

7275 W. MAIN STREET, KALAMAZOO, MI 49009-9334  
269-216-5220 Fax 375-7180 TDD 375-7198  
www.oshtemo.org

**NOTICE  
OSHTEMO CHARTER TOWNSHIP  
Zoning Board of Appeals**

**SPECIAL MEETING**

**Tuesday,  
April 5, 2016  
3:00 p.m.**

**AGENDA**

1. Call to Order
2. Pledge of Allegiance
3. Approve Agenda
4. Approve Minutes January 26, 2016 Regular Meeting
5. Public Comment on Non-Agenda Items
6. **Site Plan Review (6480 Technology Drive)**  
Applicant, David Keyte, CCIM, is requesting site plan review for a new multi-tenant office and warehousing facility at 6480 Technology Drive. Parcel No. 3905-35-450-001
7. Any Other Business / ZBA Member Comments
8. Adjournment

**Policy for Public Comment**  
**Township Board Regular Meetings, Planning Commission & ZBA Meetings**

All public comment shall be received during one of the following portions of the Agenda of an open meeting:

- a. Citizen Comment on Non-Agenda Items or Public Comment – while this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official to respond at a later date.
- b. After an agenda item is presented by staff and/or an applicant, public comment will be invited. At the close of public comment there will be board discussion prior to call for a motion.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name; it is not required unless the speaker wishes to have their comment recorded in the minutes.

All public comment offered during public hearings shall be directed, and relevant, to the item of business on which the public hearing is being conducted. Comment during the Public Comment or Citizen Comment on Non-Agenda Items may be directed to any issue.

All public comment shall be limited to four (4) minutes in duration unless special permission has been granted in advance by the Supervisor or Chairperson of the meeting.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor or Chairperson of the meeting shall terminate any public comment which is in contravention of any of the principles and procedures set forth herein.

(adopted 5/9/2000)  
(revised 5/14/2013)

**Policy for Public Comment**  
**6:00 p.m. "Public Comment"/Portion of Township Board Meetings**

At the commencement of the meeting, the Supervisor shall poll the members of the public who are present to determine how many persons wish to make comments. The Supervisor shall allocate maximum comment time among persons so identified based upon the total number of persons indicating their wish to make public comments, but no longer than ten (10) minutes per person. Special permission to extend the maximum comment time may be granted in advance by the Supervisor based upon the topic of discussion.

While this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official to respond at a later date.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name; it is not required unless the speaker wishes to have their comment recorded in the minutes.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor shall terminate any public comment which is in contravention of any of the principles and procedures set forth herein.

(adopted 2/27/2001)  
(revised 5/14/2013)

**OSHTEMO CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS**

**MINUTES OF A MEETING HELD JANUARY 26, 2016**

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**Agenda**

**SITE PLAN REVIEW EXTENSION (CORNERS REALTY LLC, 652 S. 8<sup>TH</sup> Street)  
APPLICANT REQUESTS AN EXTENTION TO A SITE PLAN THAT WAS APPROVED  
ON JANUARY 27, 2015. (PARCEL #3905-22-230-029).**

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A meeting of the Oshtemo Charter Township Zoning Board was held on Tuesday, January 26, 2016, at approximately 3:00 p.m. at the Oshtemo Charter Township Hall.

MEMBERS PRESENT: Nancy Culp  
Millard Loy  
Neil Sikora  
James Sterenberg

ABSENT: Bob Anderson  
Cheri Bell  
L. Michael Smith

Also present were Julie Johnston, Planning Director, Martha Coash, Meeting Transcriptionist, and four interested persons.

**Call to Order and Pledge of Allegiance**

In the absence of the Chair and Vice Chair, Secretary Sterenberg chaired the meeting and invited those present to join in reciting the "Pledge of Allegiance."

**Agenda Approval**

Mr. Sterenberg asked if there were any changes to the agenda. Hearing none, he asked for a motion for approval.

Mr. Loy made a motion to approve the agenda as presented. Mr. Sikora seconded the motion. The motion was approved unanimously.

**Public Comment on Non-Agenda Items**

There were no comments on non-agenda items.

## **Approval of the Minutes of November 17, 2015**

The Chairperson asked if there were any additions, deletions or corrections to the minutes of November 17, 2015. Mr. Sterenberg noted the approved list of meeting dates needed to be changed to correct the May, 2016 date from the 26<sup>th</sup> to the 24<sup>th</sup>.

Mr. Sikora made a motion to approve the minutes of November 17, 2015 as corrected. Ms.Culp seconded the motion. The motion was approved unanimously.

## **SITE PLAN REVIEW EXTENSION (CORNERS REALTY LLC, 652 S. 8<sup>TH</sup> Street) APPLICANT REQUESTS AN EXTENTION TO A SITE PLAN THAT WAS APPROVED ON JANUARY 27, 2015. (PARCEL #3905-22-230-029).**

Mr. Sterenberg said the next item was a request for a site plan review extension and asked Ms. Johnston to review the application.

Ms. Johnston explained the applicant was seeking an extension from the Zoning Board of Appeals for a site plan that was approved on January 27, 2015. She noted Section 82.900(a) indicated approval of the Site Plan shall be valid for a period of one year after the date of approval. If a building permit has not been obtained and on-site development actually commenced within said one year, the Site Plan approval shall become void and new approval obtained before any construction or earth change is commenced upon the site.

She said the original request was for the development of a 12,000 square foot warehouse building located at 652 South 8<sup>th</sup> Street, which is on the west side of 8<sup>th</sup> Street just north of KL Avenue.

Ms. Johnston noted prior to the meeting, the applicant provided an updated, revised site plan indicating many of the original conditions required have been met with the new plan. Some preliminary site work has been done, but a building permit has not yet been obtained. They intend to submit a permit to the Kalamazoo Area Building Authority to hopefully begin construction in the spring of 2016.

As a result of the revised plan and conditions met, Ms. Johnston said Staff changed their recommendation for approval to a six month extension to July 27, 2016 from the original approval date of January 27, 2015 with the following as yet unmet conditions:

- a) A sign permit is required before any new signs are installed on site, and all signage shall conform to the requirements of the sign chapter of the Zoning Ordinance.
- b) Approval of the KCRC, KCHD, and County Soil & Sedimentation Control (at minimum) are necessary prior to issuance of the building permit.

- c) All comments of the Township Engineer stated in his January 16, 2015 review memo – including provision of an easement for the northern retention pond and review of additional drainage calculations – shall be addressed prior to issuance of a building permit.
- d) Site plan approval is subject to the approval of the Fire Department, pursuant to adopted codes.
- e) Site plan approval is subject to the review and acceptance of the Township Engineer as adequate.

Mr. Sterenberg asked if Board Members had questions for Ms. Johnston.

It was confirmed that six months seemed adequate for the applicant.

Mr. Loy said he thought the business should be allowed to load and unload at the front door as other businesses in the Township are allowed to do.

Ms. Johnston said the Zoning Ordinance has specific wording prohibiting loading and unloading in the front yard in the industrial zone although it happens all the time in front of retail concerns. She was not sure why that was included in the Ordinance. She said she informed the applicant this will remain as is unless they wish to request a variance.

Mr. Sterenberg confirmed what is being sought today is an extension of what was approved in January of 2015.

Ms. Johnston asked if the ZBA feels the front yard loading/unloading restrictions in an industrial zone should be reviewed and any suggested changes recommended to the Planning Commission.

Mr. Loy said he would like to address this issue.

Mr. Sterenberg asked if the applicant wanted to address the Board.

Mr. Kevin Laaksonen, 3398 Oak Harbor Street, said they would also like to see the loading/unloading issue addressed. He said a lot of work is planned to be done on the site to make it look nice and that improvements have already been made.

Mr. Sterenberg asked whether a six month extension is long enough.

Mr. Laaksonen said they intended to get a building permit last year, but things intervened; they hope to get moving soon and feel six months is adequate.

Mr. Sterenberg determined there were no members of the public who wished to address the Board and moved to Board Discussion.

There was discussion of the length of the term of the extension; it was noted there is no limit on the number of extensions that may be requested.

Mr. Sterenberg asked for a motion on the request.

Mr. Loy moved to approve the request for a six month extension to July 27, 2016, with the five remaining conditions listed by staff. Ms. Culp supported the motion. The motion passed unanimously.

There was further discussion on the restriction on loading and unloading in the front yard in the industrial zone; all concurred they would like to review this provision.

### **Election of Officers**

Mr. Sterenberg nominated the following slate of officers for the coming year:

Cheri Bell, Chair  
James Sterenberg, Vice Chair  
Neil Sikora, Secretary

He noted he confirmed with Ms. Bell that she was willing to continue as Chair.

Ms. Culp made a motion to elect the slate of officers presented. Mr. Loy seconded the motion. The motion was approved unanimously.

### **Any Other Business / ZBA Member Comments**

Ms. Johnston indicated there would likely be a sign variance request for the Pine West building for the February meeting; if not, there would be no need for a meeting.

Mr. Sterenberg noted he would be absent in February.

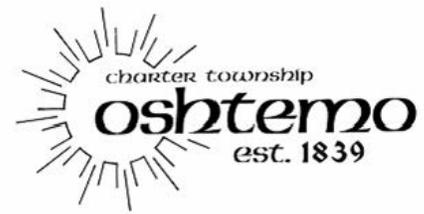
### **Adjournment**

Mr. Sterenberg noted the Zoning Board of Appeals had exhausted its Agenda, and with there being no other business, he adjourned the meeting at approximately 3:30 p.m.

Minutes prepared:  
January 29, 2016

Minutes approved:  
\_\_\_\_\_, 2016

March 28<sup>th</sup>, 2016



**Meeting Date:** April 5<sup>th</sup>, 2016

**To:** Zoning Board of Appeals

**From:** Ben Clark, Zoning Administrator

**Applicant:** David Keyte, CCIM

**Owner:** Robert R. Corrion, LLC

**Property:** 6480 Technology Drive, parcel #3905-35-450-001

**Zoning:** I-R: Industrial District, Restricted

**Request:** Site plan review for a new multi-tenant office & warehousing facility

**Section(s):** 40.000—I-R: Industrial District, Restricted

**Project Name:** 6480 Technology Avenue

## **OVERVIEW**

The applicant is seeking site plan approval for a new, multi-tenant office and warehousing facility, to be located at 6480 Technology Drive in the Oshtemo Business Park site condominium development.

## **PROJECT SUMMARY**

Proposed to be situated in the Oshtemo Business Park at the northeast corner of 9<sup>th</sup> Street and Technology Avenue, the structure will be 34,830 square feet in size and will include a handful of tenant spaces. With no direct vehicle access to 9<sup>th</sup> Street, two driveway connections to Technology Avenue are indicated on the project's site plan. This facility will also include a loading/unloading area for trucks on the eastern side of the building that will be screened from the north, south, and west by the structure itself. The proposed facility will be served by public water and sewer while discharging stormwater into the drainage basin on the adjacent property to the east, which is a common element within the condominium development.

## **GENERAL ZONING COMPLIANCE**

The proposed uses for this building are permitted in the I-R zoning district, and its placement on the subject property is in compliance with the Zoning Ordinance, with all necessary minimum setbacks being met. The six foot tall dumpster enclosure will use solid fencing and the truck loading area, located at the side of the building and not exposed to any public roads, meets the requirements of section 40.000. While this proposed project does largely comply with the Zoning Ordinance, Staff notes that two outstanding issues remain:

- Per Staff calculations, this site is allowed 61 to 67 parking spaces in accordance section 68.000 of the Zoning Ordinance. The site plan indicates 71.

- Although the style, height, and wattage of the proposed site lighting fixtures do meet the standards of the Zoning Ordinance, staff is concerned that the light levels indicated on the photometric plan exceed the maximum 0.1 foot-candle limit at the property line.

### **SITE ACCESS AND CIRCULATION**

As mentioned above, this site is proposed to have two motorized connections to Technology Drive. Located on what is considered a *local road* per the Township's Access Management Plan, the site access accommodations for 6480 Technology Avenue are exempt from the Zoning Ordinance's access management standards, but the driveway placement does still need to be approved by the Road Commission of Kalamazoo County—a process that often doesn't take place until the building permit application phase. Although no sidewalk yet exists along this stretch of 9<sup>th</sup> Street, one is indicated in the Township's Non-motorized Plan, and the site plan includes a pedestrian connection between 9<sup>th</sup> Street and the building in anticipation of this future non-motorized public facility.

Internally, the site will employ a combination of one- and two-way circulation flows. As indicated on the site plan, both the north and south one-way aisles are limited to eastward movements only. Staff notes that this will force exiting trucks, as well as a large portion of other vehicle traffic leaving the site, to use the eastern-most driveway, which should help to mitigate congestion closer to the intersection of 9<sup>th</sup> Street and Technology Avenue.

### **LANDSCAPING**

All necessary perimeter buffer widths and internal landscape areas are included on the site plan. However, Staff notes that the proposed plantings do not comply with section 75.000 of the Zoning Ordinance as follows:

- One additional canopy tree is required in the parking area.
- Two indicated canopy trees are actually of an understory species (Robinson Crabapple)
- Per section 75.180.A of the Zoning Ordinance, at least 75% of plantings must be of species native to Michigan. The included landscape plan does not meet this requirement.

### **ENGINEERING**

The Township's Engineer states that the project is generally buildable, but he still needs to see stormwater calculations from the applicant in order to ensure that runoff can be adequately accommodated by the available facilities. The Engineer has also noted that the existing drainage basin to the east of the project site appears to have become fouled with sediment, potentially compromising its capacity to accept more stormwater. As well as enlarging this feature, as is indicated on the site plan, it should also be adequately cleaned out to Staffs' satisfaction.

### **FIRE DEPARTMENT**

Upon review, the Fire Marshal has determined that this site will need to be serviced by three evenly spaced fire hydrants; one on the north side of the site, one on the south side, and one on the east side.

## RECOMMENDATION

Township Staff recommends that the ZBA approve this project, but also suggests that the following conditions be satisfied, subject to Staff review, prior to the issuance of a building permit:

1. A signed and sealed revised site plan is to be presented to Township Staff showing that the number of parking spaces, the photometric plan, and the landscape plantings are all in compliance with the relevant sections of the Zoning Ordinance.
2. The necessary stormwater runoff calculations are to be delivered to the Township Engineer for review and approval.
3. The associated drainage basin to the east of the project site is to be restored to its intended level of functionality, to be verified in the field by Township Staff.
4. The three required fire hydrants are to be indicated on the revised site plan, the location of which are to be approved by the Township Fire Marshal.
5. A signed and notarized agreement is to be submitted to the Township, stating that the property owners of 6480 Technology Avenue will not oppose any future special assessment districts established for the purpose of funding the construction of non-motorized facilities on 9<sup>th</sup> Street.

Respectfully Submitted,



Ben Clark  
Zoning Administrator

Attachments: Application  
Site plan  
Aerial map  
Fire Marshal memo  
Engineer memo



7275 W. Main Street, Kalamazoo, Michigan 49009-9334  
Phone: 269-216-5223 Fax: 269-375-7180

**PLEASE PRINT**

PROJECT NAME & ADDRESS \_\_\_\_\_

**PLANNING & ZONING APPLICATION**

Applicant Name: David Keyte  
Company Callander Commercial  
Address 628 W Milham  
Portage MI 49024  
E-mail dkeyte@ccmichigan.com  
Telephone 269-806-0554 Fax \_\_\_\_\_  
Interest in Property \_\_\_\_\_

Oshtemo Charter Township  
7275 W MAIN ST  
KALAMAZOO, MI 49009  
Phone : 269-375-4260  
OSHTEMO TOWNSHIP.ORG

Received From: KEYTE  
Date: 02/25/2016 Time: 3:05:13 PM  
Receipt 123090  
Cashier LINDAI

**OWNER\*:**

Name Robert R Corrian, LLC  
Address 27753 Kings Bend  
Bonita Springs, FL 34134  
Email rrcorrian@comcast.net  
Phone & Fax 239-273-0562

ITEM REFERENCE	AMOUNT
ORDER # 22843896	
Credit Card Type MasterCard	
CC Processing Fee	\$48.00
1042 PLANNING ESCROW	
PLANNING ESCROW	\$1,000.00
1088 SITE PLAN REVIEW	
SPR	\$600.00
TOTAL	\$1,600.00
CREDIT CARD XXXXXXXXXXXX6757	\$1,648.00
Total Tendered:	\$1,600.00
Change:	\$0.00

**NATURE OF THE REQUEST:** (Please check the appropriate item(s))

- Planning Escrow-1042
- Site Plan Review-1088
- Administrative Site Plan Review-1086
- Special Exception Use-1085
- Zoning Variance-1092
- Site Condominium-1084
- Accessory Building Review-1083

- L \_\_\_\_\_
- S Signature
- R \_\_\_\_\_
- I \_\_\_\_\_
- T \_\_\_\_\_
- S \_\_\_\_\_
- Other: \_\_\_\_\_

**BRIEFLY DESCRIBE YOUR REQUEST** (Use Attachments if Necessary): \_\_\_\_\_

Site plan review for 6480 Technology

**LEGAL DESCRIPTION OF PROPERTY (Use Attachments if Necessary):**

Oshstemo Business Park Unit # 1  
\* 01/03 Split From 35-455-025 and 35-455-030

PARCEL NUMBER: 3905- 35-450-001

ADDRESS OF PROPERTY: 6480 Technology

PRESENT USE OF THE PROPERTY: Vacant

PRESENT ZONING I-R Ind SIZE OF PROPERTY 2.51 Acres

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS  
HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)	Address(es)
_____	_____
_____	_____

**SIGNATURES**

*I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshstemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.*

Robert R. Corvino

Owner's Signature (\* If different from Applicant)

2-30-2016

Date

\_\_\_\_\_  
Applicant's Signature

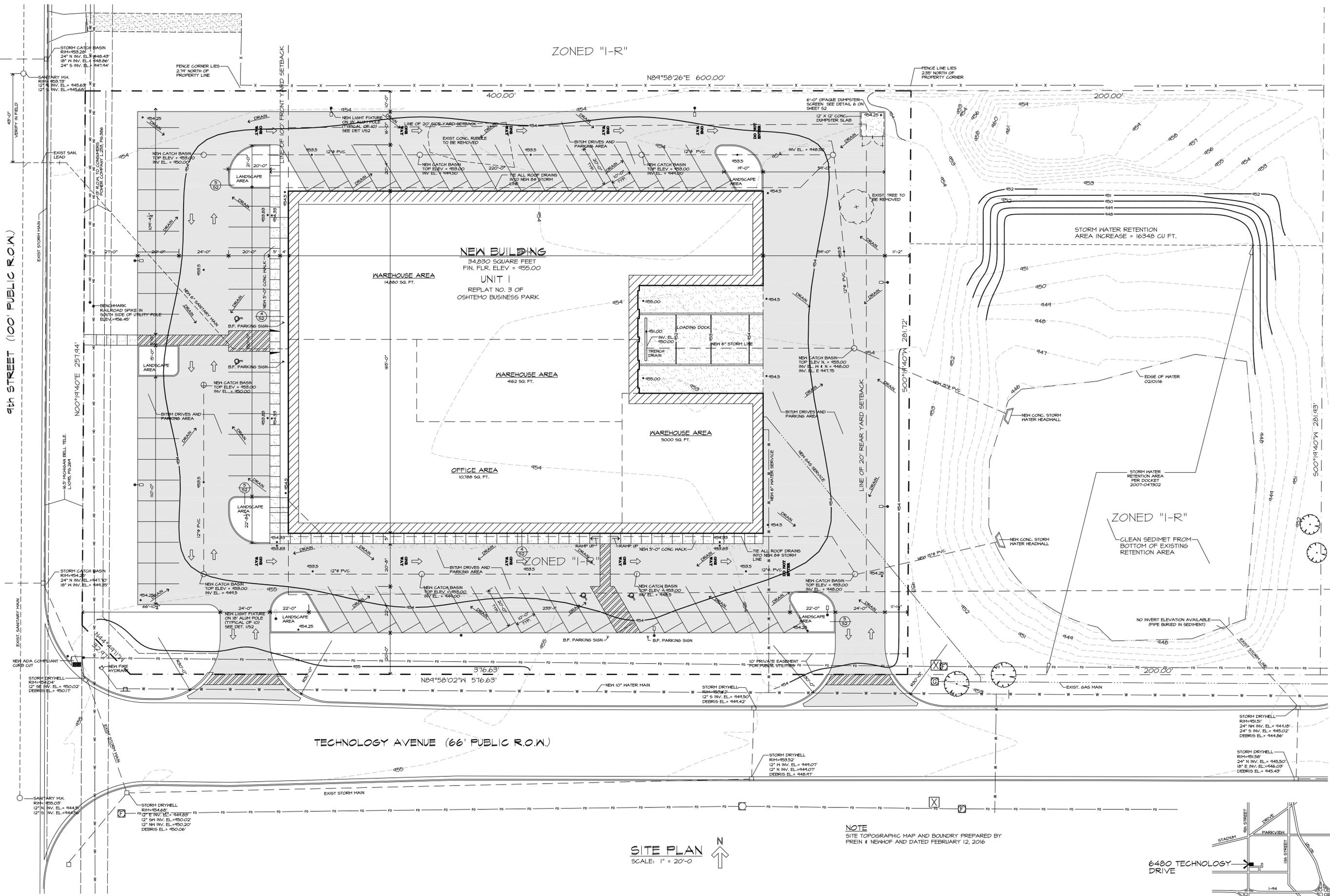
\_\_\_\_\_  
Date

- Copies to:
- Planning -1
- Applicant -1
- Clerk -1
- Deputy Clerk -1
- Attorney-1
- Assessor -1
- Planning Secretary - Original

\*\*\*\*

**PLEASE ATTACH ALL REQUIRED DOCUMENTS**

9th STREET (100' PUBLIC R.O.W.)



ZONED "I-R"

N89°58'26"E 600.00'

400.00'

STORM WATER RETENTION AREA INCREASE = 16348 CU. FT.

NEW BUILDING  
34,930 SQUARE FEET  
FIN. FLR. ELEV. = 455.00  
UNIT NO. 3 OF  
OSHTEMO BUSINESS PARK

WAREHOUSE AREA  
14,800 SQ. FT.

WAREHOUSE AREA  
4162 SQ. FT.

WAREHOUSE AREA  
5000 SQ. FT.

OFFICE AREA  
10,180 SQ. FT.

ZONED "I-R"

ZONED "I-R"

CLEAN SEDIMENT FROM  
BOTTOM OF EXISTING  
RETENTION AREA

TECHNOLOGY AVENUE (66' PUBLIC R.O.W.)

SITE PLAN  
SCALE: 1" = 20'-0"



NOTE  
SITE TOPOGRAPHIC MAP AND BOUNDARY PREPARED BY  
PREIN & NEWHOF AND DATED FEBRUARY 12, 2016



SITE LOCATION MAP  
NO SCALE

PROPOSED DEVELOPMENT AT:  
**6480 TECHNOLOGY DRIVE**  
OSHTEMO TOWNSHIP, MICHIGAN

SITE PLAN

HOWARD L. OVERBEEK  
ARCHITECT, P.C.

198 EAST CENTRE  
PORTAGE, MICHIGAN

PHONE (616) 323-2422  
FAX (616) 323-2440

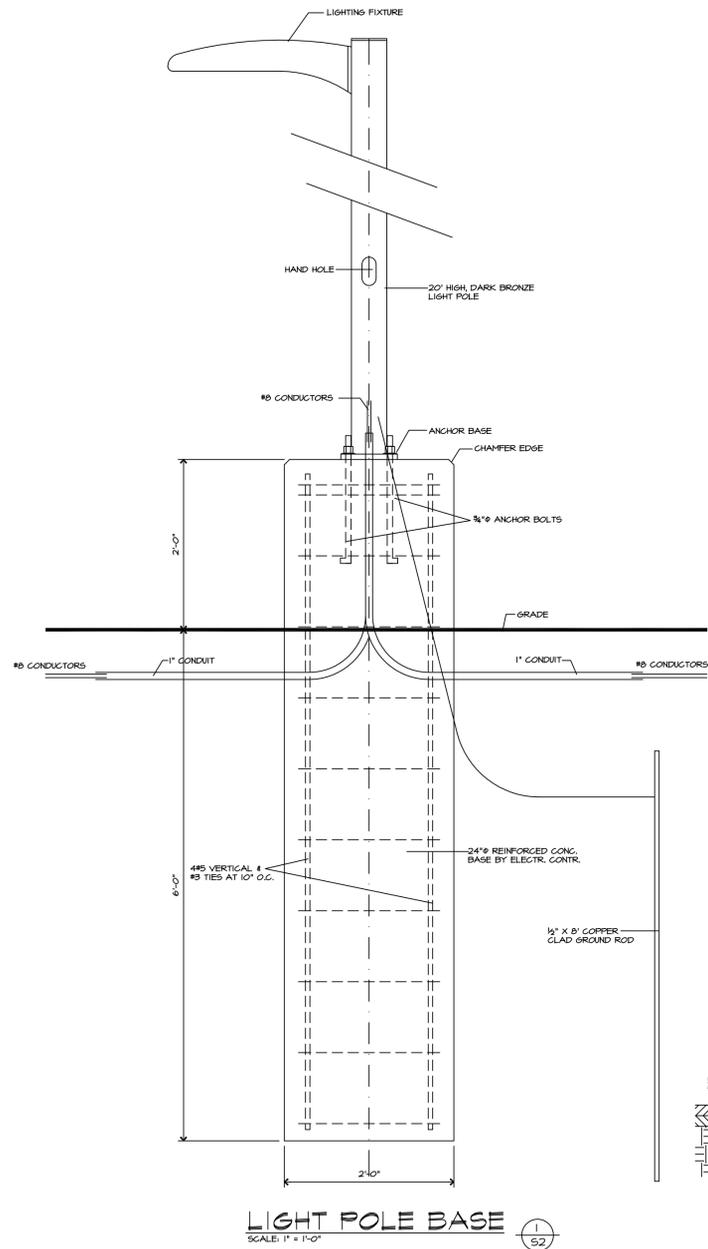
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PROJECT NO.  
1425

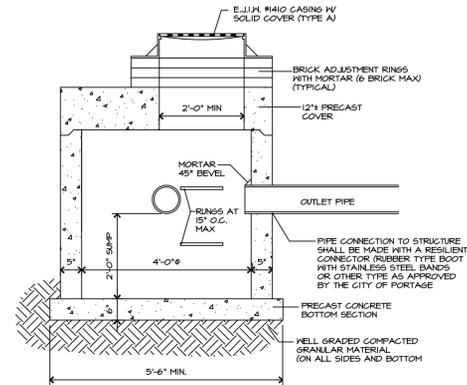
DATE  
3/22/16

REVISION

SHEET  
S1

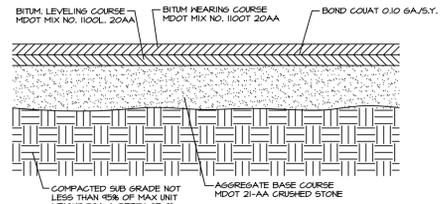


**LIGHT POLE BASE**  
SCALE: 1" = 1'-0"

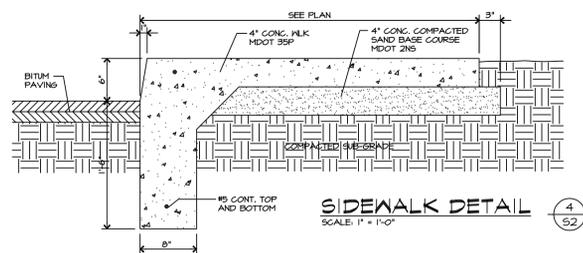


**48" STORM SEWER STRUCTURE**  
SCALE: 1/2" = 1'-0"

**NOTES:**  
STRUCTURES SHALL HAVE 2'-0" SUMP  
HEIGHT OF STRUCTURE WILL VARY  
STRUCTURES SHALL BE PRECAST CONCRETE AND CONFORM TO ASTM C-418.  
SOME STRUCTURES MAY HAVE TO BE ENLARGED TO ACCOMMODATE PIPES AND RESILIENT CONNECTORS. STRUCTURAL DIMENSIONS FOR LARGER DIAMETER STRUCTURES SHALL CONFORM TO ASTM C-418  
HANDLE STEPS SHALL BE E.L.H. #8501 OR EQUAL  
INSTALL STEPS AFTER STRUCTURE IS IN PLACE TO INSURE STEPS ARE LOCATED UNDER OPENING. TOP STEP SHALL BE NO MORE THAN 24" FROM TOP OF CASTING  
BOTTOM STEP SHALL BE NO MORE THAN 24" FROM BENCHMARK OF STRUCTURE



**PAVING DETAIL**  
SCALE: 1" = 1'-0"



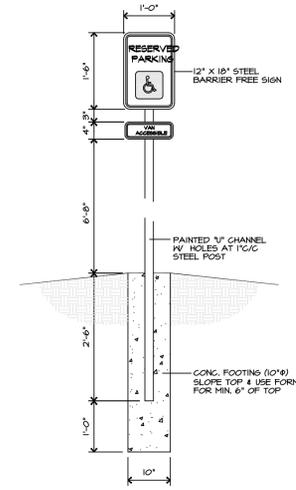
**SIDEWALK DETAIL**  
SCALE: 1" = 1'-0"

**PROJECT DATA**  
SITE AREA: 105,272 SQ. FT. (2.50 ACRES)  
BUILDING AREA = 34,830 SQUARE FEET, GROSS  
PAVED AREA = 50,647 SQUARE FEET  
PARKING PROVIDED: 80 SPACES (1 SPACE / 435 SQ. FT. GROSS)  
LOT COVERAGE = 81.28%  
SITE ZONING: "I-R" LIGHT INDUSTRIAL  
THE BUILDING WILL BE A PRE-ENGINEERED METAL BUILDING WITH A METAL ROOF AND METAL/MASONRY WALLS  
THE BUILDING WILL BE 20'-6" HIGH AT THE EAVE AND 22'-3" HIGH AT THE RIDGE  
OWNER: ROBERT L. CORRION, LLC  
P.O. BOX 227  
SOUTHFIELD, MICHIGAN 48037

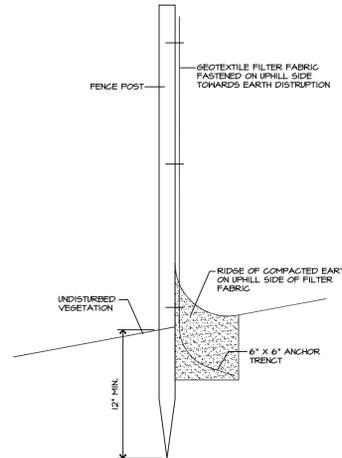
**LEGAL DESCRIPTION**  
OSHTEMO BUSINESS PARK UNIT #1  
01/03 SPLIT FROM 35-455-025 & 35-455-030

**NOTES:**  
A MINIMUM OF 72 HOURS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY "MISS DIG" 1-800-482-7111 AND HAVE ALL UNDERGROUND UTILITIES LOCATED AND STAKED OUT BEFORE ANY WORK CAN BEGIN.  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.  
NO EXTERIOR SIGHT LIGHTING WILL BE USED ON THE SOUTH OR EAST SIDE OF THE BUILDING.  
LIGHTING DEVICES SHALL BE ADEQUATELY SHIELDED AND SCREENED SO THAT NO LIGHT WILL GLARE DIRECTLY ONTO ANY PUBLIC RIGHT OF WAY OR ON TO ADJACENT PROPERTY.  
LIGHTING DEVICES SHALL BE ARRANGED AND KEPT AT A LEVEL SO THAT THE AMOUNT OF LIGHT PROJECTING ONTO PROPERTY ZONED OR PRINCIPALLY USED FOR RESIDENTIAL PURPOSES DOES NOT EXCEED 0.1 FOOT CANDLES

BUILDING WILL BE FULLY SPRINKLED  
USE GROUP: "2012 MICHIGAN BUILDING CODE" TYPE "B" BUSINESS  
TYPE OF CONSTRUCTION: "2012 MICHIGAN BUILDING CODE" TYPE 2-B



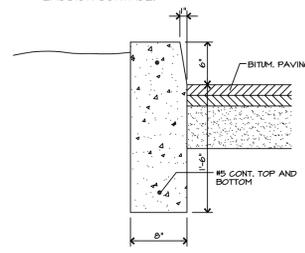
**BARRIER FREE PARKING SIGN**  
SCALE: NO SCALE



**SILT FENCE DETAIL**  
NO SCALE

**SOILS DESCRIPTION:**  
SOILS CONSISTS OF SLIGHTLY MOIST, MEDIUM SAND WITH A TRACE OF GRAVEL.  
**EARTH CHANGE TIMING**  
STRIP TO BACK FILLING - 6 WEEKS  
BACKFILLING TO FINAL GRADING - 4 MONTHS  
**EROSION CONTROL MEASURES**  
TEMPORARY SOIL EROSION CONTROL WILL BE ACCOMPLISHED BY THE USE OF SILT FENCES AND CONTOURED WATER WAYS.  
PERMANENT SOIL EROSION CONTROL WILL BE ACCOMPLISHED BY THE USE OF CATCH BASINS AND EXISTING STORM WATER RETENTION POND.

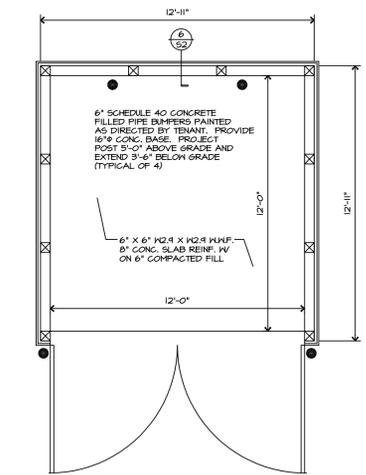
**MAINTENANCE PROGRAM**  
GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF TEMPORARY EROSION CONTROL.



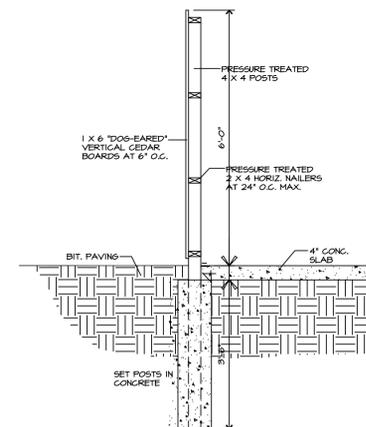
**CONC. CURB**  
SCALE: 1" = 1'-0"

**STORM WATER DESIGN CALCULATIONS**

**PARKING AREA**  
V = CAP X 3630  
V = .9 X 1.15 X 2.5 X 3630 = 9343 CU. FT.  
**BUILDING**  
V = CAP X 3630  
V = .9 X .80 X 2.5 X 3630 = 6534 CU FT  
**LAWN AREA**  
V = CAP X 3630  
V = .1 X .45 X 2.5 X 3630 = 408 CU FT  
**TOTAL REQUIRED = 16,335 CU. FT.**



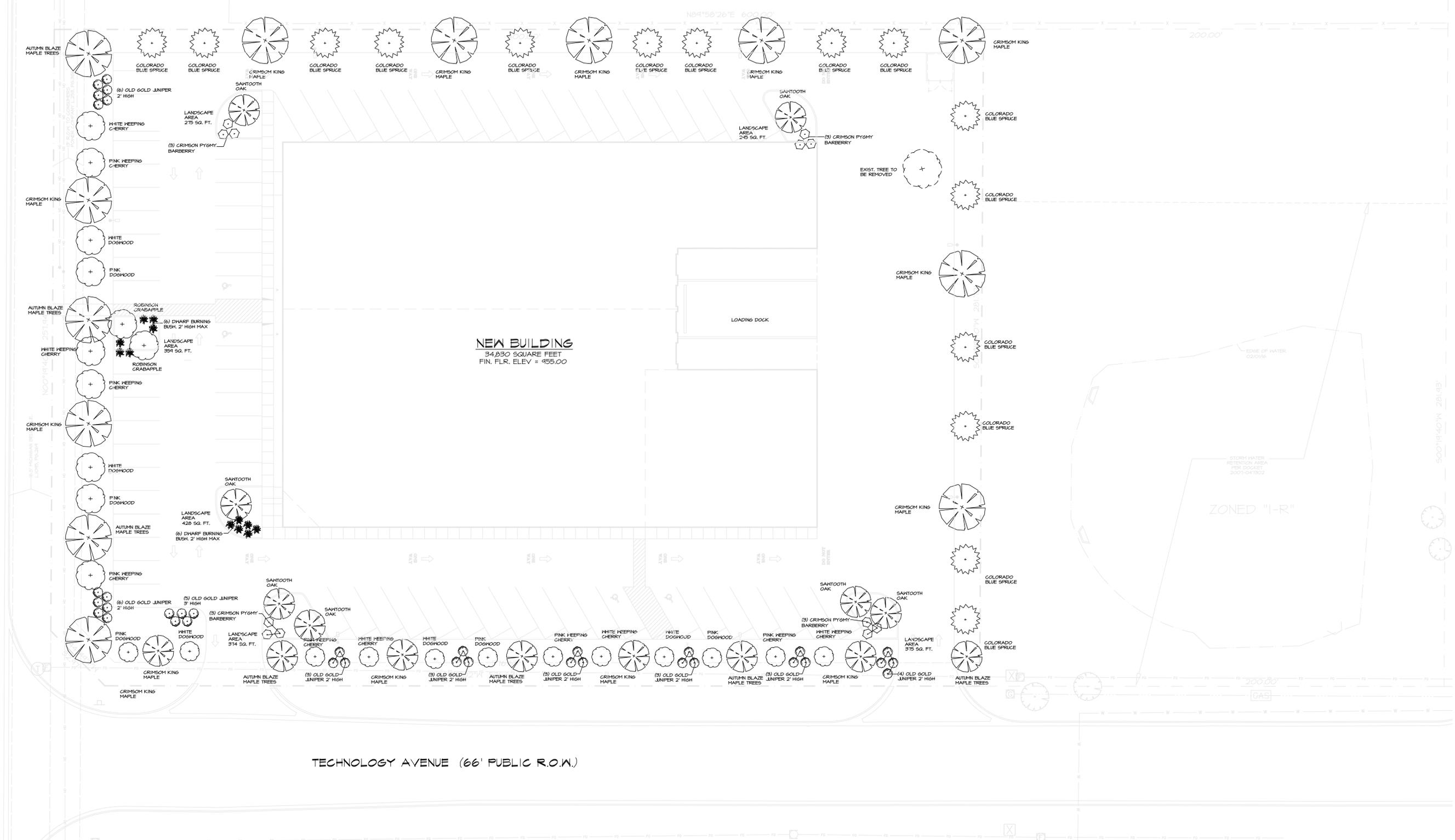
**DUMPSTER PAD DETAIL**  
SCALE: 1/4" = 1'-0"



**DUMPSTER SCREEN DET.**  
SCALE: 1/2" = 1'-0"

*Handwritten signature*

9th STREET (100' PUBLIC R.O.W.)



TECHNOLOGY AVENUE (66' PUBLIC R.O.W.)

COMMON NAME	BOTANICAL NAME	PLANTING MATERIAL SIZES
CRIMSON KING MAPLE	Acer platanoides 'Crimson King'	CANOPY TREES 2" CALIPER MIN
AUTUMN BLAZE MAPLE TREES	Acer rubrum 'Autumn Blaze'	UNDERSTORY TREES 8'-0" HIGH MIN
SANTOOTH OAK	Quercus acutissima	EVERGREEN TREES 5'-0" HIGH MIN
WHITE KEEPING CHERRY	Prunus subhirtella var. pendula	DECIDUOUS SHRUBS 24" HIGH MIN
PINK KEEPING CHERRY	Prunus subhirtella var. pendula	EVERGREEN SHRUBS 18" HIGH MIN
PINK DOGWOOD	Cornus Florida 'Rubra'	
WHITE DOGWOOD	Celestial Shadow Dogwood	

**LANDSCAPE PLAN**  
SCALE: 1" = 20'-0"

PROPOSED DEVELOPMENT AT:  
**6480 TECHNOLOGY DRIVE**  
OSHTEMO TOWNSHIP, MICHIGAN

**LANDSCAPE PLAN**

HOWARD L. OVERBEEK  
ARCHITECT, P.C.

198 EAST CENTRE  
PORTAGE, MICHIGAN

PHONE (616) 323-2422  
FAX (616) 323-2440

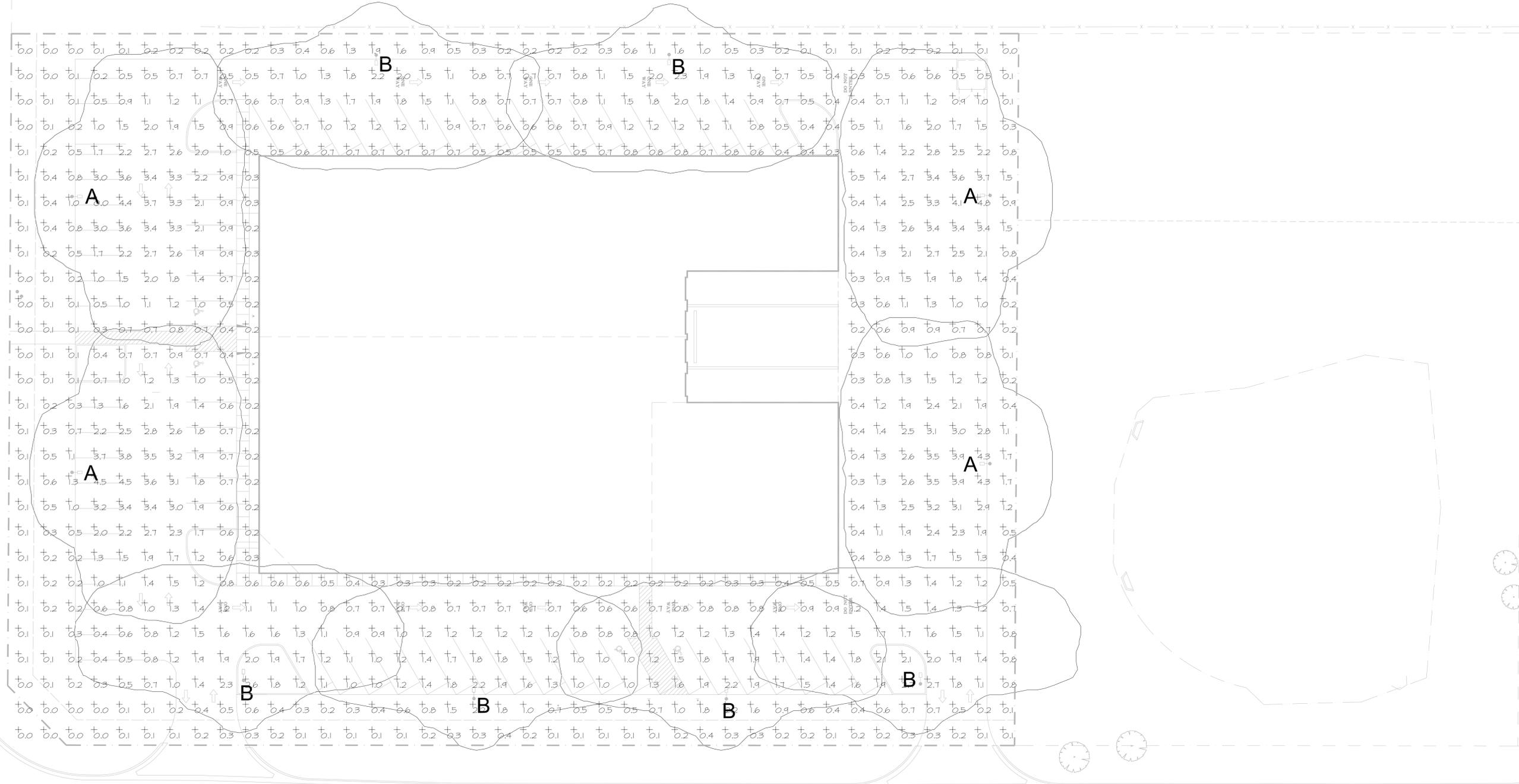
PROJECT NO.  
1425

DATE  
3/22/16

REVISION

SHEET  
S3

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	4	Lithonia Lighting	DSXO LED 40C 1000 50K TFTM MVOLT HS	DSXO LED with 40 LEDs @1000 mA, 5000K, Type Forward Throw Medium Optics with HOUSE-SIDE SHIELD	LED	1	DSXO_LED_40C_1000_50K_TFTM_MVOLT_HS.ies	12191	1	138
□	B	6	Lithonia Lighting	DSXO LED 20C 1000 50K TBM MVOLT HS	DSXO LED with 20 LEDs @1000 mA, 5000K, Type B Medium Optics with HOUSE-SIDE SHIELD	LED	1	DSXO_LED_20C_1000_50K_TBM_MVOLT_HS.ies	6175	1	72
□	C	0	Lithonia Lighting	DSXXI LED 20C 1000 50K TFTM MVOLT	DSXXI LED WITH (2) 10 LED LIGHT ENGINES, TYPE TFTM OPTIC, 5000K, @ 1000mA.	LED	1	DSXXI_LED_20C_1000_50K_TFTM_MVOLT.ies	7760	1	79.2



PROPOSED DEVELOPMENT AT:  
**6480 TECHNOLOGY DRIVE**  
 OSHTIMO TOWNSHIP, MICHIGAN

**PHOTOMETRICS PLAN**

HOWARD L. OVERBEEK  
 ARCHITECT, P.C.

198 EAST CENTRE  
 PORTAGE, MICHIGAN

PHONE (269) 323-2422  
 FAX (269) 323-2440



PROJECT NO.  
 1425

DATE  
 3/22/16

REVISION

PHOTOMETRICS PLAN  
 SCALE: 1" = 20'-0"

SHEET  
 S4

# 6480 Technology Avenue



1 inch = 100 feet

## OSHTEMO FIRE DEPARTMENT SITE PLAN CONCERNS LIST

Applicant: Proposed Development  
Project: Proposed new building.  
Location: 6840 Technology Drive.  
Date: March 28, 2016  
Site Plan Date: March 17, 2016

### Identified Concerns:

A 15 foot vertical clearance is required throughout the site and shall include all vegetation. This is mentioned at this time for consideration of plant growth in 10 – 15 years.

The access roads and fire lanes shall be 24 foot minimum in width and maintained year round and shall support the live load of fire apparatus as mentioned in NFPA 2012. This is mentioned at this time for future consideration after the certificate of occupancy has been issued and it becomes the responsibility of the property owner during all weather conditions.

Fire lane signs shall be posted and shall read “FIRE LANE – NO STOPPING, STANDING OR LOADING” and shall be installed prior to any occupancy. Signs shall be of white background with red lettering. Signs shall be installed mounted on a post with sign facing the flow of traffic with the height of 6’ - 8” to the bottom of the sign. Signs shall be placed no more than 60’ on center. Please contact this office for placement locations, which shall also be shown on the site plan.

Approved access routes shall be required prior to and during construction at this site. Access routes shall be (24) feet in width and shall support the live load of the Fire department apparatus. Access routes shall extend to within one hundred fifty, (150) feet of all portions of the building or any of the exterior of the building.

Building identification shall be placed in a position that is plainly legible and visible from any street or road fronting the property. Those properties fronting more than one street or road shall identify the address by both number and street name on each side of the road frontage. The address numbers and street name shall contrast with their background. Numbers shall be a minimum of eighteen inches high and letters shall be a minimum of twelve inches high. At completion of the project the address shall be attached to the building.

Any egress points from the building shall be connected by continuous means and terminate at a paved surface.

Fire alarms systems shall meet NFPA 72 requirements.

Fire Sprinkler systems shall meet NFPA 13 requirements.

If by any code adopted by Oshtemo Township or by the Owners choice, there is going to be a fire sprinkler system installed, a remote five inch fire department connection (FDC) shall be installed away from the building outside of the collapse zone of the building. The FDC shall be installed at forty eight inches in height and shall have locking Knox StorzGuard kit with thirty degree offset and locking cap installed. These are available on line at @ [www.knoxbox.com](http://www.knoxbox.com).

A vertical sign with red reflective background, six inch white reflective lettering stating FDC shall also be required and shall be mounted on a pole 6'8" from grade to the bottom of the sign. This may be required in multiple directions.

This building will be required to have Two, (2) fire department Knox key box installed. This is mentioned at this time so if a recessed style is desired it may be incorporated into the building plans. You may order a Series 3200 Key Box online @ [www.knoxbox.com](http://www.knoxbox.com), as it may take 4-6 weeks for delivery of this lock box.

Prior to final occupancy, Fire extinguishers meeting the minimum rating of 2A10BC shall be installed at not more than 75 feet of travel distance from any point in the building.

Special note:

Required fire flow: 8,781 GPM.

Pursuant to NFPA 1, 2012, 18.4.5 Fire Flow Requirements for Buildings. The plans for this facility state that "the building will be fully sprinkled". Based on this information a fifty percent reduction of required fire hydrants is permitted. Therefore, the requirement for fire hydrants has been reduced from 6 fire hydrants to 3 fire hydrants. One hydrant shall be located on the North side of the building, one located on the south and one on the east sides evenly spaced apart and or positioned near the required fire department connection.

This list shall not be considered as all inclusive as other requirements may be necessary when more information becomes available.

Should you have any questions regarding this matter, please feel free to contact me.

Jim Wiley  
Assistant Fire Chief / Fire Marshal  
Oshtemo Township Fire Department  
P. 269.375.0487  
F. 269.544.2085  
[jwiley@oshtemo.org](mailto:jwiley@oshtemo.org)



7275 W. MAIN STREET, KALAMAZOO, MI 49009  
269-216-5220 Fax 269-375-7180 www.oshtemo.org

# Memorandum

**Date:** March 22, 2016

**To:** Ben Clark, Zoning Administrator

**From:** Marc Elliott, P.E.

**Subject:** 6480 Technology Drive, Site Plan Review

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I have reviewed the plans dated March 17, 2016 which were submitted without seal or signature. My comments are as follows.

1. The applicant has demonstrated that he has the right to use the common storm water basin area located adjacent to his site.
2. Detailed storm water calculations need to be provided which demonstrate proper management of the 100-year precipitation event. While the intent is to migrate this storm offsite, the capacity to receive this additional runoff will need to be substantiated with detailed drainage calculations. I note that the drainage easement right applies only to a portion of the adjacent parcel (approximately 3/5ths).
3. Supporting drainage calculations should include available storage volume, basin surface area which participate in effective infiltration, plus a reasonable rate of infiltration. Basin design guidelines of the Kalamazoo County Drain Commission are considered acceptable practice when modified to accommodate the 1% chance event.
4. I understand that the current basin area was designed to drain dry. Since it appears to retain water, the removal of collected sediments may be required in order to satisfy the undated basis of design.
5. Extending public water and installing an additional fire hydrant along the Technology Avenue frontage is required at this time.