robberies in the Township and cautioned everyone to be careful and vigilant.

It was noted the Good Stuff Fireworks stand has been closing earlier than what was approved.

ADJOURNMENT

Having exhausted the agenda, and with there being no further business to discuss, Chairperson Loy adjourned the Planning Commission meeting at approximately 8:04 p.m.

Minutes prepared:
June 25, 2016

Minutes approved:
July 14, 2016

OSHTEMO CHARTER TOWNSHIP ORDINANCE NO. ____

Adopted: _____, 2016

Effective: _____, 2016

OSHTEMO CHARTER TOWNSHIP ORDINANCE

An Ordinance to amend the Oshtemo Charter Township Zoning Ordinance by the amendment of Section 24.000 "R-4" Residence District, Subsection 24.200 Permitted Uses, Subsection 24.205; Section 66.000 Area Requirements, Dwelling Standards and Residential Occupancy, Subsection 66.200 Dimensional Requirements for parcels, lots and building sites, Subsection 66.201; and Section 76.000 Signs and Billboards, Subsection 76.190 Temporary Signs, Schedule D. This Ordinance repeals all Ordinances or parts of Ordinances in conflict.

THE CHARTER TOWNSHIP OF OSHTEMO
KALAMAZOO COUNTY, MICHIGAN
ORDAINS:

SECTION I. AMENDMENT OF ZONING ORDINANCE COMPILED SECTION 24.000 "R-4" RESIDENCE DISTRICT, SUBSECTION 24.200 PERMITTED USES, SUBSECTION 24.205. Section 24.000 "R-4" Residence District, Subsection 24.200 Permitted Uses, Subsection 24.205 is amended to read as follows:

24.200 Permitted uses.

24.205 Multiple-family dwellings excluding hotels and motels, subject to the following conditions and limitations:

(a) Density.

1. Dwelling unit density for any portion of a multiple family dwelling site located within 200 feet of property in an "AG", "RR", "R-1" or "R-2" zoning classification shall be limited to a maximum unit density of six units per acre. In addition, to the extent that parking areas, community buildings or open space recreational areas are located within said 200-foot area, such facilities shall be so situated and designed as to, in the judgement of the Zoning Board of Appeals at the time of site plan review, minimize adverse effects therefrom to owners and occupants of the properties located in the higher zoning classification.

2. Dwelling unit density for any portion of a multiple family dwelling site located more than 200 feet from property in an "AG", "RR", "R-1" or "R-2" Zoning Classification shall be limited to a maximum unit density of eight units per acre.
- (b) **Drives.** All two-way interior drives within a multiple-family dwelling development shall be paved with asphalt or a similar hard surface so as to have a paved driving surface with a minimum width of 21 feet exclusive of any area used for parking. All one-way interior drives within a multiple-family development shall also be paved with asphalt or a similar hard surface so as to have a paved driving surface with a minimum width of 13 feet exclusive of any area used for parking. When an interior drive would service as a connecting link between different land ownerships or different public roads, either currently or within the foreseeable future, it shall, regardless of whether it is a public or private road, be constructed in accordance with the public road specifications of the Kalamazoo County Road Commission and be located upon a reserved right-of-way of not less than 66 feet in width.
 - (c) **Sidewalks.** Sidewalks shall be provided on both sides of any access drive leading into a multi-family development from a public street.
 - (d) **Access streets.** A multiple-family development shall be furnished with a minimum of two access streets connecting the same to a public highway or highways unless the Zoning Board of Appeals grants a variance from such requirements where, in the opinion of said Board, the additional access or accesses would not improve traffic safety because of the peculiar characteristics of the proposed development. A stop sign shall be provided at every intersection of an access street with a public highway.
 - (e) **Utilities.** Public water, sanitary sewer and storm drainage facilities shall be provided as part of the site development. All electric and telephone transmission wires shall be placed underground.
 - (f) **Open space requirements.**
 1. All multiple-family dwellings shall be established on a lot, parcel, or building site in such a manner that there is at least one contiguous area of open space suitable for recreational purposes and equal to not less than five percent of the total area of the lot, parcel, or building site on which the multiple-family dwelling is located. The Zoning Board of Appeals shall have the authority to grant variances from this requirement to accommodate alternative open space arrangements consistent with the purpose of this provision.
 2. Subject to Section 66.400.
 - (g) **Building separation.** The minimum separation between buildings shall be 40 feet (except buildings accessory thereto). Separation shall be measured in the same manner as a building setback.
 - (h) **Recycling. Dumpster enclosures shall be designed large enough to contain both a standard trash receptacle and a recycling receptacle.**

SECTION II.

AMENDMENT OF ZONING ORDINANCE COMPILED SECTION 39.000 "BRP" BUSINESS AND RESEARCH PARK, SUBSECTION 39.406 DEVELOPMENT STANDARDS. Section 39.000 "BRP" Business and Research Park, Subsection 39.406 Development Standards is amended to read as follows:

39.000 "BRP" BUSINESS AND RESEARCH PARK

39.406 Development Standards.

(d) Total ground coverage shall not exceed 50 percent of the individual site.

50 percent of the entire development shall be retained as open space. This open space can be developed as dedicated open space that is separate from individual parcels, lots or building sites, or provided on each individual parcel, lot or building site within the development, or a combination of these options. In no case, shall an individual parcel, lot or building site have less than 20 percent open space.

SECTION III.

AMENDMENT OF ZONING ORDINANCE COMPILED SECTION 66.000 AREA REQUIREMENTS, DWELLING STANDARDS AND RESIDENTIAL OCCUPANCY, SUBSECTION 66.200 DIMENSIONAL REQUIREMENTS FOR PARCELS, LOTS AND BUILDING SITES, SUBSECTION 66.201. Section 66.000 Area Requirements, Dwelling Standards and Residential Occupancy, Subsection 66.200 Dimensional Requirements for parcels, lots and building sites, to rewrite the fifth paragraph of Subsection 66.201 is amended to read as follows:

66.200 Dimensional requirements for parcels, lots and building sites.

66.201 SCHEDULE OF AREA, FRONTAGE, AND/OR WIDTH REQUIREMENTS

No building permit shall be issued therefore, and no buildings constructed, placed, or moved upon any parcel, lot, or building site less than the area and frontage requirements as specified in this Section; nor where the same would be located upon a parcel, lot, or building site of land with an area of ten acres or less having a depth of greater than four times the width of said parcel, lot or building site.

All parcels must have the frontage specified in this Section on a dedicated public road or street with the width of said required frontage maintained until at least the required building setback line.

All lots or building sites must be situated on a public road or street with the width at building setback line as specified in this Section.

Building sites within nonresidential site condominiums must be situated on a public road or street or a private street easement with the width at building setback as specified in this Section.

~~Any parcel, lot or building site existing prior to March 31, 1997 shall be considered buildable if the only dimensional nonconformity is a depth to width ratio exceeding four to one subject to the Planning Director in his/her discretion to require the dedication of a 66-foot wide easement for future access to interior lands.~~

Parcels, lots or building sites which meet the requirements of the Nonconforming Uses, Structures and Land section of this Zoning Ordinance may be issued a building permit provided all other requirements of this Ordinance are met.

SECTION IV. AMENDMENT OF ZONING ORDINANCE COMPILED SECTION 76.000 SIGNS AND BILLBOARDS, SUBSECTION 76.190 TEMPORARY SIGNS. Section 76.000 Signs and Billboards, Subsection 76.190 Temporary Signs, Schedule D of the Oshtemo Charter Township Zoning Ordinance is hereby amended to add Commercial Banner Signs to read as follows:

76.000 SIGNS AND BILLBOARDS

76.190 Temporary signs.

Throughout the Township, the requirements of Schedule D shall govern the use, area, type, height, and number of temporary signs, in addition to the requirements elsewhere in this Ordinance. (See also Section 76.130 Definitions for descriptions of each of the sign types below.)

SCHEDULE D - TEMPORARY SIGNS

Sign Type	Standard	Requirement
Construction Sign	Number	One per street frontage
	Area	Maximum 32 square feet
	Height	Maximum 5 feet
	Duration	30 days prior to beginning construction to 30 days following issuance of certificate of occupancy but not more than two years from beginning of construction
	Permit	Required
Real Estate Sign	Number	One per lot, building site, or parcel
	Area	Maximum 6 square feet (residential) Maximum 24 square feet (non-residential)
	Height	Maximum 5 feet
	Other	Must be non-illuminated
	Permit	Not required
Development Sign	Number	One per subdivision, condominium, apartment, or manufactured housing development on the site where it is being developed.
	Area	Maximum 32 square feet
	Height	Maximum 5 feet
	Duration	Not to exceed 2 years
	Permit	Required

Sign Type	Standard	Requirement
Community Event Sign	Number	One sign per event per lot, building site, or parcel
	Area	Maximum 16 square feet
	Height	Maximum 5 feet
	Duration	No more than 2 weeks prior to 1 week following event
	Location	May not be located in Right of Way and must have property owner's permission
	Permit	Not required
Special Event Sign	Number	One per lot, building site, parcel, or tenant in a multi-tenant commercial center during each six month period identified below
	Area	Maximum 32 square feet
	Height	Maximum 5 feet if mounted on ground Maximum 20 feet if located on a building wall or if a balloon sign Maximum 12 feet for Feather Flag Signs
	Duration	Maximum 14 days from January 1 to June 30 Maximum 14 days from July 1 to December 31
	Permit	Required
	Other	At a multi-tenant commercial center, only one such sign may be on display at a time
A-frame Sign	Number	One per lot, building site, parcel, or business within a multi-tenant commercial center
	Area	Maximum 6 square feet
	Height	Maximum 42 inches
	Duration	May be on display during day but must be stored indoors when business is not in operation
	Location	Must be within 10 feet of customer entry door to business it serves without disturbing pedestrian or emergency access. A minimum of 5 feet clearance shall be provided for pedestrian passage.
	Permit	Not required
Commercial Banner Signs	Number	1 per business
	Area	32 square feet
	Height	8 feet, maximum
	Duration	During construction or maintenance period (not to exceed 12 months)
	Location	Building wall
	Permit	Not required

SECTION V.

EFFECTIVE DATE AND REPEAL. All Ordinances or parts of Ordinances inconsistent with this amendment are hereby repealed. This Ordinance shall take effect upon publication after adoption in accordance with State law.

DEBORAH L. EVERETT, CLERK
OSHTEMO CHARTER TOWNSHIP

Memo



To: Oshtemo Charter Township Board
From: Julie Johnston, AICP
Date: August 4, 2016
Mtg. Date: August 9, 2016
Subject: Sky King Meadows III – Request for Step 2 Approval

OBJECTIVE

Preliminary approval (Step 2) of the Sky King Meadows III plan.

BACKGROUND

Overview

The applicant is seeking to develop 46 single-family homes on 29.98 acres of vacant, undeveloped land immediately east of the Buckham Highlands site condominium and southwest of the Country Club Village subdivision. The property is east of 9th Street and located in the R-2 zoning district.

The applicant received Step 1 approval to develop an open space community site condominium, which is a Special Exception Use under Section 60.500 of the Zoning Ordinance. Approval for the Special Exception Use was received from the Planning Commission on November 12, 2015. In addition, the project is intended to be a site condominium developed under the procedures of 290.005: Site Condominiums of the Township's General Ordinances. The Township Board, after receiving a recommendation of approval from the Planning Commission, approved the Step 1 plan for Sky King Meadows III on January 12, 2016. Part 290.005.E indicates that the project must receive final approval of the preliminary plan from the Township Board.

Open Space

As required by the ordinance, more than 40 percent of the project site (14.22 acres or 47.4 percent of the project site) is set aside as permanent open space. This open space includes dense, wooded areas and steep slopes. It will be accessible to the property owners within the development via wood chip pedestrian trails that connect to the sidewalks located along the street rights-of-way. The appropriate legal mechanisms are needed to protect the open space in perpetuity.

Density/Site Layout

The density of an open space community is based on a parallel plan. A parallel plan is an alternate site plan developed consistent with the standards of the underlying zoning district and the

requirements for a tentative preliminary plat. The submitted parallel plan satisfies the standards of the R-2 district and demonstrates that 46 building sites can be provided on the site. The R-2 district allows for a density of approximately four dwelling units per acre, depending on utilities. The gross density proposed for this site is approximately one and a half units per acre and the approximate net density (minus roads, sanitary easement, storm water easement area, etc.) is two dwelling units per acre. Therefore the proposed 46 units satisfy the density requirements.

The Planning Commission is specifically granted the authority to waive or modify the dimensional standards within the open space community provided the modification is consistent with the goals and intent of the ordinance requirements as stated in 60.510. The deviations the Planning Commission may allow are to the minimum building site or building site area, frontage and width requirements of the underlying zoning district.

The applicant requested and received approval for the following deviations from the R-2 district:

1. The minimum building site size for the R-2 district is 10,560 square feet. The project has building sites that range in size from 7,861 to 12,844 square feet, with most building sites somewhere between 8,000 and 10,000 square feet.
2. The building site frontages within the development range from 60 to 124 linear feet, where 100 is typically required. However, the majority of the building sites are between 60 and 80 linear feet.
3. A side yard setback of five feet instead of ten feet.

Infrastructure and Circulation

The proposed project has one direct access point from 9th Street through the Buckham Highlands site condominium development. There are access difficulties with this site as it is land locked between existing development and unplatted land. The future connections to the north and east proposed in the plan will provide possibilities to improve access at a later date if development occurs in these locations. Until other properties develop, the majority of the traffic will likely access the site from 9th Street through the Buckham Highlands Condominiums via Buckham Woods Drive to Wood Hollow Avenue.

Concerns have been expressed from neighbors regarding the one access point to the proposed site. While not ideal, the design guidelines of the Site Condominium ordinance indicates the following:

Part 290.005.D.3.a.(11) – A condominium project or extension of an existing condominium project creating a total of 75 or more building sites must be developed so as to provide two or more access streets or will provide for connection to adjacent property through future street development.

The project in question is creating a total of 46 building sites, which is below the required minimum for two access points. A question was raised at the public hearing on December 10, 2015 about whether Sky King Meadows III was an extension of existing development and therefore exceeded the 75 building sites and should have at least two access points. At the meeting, it was indicated that Planning staff reviewed this project as a stand-alone development and not as an extension of existing development. However, if this site was considered an extension of existing development (Buckham Highlands and Sky King Meadows I and II) it could be argued that there are three existing access points to a major thoroughfare, Buckham Highlands, Lexy Lane and Mickey's Trail.

In addition, the proposed development provided two stub streets for future connections. The Road Commission for Kalamazoo County was provided a copy of the plan and they have no major concerns with the proposed circulation system. The Fire Marshal was consulted during an internal staff review meeting and no concerns were raised.

The development will be connected to public water and sewer facilities. A development agreement is currently being prepared for the construction of the public sanitary sewer that will serve the condominium project.

Storm water is proposed to be collected on site and directed toward the southwest corner of the property in a low area designated for infiltration. This area has a drainage agreement with Buckham Highlands, Sky King Meadows II and Sky King Meadows III. Street lighting is to be provided in accordance with Township policy. The plan should be conditioned on an agreement to add the street lights to the Township Street Light District.

Engineering Review

Final review of the preliminary site condominium plan is the second of three steps of the approval process for a site condominium development. This second step requires the Township Board to approve engineered drawings for the project. The plans have been reviewed by the Township Engineer who is satisfied that all design requirements have been met.

INFORMATION PROVIDED

- Site Plan
- Township Board Minutes for Step 1 Approval – January 12, 2016

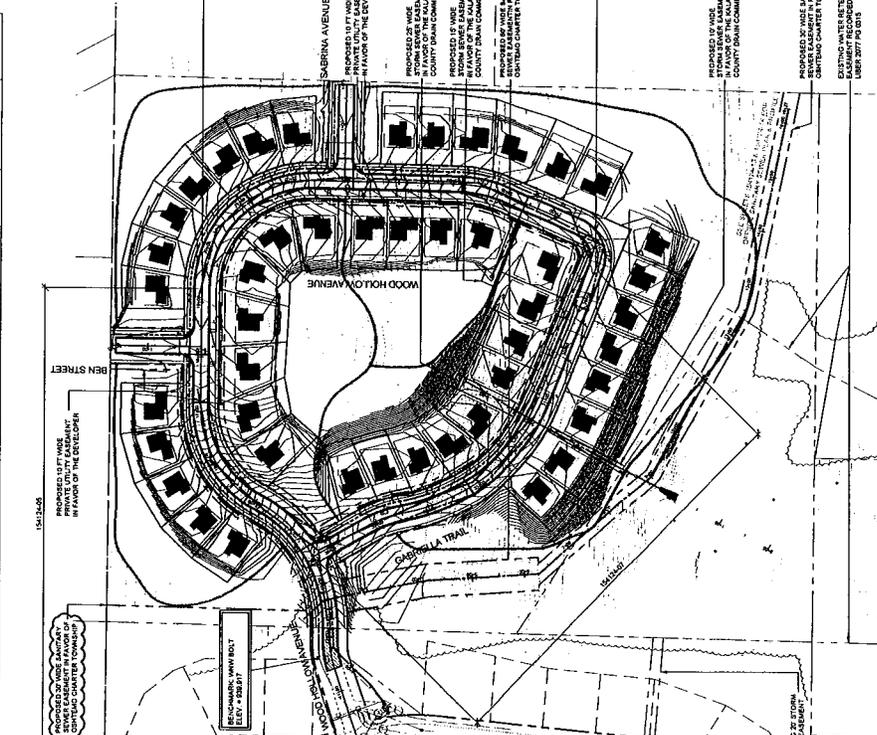
STATEMENT OF WHAT YOU ARE ASKING BOARD TO APPROVE

Township staff recommends approval of the Sky King Meadows III final preliminary plan, with the following conditions:

1. That the public sanitary sewer is contingent on both parties accepting a development agreement, which must be approved by the Township Board. (It is expected this agreement will be on the August 23rd Township Board agenda.)
2. The appropriate legal documents and conveyances necessary for the permanent protection of the open space shall be provided to the Township within 60 days of approval.
3. A letter stating that all public street lighting will be included in the Township Street Lighting District shall be provided to the Township within 60 days of approval.
4. That all necessary easements will be granted for the public water and sewer systems and that the project engineer will provide the legal descriptions necessary to document the easement agreements.
5. That the proposed sanitary sewer easement, which runs from Wood Hollow Avenue southeast through the property, will also include an easement for a possible future non-motorized trailway through the development.

Curve Table Alignments

Curve #	DELTA ANGLE	DEGREE OF CURVE - ARC	DEGREE OF CURVE - CHORD	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH	EXTERNAL TANGENT	MO. COORDINATE
C1	096°00'00"	096°29'35"	112°39'07"	307.39.07E	60.00	64.25	64.85	60.00	11.274
C2	079°29'35"	079°29'35"	079°29'35"	534.48.07E	200.00	346.80	324.54	190.43	42.258
C3	019°22'46"	029°38'52"	029°37'11"	514.48.24E	200.00	67.64	67.32	54.15	2.853
C4	019°22'46"	034°42'36"	032°04'46"	502.24.55E	105.00	51.88	51.87	26.18	2.035
C5	030°15'18"	027°15'00"	023°04'20"	644.02.30E	200.00	143.02	133.29	66.15	6.847
C6	002°39'17"	002°39'17"	002°39'17"	1852.48.07E	200.00	243.63	238.14	121.68	29.217
C7	002°39'17"	002°39'17"	002°39'17"	544.13.72W	200.00	134.06	124.16	201.68	29.249
C8	031°46'29"	022°59'00"	023°04'20"	511.42.232W	200.00	141.91	124.09	47.86	4.482



KEY PLAN
 1" = 100'

CONTRACTOR IN SETTING CASTINGS TO THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING.

IF A CASTING IS BUILT AS OUT OF TOLERANCE, THE CONTRACTOR SHALL RE-BUILD THE CASTING. AS PLACED THEREIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING.

PROPOSED STREET LIGHTING SHALL BE AS FOLLOWS FROM THE BACK OF CURB TO THE FRONT OF CURB. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING.

ALL WORK SHALL BE WARRANTED BY THE CONTRACTOR FOR THE FULL TERM OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING.

FOR TO MEASURE, TESTING AND OBSERVATION OF THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING.

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ALL NEW ROADWAY INTERSECTIONS SHALL CONFORM TO THE CITY OF BIRMINGHAM STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING.

QUANTITY EXCEPT IN THE CASE OF A DESIGN CHANGE OR ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING.

ALL SIZES FOR DIMENSIONS AND DETAILS ARE BASED ON THE STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT GRADE AND MATCHING TO THE ADJACENT PAVING.

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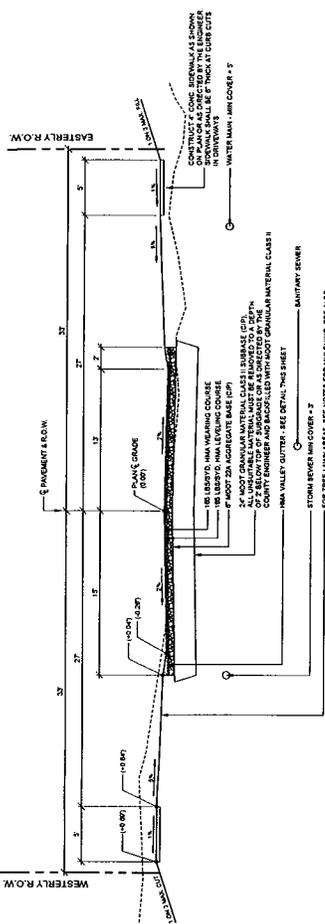
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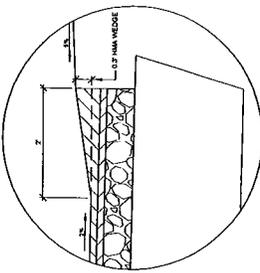
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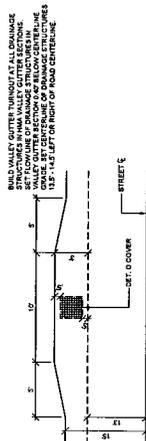
TYPICAL PAVEMENT SECTION
 SCALE: 1/2\"/>

ITEM	AWI	YIELD	PERFORMANCE GRADE
HMA 1.5\"/>			

HMA APPLICATION TABLE

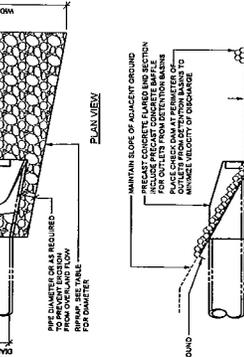


DETAIL - HMA VALLEY GUTTER
 SCALE: 1/2\"/>

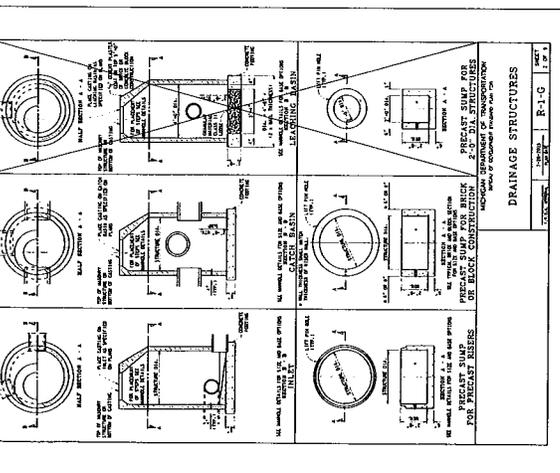


DETAIL - HMA VALLEY GUTTER DRAINAGE STRUCTURE TURNOUT
 SCALE: 1/2\"/>

PIPE DIA (IN)	DEPTH (IN)	MINIMUM COVER (IN)
12	6	8"
15	8	10"
18	10	12"
24	14	16"
30	18	20"
42	24	28"
54	30	36"
60	36	42"



SECTION VIEW
 NO SCALE

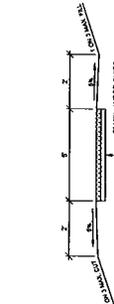


MDOT SPECIAL DETAIL - R-1-G
 SCALE: 1/2\"/>

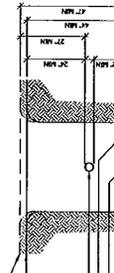
ARTICLE 8.02, SECTION 8.02.01 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2003 EDITION, SHALL APPLY TO THIS PROJECT.



TYPICAL END SECTION DETAIL
 NO SCALE



DETAIL - MOUNTABLE CONCRETE CURB AND GUTTER
 SCALE: 1/2\"/>



DETAIL - PEDESTRIAN WALKING TRAIL
 SCALE: 1/2\"/>

PROVIDE A FINISH GRADE TO BE SPECIFIED AS NEEDED BUT SHALL COMPLY WITH THE MINIMUM FINISH GRADE REQUIREMENTS OF THE DESIGNER AND OWNER.

PROVIDE A FINISH GRADE TO BE SPECIFIED AS NEEDED BUT SHALL COMPLY WITH THE MINIMUM FINISH GRADE REQUIREMENTS OF THE DESIGNER AND OWNER.

- 01 SITEWORK ACS
- 02 FOUNDATIONS ACS
- 03 EXCAVATIONS ACS
- 04 RETENTION FOR ADDITIONAL ACS
- 05 EXCAVATIONS ACS
- 06 EXCAVATIONS FOR TOWERHIP ACS
- 07 EXCAVATIONS FOR TOWERHIP ACS
- 08 EXCAVATIONS FOR TOWERHIP ACS
- 09 EXCAVATIONS FOR TOWERHIP ACS
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REVISIONS

SANITARY SEWER
 BUILDING NO. 3
 LIFT STATION #40

154124-11
 2/11



THE CHARTER TOWNSHIP OF OSHTEMO
Township Board Meeting
January 12, 2016

Township Board work session was held at the Township Hall. Supervisor Heiny-Cogswell called the meeting to order at 6:00 p.m.

PRESENT:

Supervisor Libby Heiny-Cogswell
Clerk Deb Everett
Treasurer Nancy Culp
Trustee Nancy Carr
Trustee Dusty Farmer
Trustee Zak Ford
Trustee Grant Taylor

Also present were Township Attorney James Porter, Public Works Director Marc Elliott, and 3 interested people.

Update – Kalamazoo County Sheriff’s Department – Lt. Troy Faulk provided information on recent activities in the Township.

County Commissioner Julie Rogers provided information on recent activities of the County Board.

Update – 10th Street and KL Avenue Non-motorized Projects – Supervisor Heiny-Cogswell and Public Works Director Elliott provided information regarding the meeting with residents.

2016 Road Projects – a list of recommended road projects was reviewed.
Motion by Farmer, second by Taylor to authorize the Supervisor to submit the list to the Road Commission of Kalamazoo County for inclusion in their bid letting for 2016. Carried 7-0.

The Board work session adjourned at approximately 6:50 p.m.

Supervisor Heiny-Cogswell called the regular meeting to order at 7:00 p.m.

PRESENT:

Supervisor Libby Heiny-Cogswell
Clerk Deb Everett
Treasurer Nancy Culp
Trustee Nancy Carr
Trustee Dusty Farmer
Trustee Zak Ford
Trustee Grant Taylor

Also present were Township Attorney James Porter, Public Works Director Marc Elliott, Fire Chief Mark Barnes, Planning Director Julie Johnston, and approximately 25 interested people.

CONSENT AGENDA

- a) Minutes of the December 8th regular meeting and December 29th special meeting.
- b) Receipts & Disbursements Report.
- c) 2016 Board & Committee Appointments.
- d) Alamo Township membership in Kalamazoo Valley Intergovernmental Ambulance Agreement.

Motion by Taylor, second by Farmer to approve the consent agenda. Carried 7-0.

CITIZEN COMMENTS

Julie Rogers, Kalamazoo County Commissioner advised the County has available to all residents a prescription discount card.

Jim Lefler, 8644 Hathaway, commented he was encouraged to hear in the work session the Board is looking at roads; the number one priority in the citizen survey was roads and hopes the Board will continue to look at more road funding.

PRESENTATION TO CAPT CHIP EVERETT

Fire Department Capt. Chip Everett was presented with Chief Training Officer (CTO) designation by the Center for Public Safety Excellence. Fire Chief Barnes noted there are only 76 such designations nationwide, Capt. Everett becomes the fourth in the State of Michigan.

SKY KING MEADOWS III – STEP 1 TENTATIVE PRELIMINARY PLAN

Planning Director Johnston presented a recommendation from the Planning Commission to grant tentative preliminary approval of Sky King Meadows, Phase III. She advised the development would consist of 46 single family homes on 29.98 acres east of the Buckham Highlands site condominium on South 9th Street. She further advised the applicant is proposing to develop an open space community which requires at least 40 percent of the gross acreage be designated as open space; the proposed development has 47.7 percent. Planning Commission approval was granted subject to the site plan/final preliminary plan, consistent with the approved concept plan/tentative preliminary plan, shall be submitted for approval within one year, the appropriate legal documents and conveyances necessary for the permanent protection of the open space are provided to the Township with the site plan/final preliminary plan approval, the requested modifications to the minimum building site size (less the 10,560 square feet), frontage (less than 100 linear feet) and side yard setback (5 feet as opposed to 10 feet) satisfy the intent of the open space community requirements, the storm water system will require a review by the Township Engineer for final preliminary plan approval and shall comply with all applicable County requirements, sanitary sewer will connect to the existing system on the adjoining undeveloped property to the east contingent upon the Township obtaining the required easements, specific details of the proposed street lighting will be provided at final preliminary plan and reviewed by the Township Engineer to ensure compliance with Township ordinance, and the final preliminary plan shall be reviewed and approved by the Township Engineer and Fire Department.

In response to Board members questions, Ms. Johnston advised the development meets the requirements for access, three access points are Mickey's Trail, Lexy Lane, and Buckham Woods Drive, public comment at the Planning Commission were concerns with access, especially construction traffic, and storm water and drainage will be reviewed in Step 2 with engineered drawings.

David Kingsley, Buckham Highlands resident, had concerns with construction traffic and possible damage to the roads and inquired if the developer can be required to be financially responsible for any damage. He was also concerned about increased traffic being a safety concern to the children in the neighborhood once the development is completed.

Attorney Porter advised the roads are public; the Road Commission can be notified to monitor the construction traffic for weight limits.

In response to Board members questions, Ms. Johnston advised a request could be made to the developer to distribute the construction traffic using other access points, the goal of good planning is to insure connection, and if the Step II plan differs from Step I as approved, it would have to go back to the Planning Commission.

Motion by Carr, second by Farmer to grant Step I Tentative Preliminary Plan approval subject to the conditions of the Planning Commission approval. Carried 7-0.

TUSCANY EAST – PRELIMINARY PLAT – STEP II

Planning Director Johnston presented a recommendation to grant preliminary plat approval to Tuscany East, a 25 lot subdivision located on the south side of L Avenue on approximately 25 acres between VanKal and 2nd Street immediately east of the existing Tuscany subdivision. She advised proposed lots meet the ordinance requirements, the existing public road will continue into the new subdivision with a new road providing access to the new lots, the development will be served by private well and septic systems, sidewalks and street lights will be included.

Ms. Johnston further advised Planning staff recommend approval subject to general notes of the developers engineer and surveyor should match, plan illustrating building envelopes with well and septic require updating to reflect changes from the Health Department for lots 6 and 13, correcting labeling of streets on the plan, plan should clarify location of concrete curbs, custom sidewalk and ramp detail noting construction will be completed prior to acceptance of the plat, construction detail is needed for overflow to the main storm basin, protection to keep disturbed sediments from entering storm water system, soil borings be provided for pavement design and storm water management system, the applicant shall have two years to submit a final plan for approval or request for extension, details of street lighting to be reviewed by Township Engineer, and final plan reviewed and approved by Township Engineer and Fire Department.

Motion by Taylor, second by Carr to grant Step II Preliminary Plat approval subject to conditions recommended by Planning staff. Carried 6-1 with Farmer voting no.

WEST PORT VILLAGE I – VARIANCE REQUEST

Planning Director Johnston presented a request from the developer for a variance from the ordinance requirements regarding sidewalks for West Port Village I. She advised approval was granted in 2005, sidewalks poured were noncompliant with Township specifications. She noted Township inspections were not consistent and the sidewalk issue was not addressed early in the development process and while requirements have not changed, staff is sympathetic to the cost of replacing driveways at existing homes. She advised staff recommends granting a variance for sidewalks in Phase I on West Port Drive and Stone Valley Lane, noting sidewalks on Harborview Pass have not yet been constructed and could meet current standards; this option seems the most equitable and best option with regards to on-site aesthetics and continuity of development.

Attorney Porter commented he would recommend the Board not deny the request; the Township has a certain amount of culpability with issues due to transition in Planning staff.

In response to board members questions, Ms. Johnston advised the variance does not apply to the width of the sidewalks but for the portion not placed through the driveways, when Phase II review was before the Planning Commission a condition of approval was sidewalks be completed in Phase I before construction can begin on Phase II; the developer will provide an escrow or performance bond to complete the sidewalks in Phase I before Phase II comes to the Township Board for approval. She also advised staff will work with the developer to insure the slope meets ADA requirements.

Trustee Farmer commented that while she does not support denying the variance request there is responsibility on the part of the developer to work with Planning staff and follow Township requirements. Ms. Johnston advised there is now in place a sidewalk permit process with inspections conducted by the Township Ordinance Enforcement Officer.

Motion by Carr, second by Heiny-Cogswell to grant a variance for sidewalks within Phase I on West Port Drive and Stone Valley Lane. Carried 7-0.

WEST PORT VILLAGE II – TENTATIVE PRELIMINARY PLAN – STEP I

Planning Director Johnston presented a recommendation from the Planning Commission for tentative preliminary approval for West Port Village II, a site condominium development on the south side of H Avenue between Drake Road and US 131, Phase II will consist of 27 building sites served by private streets and public sewer and water. She advised the Planning Commission approved modification of the conceptual plan to allow for three phases instead of the original two, and approved Phase II subject to all sidewalks being built in Phase I where existing homes are located prior to commencement of Phase II, or a performance bond or escrow established, sidewalks shall be allowed to be four feet in width but shall meet Township specifications for sidewalks at driveway crossings, and all previous approvals, amendments, and conditions granted by the Planning Commission remain in effect unless modified by the Planning Commission or Township Board.

Motion by Farmer, second by Taylor to grant Step I Tentative Preliminary Plan approval for West Port Village Phase II with three conditions of the Planning Commission approval. Carried 7-0.

NON-DISCHARGE OF FIREARMS

Attorney Porter requested authorization by the Board to seek an Attorney General opinion regarding the Township's authority to establish non-discharge of firearms areas. He recalled a citizen raised a concern when a bullet came through his window last summer. He also noted a request to the DNR to work cooperatively has not been granted, and another incident has been reported.

Margaret Masuzawa, 331 West Ridge Circle, asked for clarification of "non discharge". Attorney Porter advised the request is to address prohibiting shooting of any kind, hunting or target, in certain areas.

Motion by Taylor, second by Carr to request assistance from our State Senator to seek an Attorney General opinion regarding Township authority in establishing no discharge of firearms areas. Carried 7-0.

SANITARY SEWER ORDINANCE AMENDMENTS – SECOND READING

Proposed amendments to the Wastewater Service Ordinance were before the Board for Second Reading. Mandatory connection would be triggered when a septic system fails or reaches 15 years of age, provided public sewer is reasonably available (the State standard being within 200 feet) the Township would establish policies for notification and financing including developing a capital improvement strategy to install sewer along with road improvements which help reduce the cost of connection to sewer. The proposed amendment would provide a two year notice to property owners of mandatory connection.

Trustee Carr commented she is not in favor of the mandatory 15 year connection requirement, a septic system is still young at 15 years and can live on if maintained, the ordinance could require inspection after 15 years or at point of sale and it is also a financial burden, the Township could put the sewer lines in but not require mandatory hook up. She also commented city sewer lines can also have problems such as the recent Greystone plat and Crystal Lane issues.

Trustee Taylor commented the 15 year timeframe was based on financing projects; connections are needed to pay for the projects.

Trustee Farmer commented the ordinance amendments do not address financing, there is evidence the average life of a septic system is 15 years which is what board discussion and decision focused on, not financing.

Supervisor Heiny-Cogswell commented policies for financing will be considered, consensus of the Board was to make it as affordable as possible. She advised a meeting with 10th Street residents was held, a lot of questions were answered regarding the proposed 10th Street project and the Township's strategic plan, at the end of the meeting a resident who had submitted a letter indicating they were not in favor advised others they could lock in the rate and pay it off over time. She also provided a letter from a resident in the West Port neighborhood that commented if the ordinance is not passed no one will ever have sewer, and there was also a letter of support from the Kalamazoo Public Library. Supervisor Heiny-Cogswell also commented she would be personally be impacted as her neighborhood needs sewer. She also commented the Township needs to be proactive and have a plan and policy in place for development that has already occurred and yet to occur.

Dan Thompson, 105 Echo Hills Drive, inquired if 10th Street project will affect the West Port neighborhood or just 10th Street. He commented he connected to sewer last fall, it is expensive, he supports the need but there should be some flexibility.

Richard Cherry, 6364 Winddrift, commented this is a contentious issue, he has lived here for three years and was not aware the house had septic, he is concerned with what is now in his backyard, not everyone keeps their septic tank maintained and ground water is effected by those who do not; sewer is a natural evolution of infrastructure needs, he agrees there is a financial burden but if financed correctly can be tackled; he would rather have clean water.

Motion by Farmer, second by Taylor to adopt the ordinance amendments. Carried 6-1 with Carr voting no.

SIGN ORDINANCE TEXT AMENDMENTS – SECOND READING

A recommendation from the Planning Commission to amend the Sign Ordinance was before the Board for Second Reading. The changes would treat financial institutions like other commercial uses in the "C" zoning district and non-residential uses in the "R-3" district. The amendment would also allow an increase in the percentage of changeable copy or electronic display and provide means to monitor the level of illumination.

Motion by Taylor, second by Farmer to adopt the text amendments. Carried 7-0.

BOARD MEMBER COMMENTS

Supervisor Heiny-Cogswell thanked the Board for approval of board and committee appointments noting there are still some openings and encouraged citizens to apply.

There was no further business and the meeting was adjourned at approximately 9:10 p.m.

DEBORAH L. EVERETT
Township Clerk

Attested: ELIZABETH HEINY-COGSWELL
Supervisor

Memo



To: Oshtemo Charter Township Board

From: James W. Porter

Date: July 25, 2016

Subject: Resolution Establishing a Moratorium on Subdivision/Site Condominium Development Within the "RR" Rural Residential District

OBJECTIVE

To place a moratorium on subdivision/site condominium development in the "RR" Rural Residential Zoning District.

BACKGROUND

The Board was unhappy with the need to approve the Mystic Heights development in the "RR" Rural Residential Zoning District.

INFORMATION PROVIDED

Proposed Resolution establishing a six-month moratorium on subdivision/site condominium development in the "RR" Rural Residential Zoning District.

STATEMENT OF WHAT YOU ARE ASKING BOARD TO APPROVE

To approve the attached Resolution.

CHARTER TOWNSHIP OF OSHTEMO
KALAMAZOO COUNTY, MICHIGAN

**RESOLUTION ESTABLISHING A MORATORIUM ON
SUBDIVISION/SITE CONDOMINIUM DEVELOPMENT
WITHIN THE "RR" RURAL RESIDENTIAL DISTRICT**

August 9, 2016

WHEREAS, the Board believes that the Zoning Ordinance and Subdivision/Site Condominium Ordinance do not fully incorporate the goals and objectives of the Township Master Plan last updated in 2012; and

WHEREAS, the Township's Master Plan serves as a guide for development of the Township's Zoning Ordinance and Subdivision/Site Condominium Ordinances; and

WHEREAS, the Township is in the process of updating its Zoning Ordinance and its Subdivision/Site Condominium Ordinance to better reflect that the development envisioned in its Master Plan.

NOW, THEREFORE, BE IT HEREBY RESOLVED that the Township shall impose a six-month moratorium from the date of the enactment of this Resolution for subdivision or site condominium developments within the "RR" Rural Residential District of the Township, or until such time as the Township has had an opportunity to review and revise its Zoning Ordinance and/or Subdivision/Site Condominium Ordinance to properly reflect the type of development it wishes to see within the Rural Residential Zoning District.

A motion was made by _____, seconded by _____ to adopt the foregoing Resolution.

Upon a roll call vote, the following voted "Aye":

The following voted "Nay":

The following "Abstained":

The Supervisor declared that the Resolution has been adopted by at least 2/3 of the members of the Board.

DEBORAH L. EVERETT, Clerk
Oshtemo Charter Township

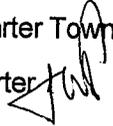
CERTIFICATE

I hereby certify that the foregoing constitutes a true and complete copy of an Excerpt of the Minutes of a regular meeting of the Oshtemo Charter Township Board, held on August 9, 2016, at which meeting _____ members were present and voted upon the same as indicated in said Minutes; that said meeting was held in accordance with the Open Meetings Act of the State of Michigan.

DEBORAH L. EVERETT, Township Clerk

Memo



To: Oshtemo Charter Township Board
From: James W. Porter 
Date: July 26, 2016
Subject: Hinkle Properties, L.L.C.
One Way Products, Inc.
Issuance of Industrial Facilities Tax Exemption Certificate

OBJECTIVE

To issue an Industrial Facilities Tax Exemption Certificate for Hinkle Properties, L.L.C. and One Way Products, Inc. pursuant to their request for an Industrial Facilities Exemption Certificate.

BACKGROUND

Isaac Hinkle, of Hinkle Properties, L.L.C. and One Way Products, Inc., is purchasing property in Oshtemo Charter Township on West KL Avenue. Pursuant to Public Act 198 of 1974, he has requested that the Township issue an Industrial Facilities Tax Exemption Certificate. At its meeting of July 12, 2016, the Board established the Industrial Development District covering the property of Hinkle Properties, L.L.C. and One Way Products, Inc.

INFORMATION PROVIDED

Attached hereto is a copy of the Application for Industrial Facilities Tax Exemption Certificate.

Also attached is a copy of the Notice of Hearing on Issuance of an Industrial Facilities Tax Exemption Certificate which will be published in the Gazette on July 28, 2016, and which was served upon all of the parties listed in the Notice.

Also attached is the proposed Excerpt of Minutes for the August 9 Township Board meeting.

STATEMENT OF WHAT YOU ARE ASKING BOARD TO APPROVE

Approve the resolution to issue an Industrial Facilities Tax Exemption Certificate for Hinkle Properties, L.L.C. and One Way Products, Inc.

Application for Industrial Facilities Tax Exemption Certificate

Issued under authority of Public Act 198 of 1974, as amended. Filing is mandatory.

INSTRUCTIONS: File the original and two copies of this form and the required attachments (three complete sets) with the clerk of the local government unit. The State Tax Commission (STC) requires two complete sets (one original and one copy). One copy is retained by the clerk. If you have any questions regarding the completion of this form, call (517) 373-3302.

To be completed by Clerk of Local Government Unit	
Signature of Clerk	▶ Date Received by Local Unit
STC Use Only	
▶ Application Number	▶ Date Received by STC

APPLICANT INFORMATION
All boxes must be completed.

▶ 1a. Company Name (Applicant must be the occupant/operator of the facility) One Way Products, Inc.		▶ 1b. Standard Industrial Classification (SIC) Code - Sec. 2(10) (4 or 6 Digit Code) 5087	
▶ 1c. Facility Address (City, State, ZIP Code) (real and/or personal property location) 6000 W. KL Ave (Approx Address)		▶ 1d. City/Township/Village (indicate which) Kalamazoo	▶ 1e. County Kalamazoo
▶ 2. Type of Approval Requested <input checked="" type="checkbox"/> New (Sec. 2(5)) <input type="checkbox"/> Transfer <input type="checkbox"/> Speculative Building (Sec. 3(8)) <input type="checkbox"/> Rehabilitation (Sec. 3(6)) <input type="checkbox"/> Research and Development (Sec. 2(10)) <input type="checkbox"/> Increase/Amendment		▶ 3a. School District where facility is located Kalamazoo	▶ 3b. School Code 39010
		4. Amount of years requested for exemption (1-12 Years) 12	
5. Per section 5, the application shall contain or be accompanied by a general description of the facility and a general description of the proposed use of the facility, the general nature and extent of the restoration, replacement, or construction to be undertaken, a descriptive list of the equipment that will be part of the facility. Attach additional page(s) if more room is needed. The property will be used for a new 30,000 square ft. production and distribution facility. One Way Products manufactures and distributes environmentally preferred cleaning products and maintenance supplies. The facility will have approx. 25,000 square feet of production and warehouse space and approx. 5000 square feet of office space.			
6a. Cost of land and building improvements (excluding cost of land)		▶ <u>3,000,000</u> Real Property Costs	
* Attach list of improvements and associated costs. * Also attach a copy of building permit if project has already begun.			
6b. Cost of machinery, equipment, furniture and fixtures		▶ <u>510,249</u> Personal Property Costs	
* Attach itemized listing with month, day and year of beginning of installation, plus total			
6c. Total Project Costs		▶ <u>3,510,249</u> Total of Real & Personal Costs	
* Round Costs to Nearest Dollar			
7. Indicate the time schedule for start and finish of construction and equipment installation. Projects must be completed within a two year period of the effective date of the certificate unless otherwise approved by the STC.			
	Begin Date (M/D/Y)	End Date (M/D/Y)	
Real Property Improvements	▶ <u>10/1/16</u>	<u>9/30/17</u>	▶ <input checked="" type="checkbox"/> Owned <input type="checkbox"/> Leased
Personal Property Improvements	▶ <u>3/1/17</u>	<u>9/30/17</u>	▶ <input checked="" type="checkbox"/> Owned <input type="checkbox"/> Leased
▶ 8. Are State Education Taxes reduced or abated by the Michigan Economic Development Corporation (MEDC)? If yes, applicant must attach a signed MEDC Letter of Commitment to receive this exemption. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
▶ 9. No. of existing jobs at this facility that will be retained as a result of this project. 26		▶ 10. No. of new jobs at this facility expected to create within 2 years of completion. 10	
11. Rehabilitation applications only: Complete a, b and c of this section. You must attach the assessor's statement of SEV for the entire plant rehabilitation district and obsolescence statement for property. The Taxable Value (TV) data below must be as of December 31 of the year prior to the rehabilitation.			
a. TV of Real Property (excluding land)		_____	
b. TV of Personal Property (excluding inventory)		_____	
c. Total TV		_____	
▶ 12a Check the type of District the facility is located in: <input checked="" type="checkbox"/> Industrial Development District <input type="checkbox"/> Plant Rehabilitation District			
▶ 12b. Date district was established by local government unit (contact local unit) July 22, 2016		▶ 12c. Is this application for a speculative building (Sec. 3(8))? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

APPLICANT CERTIFICATION - complete all boxes.

The undersigned, authorized officer of the company making this application certifies that, to the best of his/her knowledge, no information contained herein or in the attachments hereto is false in any way and that all are truly descriptive of the industrial property for which this application is being submitted.

It is further certified that the undersigned is familiar with the provisions of P.A. 198 of 1974, as amended, being Sections 207.551 to 207.572, inclusive, of the Michigan Compiled Laws; and to the best of his/her knowledge and belief, (s)he has complied or will be able to comply with all of the requirements thereof which are prerequisite to the approval of the application by the local unit of government and the issuance of an Industrial Facilities Exemption Certificate by the State Tax Commission.

13a. Preparer Name Isaac Hinkle	13b. Telephone Number 269-343-3772	13c. Fax Number 269-344-6716	13d. E-mail Address isaac@onewayproducts.c
14a. Name of Contact Person Isaac Hinkle	14b. Telephone Number 269-343-3772	14c. Fax Number 268-344-6716	14d. E-mail Address isaac@onewayproducts.c
▶ 15a. Name of Company Officer (No Authorized Agents) Isaac Hinkle			
15b. Signature of Company Officer (No Authorized Agents) <i>Isaac Hinkle</i>		15c. Fax Number 269-344-6716	15d. Date 7/6/2016
▶ 15e. Mailing Address (Street, City, State, ZIP Code) 433 E. Ransom Street		15f. Telephone Number 269-343-3772	15g. E-mail Address isaac@onewayproducts.c

LOCAL GOVERNMENT ACTION & CERTIFICATION - complete all boxes.

This section must be completed by the clerk of the local governing unit before submitting application to the State Tax Commission. Check items on file at the Local Unit and those included with the submittal.

▶ 16. Action taken by local government unit <input type="checkbox"/> Abatement Approved for _____ Yrs Real (1-12), _____ Yrs Pers (1-12) After Completion <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Denied (Include Resolution Denying)	16b. The State Tax Commission Requires the following documents be filed for an administratively complete application: Check or Indicate N/A if Not Applicable <input type="checkbox"/> 1. Original Application plus attachments, and one complete copy <input type="checkbox"/> 2. Resolution establishing district <input type="checkbox"/> 3. Resolution approving/denying application. <input type="checkbox"/> 4. Letter of Agreement (Signed by local unit and applicant) <input type="checkbox"/> 5. Affidavit of Fees (Signed by local unit and applicant) <input type="checkbox"/> 6. Building Permit for real improvements if project has already begun <input type="checkbox"/> 7. Equipment List with dates of beginning of installation <input type="checkbox"/> 8. Form 3222 (if applicable) <input type="checkbox"/> 9. Speculative building resolution and affidavits (if applicable)
16a. Documents Required to be on file with the Local Unit Check or Indicate N/A if Not Applicable <input type="checkbox"/> 1. Notice to the public prior to hearing establishing a district. <input type="checkbox"/> 2. Notice to taxing authorities of opportunity for a hearing. <input type="checkbox"/> 3. List of taxing authorities notified for district and application action. <input type="checkbox"/> 4. Lease Agreement showing applicants tax liability.	
16c. LUCI Code	16d. School Code
17. Name of Local Government Body	▶ 18. Date of Resolution Approving/Denying this Application

Attached hereto is an original application and all documents listed in 16b. I also certify that all documents listed in 16a are on file at the local unit for inspection at any time, and that any leases show sufficient tax liability.

19a. Signature of Clerk	19b. Name of Clerk	19c. E-mail Address
19d. Clerk's Mailing Address (Street, City, State, ZIP Code)		
19e. Telephone Number	19f. Fax Number	

State Tax Commission Rule Number 57: Complete applications approved by the local unit and received by the State Tax Commission by October 31 each year will be acted upon by December 31. Applications received after October 31 may be acted upon in the following year.

Local Unit: Mail one original and one copy of the completed application and all required attachments to:

**Michigan Department of Treasury
State Tax Commission
PO Box 30471
Lansing, MI 48909**

(For guaranteed receipt by the STC, it is recommended that applications are sent by certified mail.)

STC USE ONLY				
▶ LUCI Code	▶ Begin Date Real	▶ Begin Date Personal	▶ End Date Real	▶ End Date Personal

CHARTER TOWNSHIP OF OSHTEMO
KALAMAZOO COUNTY, MICHIGAN

NOTICE OF HEARING ON THE ISSUANCE OF
INDUSTRIAL FACILITIES TAX EXEMPTION CERTIFICATE

TO: Elizabeth Heiny-Cogswell, Supervisor and Assessing Officer of Oshtemo Charter Township, 7275 West Main Street, Kalamazoo, Michigan 49009

Kristine Biddle, Assessing Officer of Oshtemo Charter Township, 7275 West Main Street, Kalamazoo, Michigan 49009

Kalamazoo County Board of Commissioners, c/o Timothy Snow, Clerk, County Administration Building, 201 West Kalamazoo Avenue, Kalamazoo, Michigan 49007

Kalamazoo County School District No. 1, Board of Education, c/o Dr. Michael Rice, Superintendent, Administration Building, 1220 Howard Street, Kalamazoo, Michigan 49001

Kalamazoo Valley Community College, Board of Trustees, c/o Dr. Marilyn J. Schlack, President, 6767 West O Avenue, Kalamazoo, Michigan 49009

Kalamazoo Regional Educational Service Agency - KRESA, Board of Education, c/o Dr. David Campbell, Superintendent, 1819 Milham Road, Portage, Michigan 49002

Kalamazoo Public Library, c/o Ann Rohrbaugh, Director, 315 South Rose Street, Kalamazoo, Michigan 49007

Isaac Hinkle, Hinkle Properties, L.L.C, d/b/a One Way Products, Inc., 433 E. Ransom Street, Kalamazoo, Michigan 49007

Isaac Hinkle, President, One Way Products, Inc., 433 E. Ransom Street, Kalamazoo, Michigan 49007

and Residents and Taxpayers of Oshtemo Charter Township

PLEASE TAKE NOTICE that, on the Township's initiative and upon the request of Isaac Hinkle, President of One Way Products, Inc. and Owner of Hinkle Properties L.L.C., 433 E. Ransom Street, Kalamazoo, Michigan 49009, Oshtemo Charter Township established an Industrial Development District on July 12, 2016, consisting of the following described real property in Land Sections 23 and 24, at approximately 6000 West KL Avenue, Kalamazoo, Michigan, within the Township:

THE EAST 456.45 FEET OF THE FOLLOWING DESCRIBED PROPERTY,
EXCEPTING THEREFROM THE NORTH 103 FEET OF THE WEST 145.99
FEET:

A PARCEL OF LAND SITUATED IN THE SOUTHEAST QUARTER OF SECTION 23 AND THE SOUTHWEST QUARTER OF SECTION 24, T. 2 S., R. 12 W., OSHTEMO TOWNSHIP, KALAMAZOO COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE EAST QUARTER POST OF SECTION 23, T. 2 S., R. 12 W., OSHTEMO TOWNSHIP, KALAMAZOO COUNTY, MICHIGAN, THENCE WEST ALONG THE EAST-WEST QUARTER LINE OF SAID SECTION 23, 54.01 FEET; THENCE S. 0°24'50" WEST 756.48 FEET TO THE NORTHERLY LINE OF THE PENN CENTRAL TRANSPORTATION COMPANY RIGHT-OF-WAY (FORMERLY N.Y.C.-R.R. CO. AND M.C.-R.R. CO.) THENCE SOUTH 80°34'05" EAST ALONG THE SAID NORTHERLY RIGHT-OF-WAY, 516.73 FEET TO A POINT BEING 200.00 FEET DUE WEST FROM THE EAST LINE OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, T. 2 S., R 12 W.; THENCE NORTH 0°24'50" EAST, PARALLEL WITH AND 200.00 FEET FROM THE EAST LINE OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 24, 850.51 FEET TO THE EAST-WEST QUARTER LINE OF SAID SECTION 24; THENCE SOUTH 88°49'00" WEST ALONG THE EAST-WEST QUARTER LINE OF SAID SECTION 24, 456.45 FEET TO THE WEST QUARTER POST OF SAID SECTION 24 AND THE PLACE OF BEGINNING.

SUBJECT TO SURVEY.

SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

PLEASE TAKE FURTHER NOTICE that Isaac Hinkle on behalf of Hinkle Properties, L.L.C. and One Way Products, Inc. has filed an application for an Industrial Facilities Tax Exemption Certificate with land and building cost of \$3,000,000, personal property cost of \$510,249, for a total project cost of \$3,510,249.

PLEASE TAKE FURTHER NOTICE that a public hearing on the issuance of the Industrial Facilities Tax Exemption Certificate will be conducted by the Oshtemo Charter Township Board on Tuesday, August 9, 2016, commencing at 7:00 p.m. or as soon thereafter as this matter may be heard, the same to be held at the Oshtemo Charter Township Hall, 7275 West Main Street, Kalamazoo, Michigan, within the Township.

Oshtemo Charter Township will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities at the meeting/hearing upon seven (7) days' notice to the Oshtemo Charter Township Clerk. Individuals with disabilities requiring auxiliary aids or services should contact the Oshtemo Charter Township by writing or calling the Township.

All interested persons are invited to be present at the aforesaid time and place to comment upon the issuance of an Industrial Facilities Tax Exemption Certificate.

DEBORAH L. EVERETT, Clerk
Oshtemo Charter Township
7275 West Main Street
Kalamazoo, Michigan 49009
(269) 375-4260

**CHARTER TOWNSHIP OF OSHTEMO
KALAMAZOO COUNTY, MICHIGAN**

**EXCERPT OF MINUTES OF REGULAR BOARD MEETING
HELD AUGUST 9, 2016**

**RESOLUTION FOR HINKLE PROPERTIES, L.L.C.
d/b/a ONE WAY PRODUCTS, INC.
INDUSTRIAL FACILITIES TAX EXEMPTION CERTIFICATION**

WHEREAS, Hinkle Properties, L.L.C., d/b/a One Way Products, Inc. of 433 E. Ransom Street, Kalamazoo, Michigan, within the Township, has applied under the provisions of 1974 PA 198, as amended (MCL 207.551 et seq), for an Industrial Facilities Tax Exemption Certificate with respect to its proposed land and building cost located upon the following described property in Land Sections 23 and 24, in Oshtemo Charter Township:

THE EAST 456.45 FEET OF THE FOLLOWING DESCRIBED PROPERTY, EXCEPTING THEREFROM THE NORTH 103 FEET OF THE WEST 145.99 FEET:

A PARCEL OF LAND SITUATED IN THE SOUTHEAST QUARTER OF SECTION 23 AND THE SOUTHWEST QUARTER OF SECTION 24, T. 2 S., R. 12 W., OSHTEMO TOWNSHIP, KALAMAZOO COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE EAST QUARTER POST OF SECTION 23, T. 2 S., R. 12 W., OSHTEMO TOWNSHIP, KALAMAZOO COUNTY, MICHIGAN, THENCE WEST ALONG THE EAST-WEST QUARTER LINE OF SAID SECTION 23, 54.01 FEET; THENCE S. 0°24'50" WEST 756.48 FEET TO THE NORTHERLY LINE OF THE PENN CENTRAL TRANSPORTATION COMPANY RIGHT-OF-WAY (FORMERLY N.Y.C.-R.R. CO. AND M.C.-R.R. CO.) THENCE SOUTH 80°34'05" EAST ALONG THE SAID NORTHERLY RIGHT-OF-WAY, 516.73 FEET TO A POINT BEING 200.00 FEET DUE WEST FROM THE EAST LINE OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, T. 2 S., R 12 W.; THENCE NORTH 0°24'50" EAST, PARALLEL WITH AND 200.00 FEET FROM THE EAST LINE OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 24,

850.51 FEET TO THE EAST-WEST QUARTER LINE OF SAID SECTION 24; THENCE SOUTH 88°49'00" WEST ALONG THE EAST-WEST QUARTER LINE OF SAID SECTION 24, 456.45 FEET TO THE WEST QUARTER POST OF SAID SECTION 24 AND THE PLACE OF BEGINNING.

SUBJECT TO SURVEY.

SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

WHEREAS, the real property improvements are to commence on or about October 1, 2016, and are due to be completed on or about September 30, 2017; and

WHEREAS, the said real property improvements are located within an "Industrial Development District" created by the Township Board of the Charter Township of Oshtemo on July 12, 2016, in accordance with said Act 198 as amended; and

WHEREAS, a public hearing on the application for an IFT Certificate were conducted on July 12, 2016, and

WHEREAS, that the proposed real property improvements are calculated to have the reasonable likelihood to create new employment for approximately six to ten new employees as a result of this project and not merely the transferring of employment from one or more local governmental units of the State to Oshtemo Charter Township; and

WHEREAS, the aggregate state equalized value of real and personal property exempt from ad valorem taxes under 1974 PA 198, as amended, including the requested exemption of said Hinkle Properties, L.L.C., d/b/a One Way Products, Inc. does not exceed five (5%) percent of the sum of the state equalized valuation of the Charter Township of Oshtemo and the aggregate state equalized valuation exempt from ad valorem taxes under said Act for real and

personal property will not have the effect of substantially impeding the operation of any local government unit nor of impairing the financial soundness of any affected taxing unit.

NOW, THEREFORE, BE IT RESOLVED that the requested Industrial Facilities Tax Exemption Certificate be hereby approved to become effective August 9, 2016, and that, accordingly, for the next twelve (12) years, the Industrial Facilities Tax upon new land improvements and buildings shall be determined by multiplying one-half ($\frac{1}{2}$) of the total mills levied as ad valorem taxes for each of said twelve (12) years and by all taxing units within which such facility is situated by the state equalized valuation of the facility, excluding the land which shall be separately assessed and taxed in accordance with the general ad valorem tax law.

IT IS FURTHER RESOLVED that Hinkle Properties, L.L.C., d/b/a One Way Products, Inc. shall pay an application fee in the amount of \$750.00 to the Township, which fee does not exceed the actual cost of processing the application or two (2%) percent of the total property taxes abated under this Act, whichever is less.

BE IT FURTHER RESOLVED that the Township Clerk forward the application of said Hinkle Properties, L.L.C., d/b/a One Way Products, Inc., together with the within Resolution and any other necessary supporting documents, to the Michigan State Tax Commission for approval and the issuance of an Industrial Facilities Tax Exemption Certificate in accordance with said 1974 PA 198, as amended.

Motion was made by _____, seconded by _____ to adopt the foregoing Resolution.

Upon roll call vote, the following voted "Aye":

The following voted "Nay":

The following abstained:

The Supervisor declared the motion carried and the Resolution adopted.

Deborah L. Everett, Clerk
Oshtemo Charter Township

CERTIFICATE

The undersigned, as Clerk of Oshtemo Charter Township, certifies that the foregoing Resolution was duly adopted by the Township Board at a regular meeting of the Township Board held on August 9, 2016, at which meeting a quorum was present as set forth in the aforesaid Excerpt of a portion of the minutes of said meeting upon a roll call vote; that first class mail written notice was sent to said applicant and to each taxing unit having ad valorem tax jurisdiction over said land and facility, and the meeting was noticed and held in compliance with the Michigan Open Meetings Act as required by law and statute provided.

Deborah L. Everett, Clerk
Oshtemo Charter Township

Memo



To: Oshtemo Charter Township Board
From: Supervisor's Office
Date: 8/4/2016
Re: Joint Construction Code Authority (SMBA)

OBJECTIVE

For Oshtemo Charter Township to become a member of the Joint Construction Code Authority to be known as Southwest Michigan Building Authority (SMBA).

INFORMATION

The townships of Oshtemo and Cooper agreed in principle to establish SMBA to provide for joint enforcement of Michigan State enforcement code, pursuant to the Stille-Derosset-Hale Single State Construction Code Act (1972 PA 230) as amended.

The underlying concepts and goals of SMBA are as follows:

Service – a high level of service is to be provided by experienced staff, with sufficient resources, and coordinated management.

Control by local governments – direct representation by member units of government on the authority board.

Efficiency

- 1) Shared use of higher levels of technology,
- 2) Less redundancy,
- 3) Common assets and resources.

Web-based IT infrastructure and software will allow data access and communication by SMBA personnel from various locations, and will open up possibilities for on-line permit applications (available soon), drawing submittals, and follow-up by customers.

Uniformity

- 1) permit fees,
- 2) inspection procedures, and
- 3) performance expectations

will be uniformly applied throughout member locations under one managerial direction

Flexibility

- 1) The use of contractual services to supplement core staffing and management allows SMBA to adapt more easily to fluctuations in needed services and available revenues.

Scalability – more units may join and further leverage the resources SMBA has in place

Budget factors and assumptions for SMBA:

- The Interlocal agreement stipulates that expenditures are pro-rated based on revenues by local unit
- Revenues are set for each township at conservative levels based on current expectations
- Allocated payments to SMBA from townships are set so that SMBA membership is not expected to negatively affect townships: local unit expense reductions are expected to equal or exceed the revenues transferred to SMBA
- Flexibility built into the budget will be used to fullest extent possible to prevent cost overages, i.e., reduced contractual costs will offset potential reduced revenues, while continuing to provide adequate resources for high-levels of service
- The initial start-up and partial year budget allows for immediate work to commence on the authority creation, for continuity in customer service.
- One building official, one building inspector, and one clerical position are expected to be SMBA employees. Trade inspectors will be contracted.

Based upon the advantages cited in this memo, we request for your consideration for Oshtemo Charter Township to become a member of the Joint Construction Code Authority to be known as Southwest Michigan Building Authority (SMBA). To effect this, adoption of the Interlocal Agreement by Board resolution, and other following documents per the agenda, is necessary.

**INTERLOCAL STATE CONSTRUCTION CODE ENFORCEMENT
AND ADMINISTRATION AGREEMENT**

AGREEMENT, made this _____ day of _____, 2016, by and between the undersigned local units of government within the County of Kalamazoo, Michigan.

WITNESSETH:

WHEREAS, each of the undersigned local units of government has elected to administer and enforce the Michigan State Construction Code, pursuant to the Stille-Derossett-Hale Single State Construction Code Act, 1972 P.A. 230, as amended, (hereinafter referred to as the “Construction Code Act”), for regulating and controlling building construction within each of said local units of government; and

WHEREAS, it is the desire of said parties to herein provide for the joint enforcement and administration of said code(s) under the terms and conditions herein contained and in accordance with the provisions of the “Urban Cooperation Act” (1967 P.A. Ex. Sess. 7 – M.C.L.A. § 124.501 *et seq.*) as well as other pertinent laws and statutes in the State of Michigan.

NOW THEREFORE, in consideration of the premises and the covenants and conditions herein contained, it is hereby agreed by and between the parties hereto as follows:

1. Joint Construction Code Authority.

There is hereby created and established a joint construction code authority, known as Southwest Michigan Building Authority (“SMBA”), which shall be a separate legal entity governed by a Board established under Section 7 of the Urban Cooperation Act, consisting of the Clerk and Supervisor of the governing body of each participating local unit for a two-year term. The local unit Board representatives may appoint an alternate to serve on the SMBA Board when they cannot attend Board meetings. If the Board selection process results in an even-numbered Board, the selected Board members shall select one additional Board at-large member who shall be a resident of Oshtemo Township or Cooper Township.

Southwest Michigan Building Authority shall be a body corporate with authority as the Enforcing Agency of each local unit under Section 8b of the State Construction Code Act and is empowered to discharge the responsibilities of the governmental subdivisions under the Act to sue and to enjoin any violation of the Construction Code or for a fine or the imprisonment of any violator.

2. Purpose.

The purpose of said SMBA shall be, and authorization is hereby given under Section 5 of the Urban Cooperation Act, and Section 8b of the Construction Code Act, to administer and enforce the State Construction Code within the boundaries of each such unit; to enact administrative rules to carry out its functions; to hire sufficient building inspectors, contract inspectors and other personnel necessary to accomplish the foregoing; and to establish a uniform schedule of fees for the issuance of building permits and inspection of work and materials which bear a reasonable relationship to the cost and expense of the administration and enforcement of said Code(s). In addition, SMBA shall have the power to buy, own, sell or lease real or personal property, seek and receive grants, sue or be sued, invest surplus funds and any other necessary and proper matters agreed upon by the participating entities. It shall not, however, have the authority to levy any type of tax or assessment against any participating local unit or property therein.

3. Duties, Functions and Responsibilities of SMBA.

The following duties, functions and responsibilities are hereby delegated to SMBA by the respective Townships and are hereby assumed by SMBA for the benefit of said Townships.

a. *Administrative Functions.*

- (1) To provide all administrative services necessary to enforce and administer the Construction Code, including the hiring of necessary personnel and staff and the training, employment, replacement, removal, compensation and fringe benefits thereof.

- (2) To contract for any professional or other services needed to fulfill its duties and responsibilities.
- (3) To maintain books of account and proper accounting records of all funds received and disbursed in accordance with the guidelines herein contained and to submit to each participating municipality an accounting report of receipts and disbursements and the status of SMBA not less frequently than quarterly.
- (4) To open and administer bank accounts for the receipt and disbursement of funds paid to SMBA to operate in accordance with the budget adopted by the participating municipalities as hereinafter described.
- (5) To prepare an annual budget for the anticipated cost of its operation in accordance with the guidelines herein contained and to submit the same to each participating municipality for its approval on or before November 1 of each year and for the funding of its proportional share of said budget which is not covered by fees collected by SMBA for the succeeding calendar year, January 1 to December 31.

- (6) To set and collect all rates, fees and charges in connection with the functions of SMBA as the enforcing agent for the participating municipalities and to deposit such funds into appropriate accounts.
- (7) To prepare and have available for use an appropriate application form for all building, mechanical, electrical and plumbing permits.
- (8) To make all necessary inspections required under the law as the enforcing agency for the participating municipalities as provided for under Section 8b of the Construction Code Act.
- (9) To review all applications for building, plumbing, electrical and mechanical permits, as well as any building code enforcement questions, raised by the participating municipalities.
- (10) To acquire and maintain equipment, tools and supplies necessary to perform its functions and to provide for reserve funds for future acquisitions, repairs, maintenance and replacements of the same.
- (11) To comply with all local, state and federal laws and regulations pertaining to enforcement of the Construction Code.
- (12) To bond its treasurer and any person having control of any funds in such amounts as will be equivalent to the largest anticipated sum which said person or persons will have within his or her control or possession at any one time.

- (13) To obtain quarters for conducting its operations under lease or purchase or lease option.
- (14) To perform all obligations and duties required to be performed by it by the participating local units.

4. Accounting Responsibility.

SMBA shall maintain books and records of its capital investments, receipts and disbursements in accordance with acceptable accounting practices.

5. Obligations of Participating Municipalities.

All participating municipalities shall be obligated as follows:

- a. To adopt a State Construction Code Ordinance assuming the responsibility pursuant to the State Construction Code Act for administration and enforcement of said Act, and authorizing pursuant to the Urban Cooperation Act and Section 8b of the State Construction Code Act, to enter into an agreement with other governmental subdivisions for joint administration and enforcement of the Construction Code Act and the State Construction Code.

- b. To either approve or disapprove said budget on or before November 1 of each year. If the same is approved by the governing bodies of all the participating local units, the participating local units shall thereupon each be liable to contribute its proportionate share of said budget which is not covered by fees collected by SMBA. Such proportionate share shall be determined by the ratio of the dollar value of building permits issued by each participating local unit to the total dollar value of building permits issued in all participating local units for the fiscal year preceding that covered by said budget. If such proposed budget is not approved by all participating local units, the governing body of each participating local unit and the SMBA Board shall meet jointly for the purpose of developing a budget acceptable to all units. If a budget acceptable to all units cannot be determined, those units that are unwilling to accept the budget approved by a majority of the units shall cease as of the beginning of the next fiscal year to be members of SMBA (withdrawal) and shall, accordingly, not thereafter be entitled to any further administration or enforcement of the State Construction Code by said SMBA. If a majority of the units cannot agree upon a budget, the within Agreement shall terminate (termination) as of the beginning of the next fiscal year, and each unit thereafter shall be responsible for its own enforcement and administration of the State Construction Code. In either case (termination or withdrawal), any undisbursed funds and assets held by the SMBA shall be distributed as set forth in Section 10 of this Agreement.

- c. After the budget has been approved by all participating local units or by a majority of the same, such approving participating units shall pay to the treasurer of SMBA, at the beginning of each quarter, their allocated portions of such budget.
 - d. To direct all applications for building, electrical, plumbing and mechanical permits to SMBA for review and approval.
 - e. To cooperate with SMBA and other participating municipalities in providing the services and coordination of said services with the Planning, Assessing and Ordinance Enforcement Departments of the respective participating municipalities.
 - f. To promote compliance with the Michigan State Construction Code.
6. General Provisions.
- a. Any municipality not herein specifically named shall be permitted to become a participating municipality in SMBA under the conditions and obligations of the within agreement with the approval of a majority of the specifically named parties provided it assumes and pays its proportionate share of the cost of existing facilities beneficial to it as may be determined by SMBA and a majority of the named Townships and agrees to be bound by all the terms of the within agreement as to future costs, expenses, obligations and duties.

- b. This Agreement may be amended at any time by agreement of the participating municipalities, which amendment shall thereafter be binding upon all participating municipalities.
- c. This Agreement shall extend for a period of five (5) years and may be extended for successive additional five (5)-year terms by joint resolution of the governing bodies for all participating municipalities or until terminated by written termination executed by the participating municipalities.
- d. SMBA shall maintain adequate insurance coverage on all equipment and property of SMBA and against any loss or damages resulting from the negligence of its agents or employees.
- e. Any dispute arising out of or relating to this Agreement or its breach that cannot be resolved in the normal course of business will be submitted to mediation under the then-current mediation rules and procedures of [NAME OF PROVIDER].
The parties will be required to engage in a good-faith effort to settle the dispute by mediation as a condition precedent to the institution of arbitration, litigation, or other binding adjudication.
The mediation will be confidential. Unless agreed among all of the parties or required to do so by law, the parties and the mediator will not disclose to any person who is not associated with participants in the process any information regarding the process, contents, settlement terms, or outcome of the proceeding.

- f. SMBA shall be audited annually by an independent auditor who shall prepare a written report of the audit and submit the same to SMBA and all participating municipalities. The audit shall be performed by a certified public accountant selected by SMBA.

7. Board of Appeals.

A Construction Board of Appeals is hereby established consisting of seven persons appointed by the SMBA Board. Members of the Board of Appeals shall be qualified by experience or training to perform the duties of members of the Board of Appeals. The terms of the members of the Board of Appeals shall be two years and until a qualified successor is appointed.

8. Authority of Construction Board of Appeals.

The Construction Board of Appeals shall have such authority, power, rights and duties as are set forth in the uniform ordinances adopted by the participating local units as well as such power and authority as is set forth in the Construction Code Act not inconsistent with the foregoing rights, powers, duties and authority established by local ordinance and the Michigan Construction Code.

9. Effect of an Appeal to the Construction Board of Appeals and of a Decision of said Board.

The effect of an appeal to the Construction Board of Appeals and a decision of said Board shall be as set forth in the Construction Code Act and the State Construction Code where the same is effective within the participating municipalities.

10. Termination/Withdrawal.

The term of this Agreement is five (5) years as provided for in Section 6, provided that it may be extended for successive additional terms of five (5) years by joint resolution of the governing bodies for all of the participating municipalities made at any time during the last six (6) months of the term or any extension thereof. Any participating municipality may withdraw from this Agreement pursuant to Section 5d and thereby terminate its rights and duties hereunder exclusive of established financial obligation as of the last day of any established term or at any time but not less than six (6) months' notice. If SMBA should terminate pursuant to Section 5d, the participating municipalities shall be entitled to their respective share of any undistributed funds and assets held by SMBA after all expenses of SMBA have been brought to date in an amount equal to the ratio of the dollar value of building permits issued by the participating municipality to the total dollar value of the building permits issues by all participating local units in the preceding year. Once SMBA is dissolved, each municipality shall be responsible for its own enforcement and administration of the Construction Code.

IN WITNESS WHEREOF, the undersigned participating local units have executed this Agreement as of the date and day hereinbefore set forth and in pursuance of a duly-adopted resolution of the governing body of said participating local unit adopted at a duly-called meeting of said governing body on the date set forth opposite said participating unit.

OSHTEMO CHARTER TOWNSHIP
Kalamazoo County, Michigan
a municipal corporation

COOPER CHARTER TOWNSHIP
Kalamazoo County, Michigan
a municipal corporation

By: _____
Elizabeth Heiny-Cogswell
Its Supervisor

By: _____
Jeffrey R. Sorenson
Its Supervisor

By: _____
Deborah L. Everett
Its Clerk

By: _____
Bonnie L. Sytsma
Its Clerk

Pursuant to Resolution adopted
_____, 2016

Pursuant to Resolution adopted
_____, 2016

ARTICLE III

BOARD

3.01 *General Powers.* The business, property, and affairs of SMBA shall be managed by the board.

3.02 *Number.* The SMBA board shall consist of two members selected from the Supervisor, Clerk or Treasurer of the governing body of each participating local unit. The local unit Board representatives may select an alternate to serve on the SMBA Board when the elected official is unable to attend a meeting. In order to broaden the representation on the board, the selected SMBA board members shall select one additional board member who shall be a resident of Oshtemo Township or Cooper Township, also known as the at-large member. If the selected board results in an even number of board members, the at-large member shall serve as a voting member of the board. If the at-large member is not necessary to create an odd-numbered board, that at-large member shall serve as an ex officio member with authority to participate in discussions, but whose vote shall not be counted.

3.03 *Tenure.* Each board member of SMBA shall hold office for a two-year term until the member's death, resignation, or removal and may be reappointed not to exceed two consecutive terms.

3.04 *Resignation.* Any member may resign at any time by providing written notice to the participating local unit from which he/she was selected. The SMBA Board is to be alerted as soon as the member informs the local unit. The resignation will be effective on receipt and acceptance by the participating local unit.

3.05 *Board Vacancies.* A vacancy on the SMBA board of a participating local unit's representative shall be filled by that respective participating local unit. A vacancy of the at-large position shall be filled by a person from Kalamazoo County selected by the remaining members of the board.

3.06 *Regular Meetings.* The SMBA board shall meet at least quarterly on a date and time to be determined by resolution of the board.

3.07 *Special Meetings.* A special meeting of the SMBA board shall be called by the secretary on the written request of the chairman or two members of the SMBA board and on at least 24 hours' written notice to each member of the SMBA board. The notice shall designate the time, place and purpose(s) of the meeting and shall be served personally or left at the member's usual place of residence by the secretary or someone designated by the secretary. Business shall not be transacted at a special meeting of the SMBA board unless the business was stated in the notice of the meeting. However, if all members of the SMBA board are present at a special meeting, then business that might lawfully come before a regular meeting of the SMBA board may be transacted at the special meeting. Notice of special meetings of the SMBA board shall be given to the public in accordance with the Michigan Open Meetings Act.

3.08 *Meeting Minutes.* Minutes of all SMBA board meetings shall be kept in accordance with the Michigan Open Meetings Act.

3.09 *Quorum.* A majority of the board members then in office constitutes a quorum for the transaction of any business at any meeting of the board. Actions voted on by a majority of the members of the board present at a meeting where a quorum is present shall constitute authorized actions of the board.

ARTICLE IV
OFFICERS

4.01 *Number.* The officers of SMBA shall be appointed by the board. The officers shall be a chairman, a secretary, and a treasurer. There may also be such other officers as the board deems appropriate. The chairman shall be an elected official from one of the participating local units and shall be a voting member of the board. Two or more offices may be held by the same person, but such person shall not execute, acknowledge, or verify an instrument in more than one capacity if the instrument is required by law or by the chairman or by the board to be executed, acknowledged, or verified by two or more officers.

4.02 *Term of Office.* Each officer shall hold office for the two-year term appointed and until a successor is appointed and qualified. An officer may resign at any time by providing written notice to the SMBA board. Notice of resignation is effective on receipt and acceptance.

4.03 *Vacancies.* A vacancy in any office for any reason may be filled by the board.

4.04 *Chairman.* The chairman shall preside at all SMBA board meetings. The chairman shall have the power to perform duties as may be assigned by the board. If the chairman is absent or unable to perform his or her duties, the secretary shall perform the chairman's duties until the board directs otherwise. The chairman shall perform all duties incident to the office.

4.05 *Secretary.* The secretary shall (a) keep minutes of SMBA board meetings; (b) be responsible for providing oversight for noticing each board member as required by law or these bylaws; (c) be the custodian of SMBA records; (d) keep a register of the names and addresses of each officer and board member; and (e) perform all duties incident to the office and other duties assigned by the chairman or the board.

4.06 *Treasurer.* The treasurer shall (a) provide oversight of SMBA funds and securities handled by SMBA staff; (b) review the books and records of SMBA, receipts and disbursements; (c) review deposits of moneys and securities received by SMBA at such depositories in the SMBA's name that may be designated by the board; (d) ensure all required SMBA filings; and (e) other duties assigned by the chairman or the board.

ARTICLE V

SMBA DOCUMENT PROCEDURE

No SMBA documents (agreements, insurance and annuity contracts, qualified and nonqualified deferred compensation plans, checks, notes, disbursements, loans, and other debt obligations) shall be signed by any officer, designated agent, or attorney-in-fact unless authorized by the SMBA board or by these Bylaws.

ARTICLE VI
INDEMNIFICATION

6.01 *Indemnification.* SMBA will, to the fullest extent now or hereafter permitted by law and by regulations and rulings issued by the Internal Revenue Service, indemnify any board member or officer of SMBA (and, to the extent provided in a resolution of the board members or by contract, may indemnify any volunteer, employee or agent of SMBA) who was or is a party to or threatened to be made a party to any threatened, pending, or completed action, suit or proceeding by reason of the fact that the person is or was a board member, officer, volunteer, employee or agent of SMBA, or is or was serving at the request of SMBA as a board member, officer, partner, volunteer, employee or agent of another authority, partnership, joint venture, trust or other enterprise, whether for profit or not for profit, against expenses (other than taxes, penalties or expenses of correction) including attorneys' fees (which expenses may be paid by SMBA in advance of a final disposition of the action, suit or proceeding as provided by law), judgments, penalties, fines and amounts paid in settlement actually and reasonably incurred by the person in connection with the action, suit or proceeding if the person acted (or refrained from acting) in good faith and in a manner the person reasonably believed to be in or not opposed to the best interests of SMBA, and such person is either successful in his or her defense or the proceeding is terminated by settlement and such person has not acted willfully and without reasonable cause with respect to SMBA duties concerned, and with respect to any criminal action or proceedings, if the person had no reasonable cause to believe his or her conduct was unlawful.

6.02 *Rights to Continue.* This indemnification will continue as to a person who has ceased to be a board member or officer of SMBA. Indemnification may continue as to a person who has ceased to be a volunteer, employee or agent of SMBA to the extent provided in a resolution of the board members or in any contract between SMBA and the person. Any indemnification of a person who was entitled to indemnification after such person ceased to be a board member, officer, volunteer, employee or agent of SMBA will inure to the benefit of the heirs and personal representatives of that person.

6.03 *Insurance.* SMBA may purchase and maintain insurance on behalf of any person who was or is a board member, officer, employee, or agent of SMBA. The insurance may protect against any liability asserted against the person and incurred by him or her in any such capacity or arising out of his or her status as such, whether or not SMBA would have power to indemnify against liability under this Article or the laws of the State of Michigan.

6.04 *Changes in Michigan Law.* If there are any changes in the Michigan statutory provisions applicable to SMBA and relating to the subject matter of this Article, the indemnification to which any person shall be entitled shall be determined by the changed provisions, but only to the extent that the change permits SMBA to provide broader indemnification rights than the provisions permitted SMBA to provide before the change.

ARTICLE VII
COMPENSATION

When authorized by the SMBA board, a person shall be reasonably compensated for services rendered to SMBA as an officer, board member, employee, agent, or independent contractor, except as prohibited by these bylaws.

ARTICLE VIII
FISCAL YEAR

The fiscal year of SMBA shall begin on January 1st and end on the last day of December.

ARTICLE IX
AMENDMENTS

The board members at any regular or special meeting may amend or repeal these bylaws, or adopt new bylaws by vote of a majority of a quorum, if notice setting forth the terms of the proposal has been given to each board member 48 hours prior to the meeting of the board.

Memo



To: Oshtemo Charter Township Board
From: James W. Porter *JWP*
Date: August 9, 2016
Subject: Proposed Amendment to State Construction Code Ordinance

OBJECTIVE

The primary objective is to remove all references to KABA in Ordinance No. 530.

BACKGROUND

The Township adopted the State Construction Code Ordinance No. 530, which was adopted on September 11, 2012. References to KABA in Sections III, IV and V, now need to be removed. The new amendments will allow the Board to establish a Building Authority if it chooses. Should it decide not to establish an Authority, or withdraw from the Authority, the Board then would take over and establish a Building Department and exercise responsibility for enforcement and establishment of fees, as well as appointing members to a Construction Board of Appeals.

INFORMATION PROVIDED

A copy of the proposed Ordinance Amendment is attached showing the new language changes to Ordinance No. 530 highlighted in red and strikeouts through eliminated language.

STATEMENT OF WHAT YOU ARE ASKING BOARD TO APPROVE

I am asking the Board to approve for first reading the attached amendment to Ordinance No. 530.

OSHTEMO CHARTER TOWNSHIP ORDINANCE NO. _____

ADOPTED: _____, 2016

EFFECTIVE: _____, 2016

STATE CONSTRUCTION CODE ORDINANCE

This Ordinance amends the provisions of the Oshtemo Charter Township State Construction Code Ordinance No. 530 adopted on September 11, 2012, and repeals all Ordinances or parts of Ordinances in conflict.

**THE CHARTER TOWNSHIP OF OSHTEMO
KALAMAZOO COUNTY, MICHIGAN**

ORDAINS:

SECTION I. AMENDMENT TO COMPILED SECTION 274.003 DESIGNATION OF ENFORCING AGENCY. Section III. is amended to read as follows:

274.003 Designation of enforcing agency.

Sec. III.

In accordance with the Urban Cooperation Act (1967 P.A. Ex. Ses 7), Section 8b of the Construction Code Act, and other pertinent Michigan statutes, the Township ~~has~~ **is authorized to** entered into an agreement with other governmental subdivisions for the joint administration and enforcement of the Construction Code Act, the State Construction Code and this Ordinance through a separate legal entity which is **shall be a** public body corporate **established under the Urban Cooperation Act hereinafter referred to as the Authority,** ~~and is known as the Kalamazoo Area Building Authority ("KABA").~~ Consistent with that agreement, ~~t~~The Township ~~hereby may designate~~ **designates** the person(s) appointed and employed by ~~KABA~~ **the Authority** as Building Official(s) as **of** the enforcing agency to discharge the responsibility of the Township for the administration and enforcement of the Construction Code Act, the State Construction Code, and this Ordinance. **If no Authority is established, the Township Board shall establish a Building Department to administer and enforce the State Construction Code.**

SECTION II. AMENDMENT TO COMPILED SECTION 274.004 FEES. Section IV.

is amended to read as follows:

274.004 Fees.

Sec. IV.

If the Township Board, by resolution, establishes an Authority to enforce the State Construction Code, ~~the Board of Directors of KABA the Authority~~ is hereby given the authority power to establish by resolution at any public meeting a schedule of fees, rates and charges for the administration and enforcement of the Construction Code Act, the State Construction Code and this Ordinance, and for the conducting of various activities authorized by said Act/Code and this Ordinance; provided that the same shall be reasonable and bear a reasonable relationship to the cost and expense of such administration, enforcement and activity. The Board of Directors of ~~KABA the Authority~~ shall further have the right to amend by resolution the aforementioned schedule from time to time within the foregoing limits of reasonableness. **If no Authority Board is established, the Township Board shall set the fees for its Building Department.**

SECTION III. AMENDMENT TO COMPILED SECTION 274.005 CONSTRUCTION

BOARD OF APPEALS. Section V., Subsection A. and sub-paragraph (6)

are amended to read as follows:

274.005 Construction board of appeals.

Sec. V.

A. ~~General.~~ **If the Township Board establishes an Authority, There is hereby the Authority Board shall established a Construction Board of Appeals (also referred to as a "Building Board of Appeals") of seven (7) members appointed by the Board of Directors of KABA Authority as follows:**

- (1) One person who is experienced as a major general contractor.
- (2) One person who is experienced in residential construction.
- (3) One person who is a registered professional engineer or architect.
- (4) One person who is experienced in electrical contracting work.
- (5) One person who is experienced in mechanical contracting work.
- (6) Two **(2)** other persons deemed by the ~~Board of Directors of KABA Authority~~ to be qualified by training or experience to perform the duties of the Construction Board of Appeals.

If no Authority Board is established, the Township Board shall appoint the representatives of the Construction Board of Appeals.

SECTION IV. EFFECTIVE DATE. This Ordinance shall take effect upon publication after adoption in accordance with State law. All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

DEBORAH L. EVERETT, CLERK
OSHEMO CHARTER TOWNSHIP

**CHARTER TOWNSHIP OF OSHTEMO
KALAMAZOO COUNTY, MICHIGAN**

**RESOLUTION APPOINTING JERRY REITENOUR
AS THE BUILDING OFFICIAL FOR OSHTEMO CHARTER TOWNSHIP**

August 9, 2016

WHEREAS, Oshtemo Charter Township is a Member Municipality pursuant to the Interlocal State Construction Code Enforcement and Administration Agreement dated _____, 2016, and thereafter any amendments; and

WHEREAS, Oshtemo Charter Township has designated the Southwest Michigan Building Authority as the Enforcing Agency for the Township and chose to jointly enforce the State Construction Code by agreement; and

WHEREAS, the Southwest Michigan Building Authority (SMBA), as the Enforcing Agent for the Member Municipality, has hired a Building Official for purposes of overseeing SMBA and enforcement of the State Construction Code registered in compliance with the Building Officials and Inspectors Registration Act, 1986 P.A. 54; and

WHEREAS, it is necessary for the local government unit to notify the State of any change in its designation of the Building Official charged with the administration and enforcement of the Code.

NOW, THEREFORE, based upon the recommendation of the Southwest Michigan Building Authority Board, Oshtemo Charter Township does hereby designate Jerry Reitenour as its Building Official operating through SMBA as the Enforcing Agency for the Township.

A motion was made by _____ seconded by _____ to adopt the foregoing Resolution.

Upon roll-call vote, the following voted "AYE":

The following members voted "NAY":

Abstained:

Absent:

The Township Supervisor declared the motion carried, and the Resolution duly adopted.

Deborah L. Everett

CERTIFICATE

Deborah L. Everett, the duly elected and acting Clerk of Oshtemo Charter Township, hereby certifies that the foregoing is a true and correct copy of an Excerpt of the Minutes of a meeting of the Township Board held on August 9, 2016, at which a quorum was present.

Deborah L. Everett

**SOUTHWEST MICHIGAN BUILDING AUTHORITY
POSITION DESCRIPTION**

Title: **BUILDING OFFICIAL**

Reports to: **Building Authority Board**

Positions Supervised: **Building Inspectors, Building Department Clerk**

Employment Status: **Exempt**

Broad Statement of Responsibilities:

Responsible for overall direction and management of the Building Department in the enforcement of building codes and related ordinances, the issuance of related permits and the licensing of contractors within the Township to protect the health and safety of the public. Also responsible for the supervision, evaluation, discipline, and recommending hiring and discharge of all subordinate members of the department.

Specific Duties and Responsibilities

1. Receives building permit applications; reviews, checks and examines construction plans, specifications and drawings to determine building code, site plan, and related ordinance compliance with State and local codes; issues building permits, maintains appropriate building permit records.

2. Maintains appropriate staffing to ensure work is completed in a timely manner; supervises and directs Building Inspectors, Building Department Clerk and outside Electrical, Mechanical and Plumbing Inspectors; oversees and examines building plans and installation plans for electrical, mechanical and plumbing; issues permits for new construction and improvements, occupancy, etc.; assigns inspections and participates in inspections to ensure compliance with State and local regulations.

3. Oversees investigations of ordinance violation complaints and institutes action to prosecute violators of building code and zoning ordinances; represents the Township in legal matters regarding building and zoning regulation issues.

4. Participates in building inspections and issues violation notices if needed to violators; conducts occupancy inspections on both new and existing buildings, and issues permits accordingly.
5. Provides information and counsel on building code requirements to residents, builders, architects, engineers, attorneys, and Township Board of Trustees.
6. Develops annual department financial budget and monitors throughout fiscal year; provides monthly reports to Township Board of Trustees regarding department activities.
7. Oversees proper maintenance of all applications, permits, plans and correspondence regarding buildings and plats within the Township; maintains files of flood plain permits and records.
8. Attends seminars and other continuing education classes as required by State of Michigan for maintaining required certification as Building Official; maintains ongoing awareness of construction trends/new materials through trade journals and attending seminars and trade conferences.
9. Processes applications to the construction Board of Appeals; attends construction Board of Appeals meetings to respond to questions.
10. Coordinates development and construction issues with Planning Department as necessary.
11. Recommends passage or amendment of building, electrical, mechanical and plumbing codes as required; assists in developing other Building Department related ordinances and codes.
12. Performs other duties and special projects as requested.

Knowledge, Skills & Abilities:

1. High school completion plus minimum five years of relevant experience in building construction, inspection and ordinance enforcement; Plan Review and Building Inspector and Building Official level designations by the State required; comprehensive knowledge of building code enforcement principles and practices required.
2. Communication and interpersonal skills to deal effectively with Township office staff at all levels, property owners, State and local government representatives, builders, contractors and general public.

3. Supervisory skills to effectively lead building inspection and ordinance enforcement staff toward achieving departmental goals.
4. Ability to independently plan, organize, and schedule work; ability to concentrate and pay close attention to details.
5. Valid driver's license and ability to travel regularly throughout Township; ability to climb, walk and stoop while visiting building inspection sites during all seasons and all weather conditions; occasionally may require lifting boxes of materials, office supplies, files, records and equipment weighing minimum of 40 pounds to waist-high level; also requires manual dexterity to operate computer and other office equipment.

The above is intended to describe the general content of and requirements for the performance of the position. It is not to be construed as an exhaustive statement of duties, responsibilities or requirements for the position.

Effective Date: _____

Memo



To: Oshtemo Charter Township Board

From: Supervisor's Office

Date: 8/5/2016

Re: Joint Construction Code Authority (SMBA) – Board Appointments

OBJECTIVE

Oshtemo Charter Township Board appointment of two members to serve on the Southwest Michigan Building Authority Board of Directors.

INFORMATION

The townships of Oshtemo and Cooper will each appoint two members to serve on the new authority board. Recommendation is to appoint Clerk Deb Everett and Supervisor Libby Heiny-Cogswell for the two year terms.

11.2.1

Memo



To: Oshtemo Charter Township Board
From: Supervisor's Office
Date: 8/5/2016
Re: Joint Construction Code Authority (SMBA) – Startup & Partial Year Budget

OBJECTIVE

Oshtemo Charter Township Board authorization to amend the 2016 Township Budget to allocate Township funds as outlined in the following budget for startup expenditures for the Southwest Michigan Building Authority. Source of loan funds is the Oshtemo Township Building Funds.

Further authorization is requested to allow Supervisors of either Oshtemo Township or Cooper Township to sign agreements for consultants and expenditures on behalf of the new building authority and per the proposed budget, until such time as the new authority conducts its first meeting, or October 6th, whichever is earlier.

INFORMATION

The townships of Oshtemo and Cooper met and discussed the proposed costs to startup the building authority. The startup loan money is calculated based upon the historic permits issued— with 75% for Oshtemo and 25% for Cooper. The October through December revenue projections are based on a two year look back in the same months, of permit revenues from Oshtemo and Cooper Townships.

The initial startup and partial year budget allows for immediate work to commence on the authority creation, to allow for continuity in customer service.

Southwest Michigan Building Authority
 Draft Implementation Budget for 2016

<u>Category</u>	<u>2016 Implementation</u>	<u>10/5/16- 12/31/2016 Budget</u>	<u>Total</u>
Building Official	7,000.00	21,000.00	28,000.00
Building Inspector	4,000.00	13,000.00	17,000.00
Start-up Coordinator	4,000.00	-	4,000.00
Administrative Assistant	3,000.00	10,000.00	13,000.00
Employee Benefits		17,600.00	17,600.00
IT Consulting	5,000.00	-	5,000.00
Data Transfer	4,000.00	-	4,000.00
Hosted Servers	5,000.00	2,000.00	7,000.00
Computers	6,000.00	-	6,000.00
Software Licensing	1,500.00	1,000.00	2,500.00
Technology Contingency	4,500.00	2,500.00	7,000.00
Telephones	1,000.00	1,500.00	2,500.00
Legal and Accounting	5,000.00	5,000.00	10,000.00
	<u>50,000.00</u>	<u>73,600.00</u>	<u>123,600.00</u>

<u>Revenue</u>	<u>August (Twp)</u>	<u>September (Twp)</u>	<u>October (permit fees)</u>	<u>November (permit fees)</u>	<u>December (permit fees)</u>	<u>TOTAL</u>
Oshtemo	18,750.00	18,750.00	35,000.00	25,000.00	20,000.00	117,500.00
Cooper	6,250.00	6,250.00	11,000.00	6,000.00	9,000.00	38,500.00
	<u>25,000.00</u>	<u>25,000.00</u>	<u>46,000.00</u>	<u>31,000.00</u>	<u>29,000.00</u>	<u>156,000.00</u>