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**NOTICE
OSHTEMO CHARTER TOWNSHIP
PLANNING COMMISSION**

**Thursday,
February 25, 2016
7:00 p.m.
AGENDA**

1. Call to Order
2. Pledge of Allegiance
3. Approval of Agenda
4. Public Comment on Non-Agenda Items
5. Approval of Minutes – February 11, 2016
6. **PUBLIC HEARING: Special Exception Use – Old National Bank**
Consideration of the application of Corner @ Drake D, LLC for a special exception use and site plan review to construct an Old National Bank with drive-through lanes, pursuant to Section 30.407, as part of a planned unit development, pursuant to Section 60.420. The subject property is vacant land at 5003 Century Avenue, Kalamazoo, MI, within the C: Local Business District. Parcel Number 3905-25-240-009.
7. **Special Exception Use Extension – Starbuck’s Coffee**
Consideration of the application of Starbuck’s Coffee to extend the special exception use approved by the Planning Commission on January 14, 2016 for the placement of a temporary trailer to serve coffee, beverages and limited pre-packaged pastries while the store is being renovated. The special exception use was originally approved through February 29, 2016. The subject property is located at 5370 West Main Street, Kalamazoo, MI, within the “C” Local Business District. Parcel Number 3905-13-255-060
8. Old Business
 - a. Site Plan Review Ordinance
9. Any Other Business
 - a. Historic Preservation Overlay and the Drake Farmstead
10. Planning Commissioner Comments
11. Adjournment

Policy for Public Comment
Township Board Regular Meetings, Planning Commission & ZBA Meetings

All public comment shall be received during one of the following portions of the Agenda of an open meeting:

- a. Citizen Comment on Non-Agenda Items or Public Comment – while this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official to respond at a later date.
- b. After an agenda item is presented by staff and/or an applicant, public comment will be invited. At the close of public comment there will be board discussion prior to call for a motion.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name; it is not required unless the speaker wishes to have their comment recorded in the minutes.

All public comment offered during public hearings shall be directed, and relevant, to the item of business on which the public hearing is being conducted. Comment during the Public Comment or Citizen Comment on Non-Agenda Items may be directed to any issue.

All public comment shall be limited to four (4) minutes in duration unless special permission has been granted in advance by the Supervisor or Chairperson of the meeting.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor or Chairperson of the meeting shall terminate any public comment which is in contravention of any of the principles and procedures set forth herein.

(adopted 5/9/2000)
(revised 5/14/2013)

Policy for Public Comment
6:00 p.m. "Public Comment"/Portion of Township Board Meetings

At the commencement of the meeting, the Supervisor shall poll the members of the public who are present to determine how many persons wish to make comments. The Supervisor shall allocate maximum comment time among persons so identified based upon the total number of persons indicating their wish to make public comments, but no longer than ten (10) minutes per person. Special permission to extend the maximum comment time may be granted in advance by the Supervisor based upon the topic of discussion.

While this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official to respond at a later date.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name; it is not required unless the speaker wishes to have their comment recorded in the minutes.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor shall terminate any public comment which is in contravention of any of the principles and procedures set forth herein.

(adopted 2/27/2001)
(revised 5/14/2013)

**OSHTEMO CHARTER TOWNSHIP
PLANNING COMMISSION**

MINUTES OF A MEETING HELD FEBRUARY 11, 2016

Agenda

**PUBLIC HEARING: SPECIAL EXCEPTION USE – KL AVENUE LAND PRESERVE
CONSIDERATION OF THE APPLICATION OF MITCH LETTOW, ON BEHALF OF THE SOUTHWEST MICHIGAN LAND CONSERVANCY, FOR A SPECIAL EXCEPTION USE AND SITE PLAN REVIEW FOR A NATURE PRESERVE WITH A PARKING LOT, PUBLIC ACCESS, AND TRAILS IN THE RR: RURAL RESIDENTIAL DISTRICT. PARCEL NO. 05-21-305-109**

**COMMERCIAL PLANNED UNIT DEVELOPMENT – CORNER @ DRAKE
CONSIDERATION OF THE APPLICATION FROM GESMUNDO, LLC TO REVIEW A CONCEPT PLAN THAT WOULD ESTABLISH A COMMERCIAL PLANNED UNIT DEVELOPMENT FOR 21.7 ACRES WITHIN THE CORNER @ DRAKE COMMERCIAL CENTER.**

A meeting of the Oshtemo Charter Township Planning Commission was held on Thursday, February 11, 2016, commencing at approximately 7:00 p.m. at the Oshtemo Charter Township Hall.

MEMBERS PRESENT: Millard Loy, Chair
Fred Antosz
Kimberly Avery
Wiley Boulding Sr.
Dusty Farmer
Pam Jackson
Mary Smith

MEMBERS ABSENT: None

Also present were Julie Johnston, Planning Director, James Porter, Attorney, and Martha Coash, Meeting Transcriptionist. Approximately eight other persons were in attendance.

Call to Order and Pledge of Allegiance

The meeting was called to order by Chairperson Loy at approximately 7:00 p.m., and the "Pledge of Allegiance" was recited.

Agenda

Chairperson Loy asked if there were any additions, deletions or corrections to the Agenda. Hearing no changes, he called for a motion to approve the Agenda as presented.

Mr. Antosz made a motion to approve the agenda as presented. Ms. Jackson supported the motion. The motion passed unanimously.

Public Comment on Non-Agenda Items

Chairperson Loy called for public comment on non-agenda items. Mr. Terry Schley, former Planning Commission Member, greeted the Board and gave the following remarks:

"I am Terry Schley the President and an owner of Schley Architects, Inc., 4200 S. 9th Street, one of your local Oshtemo Township businesses. My home address is, and for some time has been, 7497 Watermark Drive, Allendale, Michigan 49401. As a private party I own the 9th Street land which then as a taxpayer gives me some right to visit with you tonight.

For some time now I've observed you as a Planning Commission. Not this exact group, but mostly this group; you've added new members in 2016 and some are gone likely in a "healthy cycle of change". Much of what I know of you as a group prevails."

I've come to share you are, as I see it, an exemplary body of thought and Oshtemo can be proud of how you have acted in deliberation, fairness and consideration; both in making policy or ordinance and in individual actions on projects. I have been in front of a variety of PC's from most sophisticated to some unorganized and less developed. What I have observed is that you always do your preparatory work and you each bring your own analysis to the dais. Somehow your process has included respect but varied opinions, and resolution not necessarily in full consensus, but always in professional harmony as a group. You've shown that differences in citizen committee review can exist and the mission to public good can happen with quality. For what it is worth, you have had my respect as I have observed you work."

I've also been pleased to see the PC's ability to take, at times, a step back and to see things in light of the larger issues of planning. I believe big picture views should sometimes temper the minor specifics too easy to get lost in, in essence missing the forest while in the trees – something you haven't been prone to do and I hope you continue to appreciate this in your approach. Importantly you've also shown an ability to remember the tremendous ground work of the community that has preceded the ordinance you consider. I know with newer staff and change, historic continuity may at times be challenged, but I hope you will keep doing the great things I have seen from your body, asking about those histories and working to understand the basis of the community's past planning investment, before you spend effort on a decision."

I must also share I admire you all, for I must tell you I wish I could be up on the dais with you. However, and as noted, my home is in Allendale and I just don't see how, regardless of rules allowing it, that I could be with you. Imagine if you would with me that which I have thought about many times. A tough decision is at hand with a large Oshtemo citizen audience

or a challenging application, and a decision where important land use character is involved. That, Planning Commissioners, is all of your decisions. For me, I found and find it difficult that I could represent to Oshtemo that I care enough about that, but not enough to live and make my home in Oshtemo. For me leaders must be example, and the hypocrisy in such a role is outside my values, even if for just a local Planning Commission role. Again, my home is in Allendale.”

In closing I note you are all volunteers, either stepped up or when asked to serve on this Commission, you all said “yes”. Please keep up your good work, and my sincere thanks as a taxpayer to you all for what you do.”

Chairperson Loy thanked Mr. Schley for his remarks and moved to the next item on the agenda.

Approval of the Minutes of January 28, 2016

The Chairperson asked if there were any additions, deletions or corrections to the minutes of January 28, 2016. Hearing none, he asked for motion to approve the minutes.

Mr. Antosz made a motion to approve the minutes of January 28, 2016 as presented. Mr. Boulding, Sr. supported the motion. The motion was approved unanimously.

PUBLIC HEARING: SPECIAL EXCEPTION USE – KL AVENUE LAND PRESERVE CONSIDERATION OF THE APPLICATION OF MITCH LETTOW, ON BEHALF OF THE SOUTHWEST MICHIGAN LAND CONSERVANCY, FOR A SPECIAL EXCEPTION USE AND SITE PLAN REVIEW FOR A NATURE PRESERVE WITH A PARKING LOT, PUBLIC ACCESS, AND TRAILS IN THE RR: RURAL RESIDENTIAL DISTRICT. PARCEL NO. 05-21-305-109

Chairperson Loy moved to the next item on the agenda and asked Ms. Johnston to review the application for a special exception use and site plan review for a nature preserve from the Southwest Michigan Land Conservancy.

Ms. Johnston explained the applicant is seeking site plan approval and Special Exception Use permission for an outdoor recreational area, to be located on an unaddressed parcel near the southeast corner of 4th Street and KL Avenue. Already functioning informally as the KL Nature Preserve, complete with a network of rough trails, the Southwest Michigan Land Conservancy must obtain Special Exception Use permission, per section 20.401 of the Zoning Ordinance, before they may construct an improved parking area to serve patrons.

She said the site plan submitted by the applicant includes a 20 space gravel parking area, incorporating a 24 foot wide circulation aisle for two-way traffic as well as a turn-around area for fire equipment. Vehicles will access the parking lot from KL Avenue, approximately 925 feet east of 4th Street, which is the current location of the historical access point to the property. The applicant has indicated that the Kalamazoo

County Road Commission has given informal approval for the construction of an improved driveway at this point, with the actual permit to be applied for and issued once work commences. The Township's Zoning Ordinance states that all parking areas for non-residential developments must be paved, but the Southwest Michigan Land Conservancy was granted relief from this requirement by the Oshtemo Zoning Board of Appeals at its November 17th, 2015 meeting. Both the Township Fire Marshal and Engineer have reviewed this project. Any concerns identified in their memos have been addressed by the applicant.

Ms. Johnston said the dimensions proposed for the parking area—24 foot wide aisles and accommodations for 20 parking spaces at 10 feet by 20 feet each—are in compliance with section 68.000 of the Zoning Ordinance: Off-street Parking. While the applicant does not propose to make any significant changes to the property's landscaping, there is significant preexisting vegetation throughout the preserve, and Staff feels that the intent of the landscape requirements of the ordinance are being met. In addition, additional review criteria as described in Section 60.100 of the Zoning Ordinance are met by this application.

Ms. Johnston concluded by saying the proposed use and improvements are consistent with the intent of the Rural Residential zoning district as well as Oshtemo's general desire to preserve the rural character of the Township's western portions. In meeting the requirements of all relevant sections of the Zoning Ordinance, Staff recommended that the Planning Commission approve the Special Exception Use request and site plan. No necessary conditions for approval have been identified.

Chairperson Loy asked if there were questions from Commissioners for Ms. Johnston. Hearing none, he asked if the applicant wished to speak.

Mr. Geoffrey Cripe, Director of Land Protection for the Conservancy, provided background on the Conservancy, and noted in 2012 an event was held to invite neighbors and interested persons to share their vision for the park. The ability to walk or hike was most often mentioned and the plans were met with favor. They feel the intent to preserve the natural habitat meets with the goals of the Township's Master Plan and Zoning Ordinance.

Mr. Mitch Lettow, Southwest Michigan Land Conservancy Stewardship Specialist, 723 W. South Street, Kalamazoo, explained the intent of the parking lot is to provide a safe place to get off the road provided a loose timeline for the project with the goal of an April 16 opening for the preserve and installation of an Ordinance compliant sign in late May. They intend to hold a public contest to name the recreational area.

In answer to Board Member questions, Mr. Lettow said the Conservancy will maintain the trails with the assistance of volunteers; although they do not routinely have large groups, they would be welcome; no trash or restroom facilities will be provided since this will be a passive recreation area.

Mr. Antosz pointed out the Ordinance requires amenities; Ms. Johnston said the Ordinance addresses active recreation areas and since this is a passive area not addressed by the Ordinance, that staff does not feel a need to require them. She agreed that perhaps the Ordinance could be looked at to address active vs. passive.

There were no further questions; Chairperson Loy asked if there were any public comments.

Mr. Bob McCarthy, 8794 KL Avenue, asked if the current gate would remain, whether the open hours would still be 24/7, and whether the limited hunting currently allowed on the site would still be allowed.

Chairperson Loy asked Mr. Lettow to address Mr. McCarthy's questions.

Mr. Lettow said the current gate will be removed. Instead there will be a swinging gate at the turnaround to prevent entering past that point and a sign stating the sunrise to sunset open hours. The limited hunting allowed was a specific agreement with the donor; there will be fall hunting allowed on the property. A sign will be present when active hunting is occurring on the preserve, which consists of 69.5 acres.

Attorney Porter said the posted sign at the gate stating the hours should also state that the Sheriff's Dept. will be called if the hours are violated.

There were no further public comments; Chairperson Loy closed the public hearing.

The Chairperson moved to Board Deliberations. The consensus of the Board was that the passive nature of the preserve is appropriate, no problems were seen with the application, and that this will be a nice addition to the Township.

Ms. Farmer made a motion to approve the application for special exception use and site plan for the nature preserve with a parking lot, public access, and trails as presented. Mr. Antosz supported the motion. The motion passed unanimously.

**COMMERCIAL PLANNED UNIT DEVELOPMENT – CORNER @ DRAKE
CONSIDERATION OF THE APPLICATION FROM GESMUNDO, LLC TO REVIEW A
CONCEPT PLAN THAT WOULD ESTABLISH A COMMERCIAL PLANNED UNIT
DEVELOPMENT FOR 21.7 ACRES WITHIN THE CORNER @ DRAKE COMMERCIAL
CENTER.**

Chairperson Loy moved to the next item on the agenda and asked Ms. Johnston to walk through the application for a Commercial Planned Unit Development (PUD) at the Corner@Drake project surrounding the Costco property.

Ms. Johnston indicated the applicant was requesting the approval of a Commercial Planned Unit Development (PUD), which would include the approximate

21.7 acres within the Corner@Drake project that surround the Costco property. The property is zoned C – Local Business District which allows for the development of commercial PUDs. The development area is located at the northwest corner of Stadium Drive and Drake Road and is also bounded by US-131 and West Michigan Avenue.

She said the process to approve a PUD includes two steps:

- Concept Plan Review – Approval of the layout of the PUD
- Special Exception Use/Site Plan – Detailed site plans that conform to the approved Concept Plan

Currently, she said, three lots within the area planned for the PUD have received site plan approval from the Planning Commission. Based on the concept plan provided, an additional seven building sites are planned. The three developments that have been approved include:

- Field and Stream located in the northwest corner of the site,
- Kellogg Community Federal Credit Union located in the northeast corner of the site, and
- Consumers Credit Union located at the northwest corner of Drake Road and Century Avenue.

Ms. Johnston said the conceptual plan is not required to be publicly noticed for a hearing. However, public hearings are required for the site plans included within the PUD per Section 60.4450.B.3. If the PUD is approved by the Planning Commission and to ensure consistency with this requirement, Planning Staff will request a public hearing be held at the March 10th meeting to incorporate those sites that have already received site plan approval within the PUD.

She said the development area The Century Highfield Sub-Area occupies the better part of what has been referred to as the Century Highfield Sub-Area by the Township in previous planning exercises and indicated the following highlights some of the important elements from those exercises:

- In 1996, the Township conducted a planning review of this area and determined commercial use to be most appropriate, identifying a conference center, hotel, and lifestyle center as target uses.
- In 2011, an update of the Master Plan prompted the Township to conduct this exercise again. Although conditions in the region had altered significantly, the conditions at the site had not changed. The vision remained that the property would be used for commercial uses.
- In October 2013, the Township Board approved the rezoning of the property from R-2 and R-3 residential to C: Commercial, consistent with the Master Plan and Sub-Area Plan.

- In 2014/2015, MDOT replaced the Stadium / 131 interchange, and in conjunction with that project completed significant improvements to the Drake Road / Stadium Drive intersection. The project increased the capacity of the intersection and roads to accommodate the high volume of existing traffic and potential traffic that will likely be generated when this project is complete. In addition, drainage and non-motorized improvements were also included.
- Costco was completed and opened for business in October of 2014.
- Field and Stream, Consumers Credit Union, and Kellogg Community Federal Credit Union were all approved in 2015 and are either under construction or working to begin construction.

She continued, saying from the start of the planning process for this development, it was intended that the individual building sites would function as one larger commercial retail center. The placement of internal access, building sites, landscaping, drainage infrastructure, signage, etc. was designed to be integrated and work as a whole. At the time Costco was developed, only two parcels existed on site – the Costco development and the property that surrounded Costco to the east, south and west. Reviews of the site plans that were previously submitted to the Township were conducted based on this “ring” property as one parcel.

In 2015, the applicant submitted a land division application to the Township for the large parcel that surrounds Costco. The request was to create five new parcels within the development, which was approved by the Township and recorded with Kalamazoo County. Unfortunately, the placement of parcel lines within the development created some conflicts with the Township Zoning Ordinance, specifically setbacks, landscape buffers, signage and lighting requirements at property lines.

She said while the parcels are still under one ownership and the development still functions as a commercial center, the introduction of new parcel lines required Planning staff to re-evaluate the ability to approve new site plans without variances from the code. In addition, existing approvals were now noncompliant. As a way to rectify these concerns, Planning staff recommended the establishment of a commercial PUD. Utilizing this tool allows the Township to continue to review these properties as one development as always intended by the applicant. The approval of the concept plan solidifies the development’s design and provides continuity as new site plans are submitted.

Ms. Johnston said the concept plan has not changed significantly since its original inception in 2013 when Costco was approved. A total of nine building sites (one combined by a pedestrian plaza) are proposed. Century Avenue provides the primary access to the development, which was constructed, along with the adjacent sidewalk, when Costco was completed. Additional vehicular access is provided at the northern portion of the site from Drake Road and along the western boundary to Michigan

Avenue. All drives within the development are private and will be maintained through a shared access easement agreement.

Utilities to the site are provided through public water and sanitary sewer. As site plans are developed, these connections are reviewed and approved by the Township Engineer. Per Section 78.520: Stormwater Management Standards, all stormwater must either be managed by a public system or handled through on-site facilities. The entire Corner@Drake development uses a combination of both public and on-site facilities. While not included in the PUD, Costco manages stormwater on-site. The properties within the PUD utilize the Michigan Department of Transportation's (MDOT) system near US-131 on the west side of the project and the City of Kalamazoo's system on the east side of development. Stormwater management will continue to be reviewed as individual site plans are submitted to the Township.

She said the parking calculations for the concept plan have been developed based on the standard practice of utilizing a net value for building square footage. A total of 952 spaces are planned and the applicant is requesting size reduction for 25 percent of the spaces. Per Section 68.300: Requirements for Parking Spaces and Parking Lots, the Planning Commission may alter parking lot space dimensions for up to 25 percent of the spaces if the lot has more than 100 spaces. The applicant is requesting that 238 spaces be dimensioned at 9' x 18' as opposed to the 10' x 20' generally required.

Ms. Johnston discussed lighting requirements, saying the areas internal to the site should not be required to dim down lighting to 1 foot candle since pedestrians walking in those areas will need more lighting for safety and security; she indicated there is flexibility within the Ordinance to provide for that.

Also, she explained the commercial PUD ordinance requires that landscaping be in accordance with Section 75: Landscaping. This will generally be reviewed as the individual site plans are submitted to the Planning Commission. However, there are two notable deviations from Section 75 related to buffer zones that support of the PUD will approve. First is the required buffer zone along Drake Road, which includes a pedestrian path. According to Section 75.130: Greenspace Areas, the buffer zone C+ (30 feet) is required in this area because the non-motorized facility cannot be accommodated entirely in the public right-of-way. The concept plan shows the buffer zone along Drake Road averaging 20 feet in width, which is a C buffer zone and is typical along public roadways.

Ms. Johnston pointed out the applicant has agreed to allow the paved, non-motorized path to be placed on his property where the right-of-way for Drake Road is too narrow for construction. The applicant has also agreed to cover the cost of a standard 5-foot sidewalk along Drake Road. The Township, however, is considering contributing to these funds to develop a 10-foot multi-use path, which may require additional property from the applicant. It seems overly burdensome to require the applicant to both provide property for a non-motorized path and then to increase that

buffer from 20 to 30 feet because the path cannot be accommodated in the right-of-way. Planning staff would encourage the Planning Commission to approve the buffer zone along Drake Road as presented.

She said the second buffer zone deviation is for the required 10-foot buffer between commercial uses. Section 75.130 requires buffer zone classification A between two C: Commercial zoned properties. Due to the lot splits approved in 2015, this 10-foot buffer is required on both sides of the new parcel lines within the development. As this project is essentially a commercial “center” and not individual parcels, buffering does not seem necessary. Also, placing a 20-foot landscape buffer between parcels does not allow for the possibility of shared parking and makes connectivity between building sites more difficult.

As she stated previously, a non-motorized path is planned along Drake Road. However, the final design of the path is yet to be determined. As currently planned, the path will be a 5-foot sidewalk that meanders along the right-of-way as opposed to simply being located parallel to the curb. Pedestrian circulation within the development is primarily handled through a five-foot sidewalk along Century Avenue. Access points are planned from this sidewalk to various building sites as well as between building sites. There are a few of access points that have either been approved on past site plans or are requested by Planning staff that are not shown on the concept plan. These include the following:

- There is a pedestrian crossing from the southeast corner of the Consumers Credit Union site to the sidewalk planned on Drake Road that was approved as part of the site plan but is not shown on the concept plan.
- Staff would like to see pedestrian access from the sidewalk on Century Avenue to the southwest corner of the building site at the southwest corner of Century Avenue and Drake Road.
- The multi-tenant shops located between Kellogg Community Federal Credit Union and Consumers Credit Union includes a large parking lot to the rear of the buildings. A pedestrian path is planned along the north side of the second building north of Century Avenue. Some type of demarcation is needed to direct pedestrian traffic to this sidewalk. Staff would recommend striping in the parking lot or signage on the sidewalk or some other indication of the pedestrian path presented by the applicant and approved by the Planning Commission.

Ms. Johnston said Section 60.423: Open Space delineates the requirements of open space within the commercial PUD. The applicant has indicated on the Pedestrian Circulation and Open Space plan that 4.40 acres of the site is dedicated to open space. Based on the requirements of 60.423, five percent of the site is required to be dedicated as open space. This equates to 1.1 acres of required open space. The ordinance indicates the following:

Designated open space shall be set aside as common land and either retained in an essentially undeveloped or unimproved state or improved as a central "public gathering place" to serve the following purposes:

- 1. conservation of land and its resources,*
- 2. ecological protection,*
- 3. provide for parkland and passive recreation (which preserve the natural features),*
- 4. protect historic and/or scenic features,*
- 5. shaping and guiding the planned unit development,*
- 6. enhancement of values and safety,*
- 7. provide opportunities for social interaction, and/or*
- 8. provide active recreational opportunities on a neighborhood scale.*

Based on the plan provided, Ms. Johnston said it appears that all the landscaped areas and plaza areas have been counted towards the open space calculation, which does not technically meet the definition provided above. The parking lot islands and landscaping around the buildings should not be included in this calculation. However, Planning staff believes the following features do meet the ordinance requirements and can be counted towards the five percent open space:

- The large open plaza planned between the two buildings which face Stadium Drive would qualify because it provides opportunities for social interaction within the PUD.
- The pedestrian connections and the landscaped buffer zones that surround these connections can be counted as they enhance the value and safety of the PUD, shape and guide the design of the PUD and provide opportunities for social interaction because they afford access to the pedestrian plaza.
- The open space area at the corner of Drake Road and Stadium Drive, which includes the decorative designed retaining wall and landscaping that enhances safety and values and helped to guide and shape the development of the PUD.

Based on Staff's rough estimate of the square footage of these areas, a total of 1.7 acres can be calculated, which would meet the requirements of the ordinance. In addition to the open space areas on site, the applicant has entered into an agreement with MDOT to maintain their acreage of open land adjacent to the development near US-131. This property will remain undeveloped.

Ms. Johnston said according to Section 60.440: Review Criteria, the Planning Commission should consider the following Standards of Approval items, 60.441 – 60.448 when reviewing a commercial PUD concept plan and provided explanations for each item:

60.441: The overall design and land uses proposed in connection with a planned unit development shall be consistent with the intent of the planned unit development concept and the specific design standards set forth herein.

The uses planned within the PUD are retail, office and restaurant uses. These are all compatible with a commercial PUD or commercial "center." The PUD also meets the guidelines for development outlined in Section 60:430 Design Standards. Overall, the uses and design of the PUD are supported by the Zoning Ordinance.

60.442: The proposed planned unit development shall be consistent with the goals, objectives, and development principles identified in the Township Master Plan including applicable Sub-Area Plan contained in the Master Plan.

The proposed PUD is located within the Century Highfield Sub-Area Plan of the Master Plan. This section of the Township was designed as a sub-area of the Master Plan because of the significant opportunities for future development and redevelopment in the area. At the time of the Master Plan, the Corner@Drake project was in its infancy and therefore the site was still being underutilized as residential. The Sub-Area Plan recognizes the significance of this location as a gateway into the Township and therefore recommended some flexibility in uses within the Gateway Commercial North district. A mix of commercial and residential uses at a density greater than existed when the Master Plan was adopted was envisioned for the Gateway Commercial North designation. In addition, the Century Highfield Sub-Area Plan specifically mentions the use of planned unit developments as a way to allow for development flexibility. The Corner@Drake project fits into the outcomes proposed by the Sub-Area Plan.

60.443: The proposed planned unit development shall be serviced by the necessary public facilities to ensure the public health, safety, and welfare of the residents and users of the development.

The PUD is served by both public water and sanitary sewer. Public facilities will also be utilized to handle a portion of the stormwater runoff from the development.

60.444: The proposed planned unit development shall be designed to minimize the impact on traffic generated by the development on the surrounding land uses and road network.

Circulation and traffic impacts from the development were closely scrutinized when Century Avenue was fully constructed for the development of Costco. The developer coordinated with the owners of the property to the east (former Kmart) to consolidate their existing driveways into one that was aligned and signalized with Century Avenue.

The location of this intersection, the lane alignment on Drake Road, and the requirement for the traffic signal were well studied and evaluated by a variety of different agencies and engineers. The applicant submitted a traffic study when Costco was developed to support the commercial center. The study was reviewed carefully by MDOT and the City of Kalamazoo (who maintains Drake Road in this location). The Township worked with these agencies and the developer to design the circulation of the project so that it functioned effectively with the improvements to Stadium Drive and the US-131 intersection completed by MDOT. All agencies were satisfied that the proposed changes would not negatively impact Drake Road or Stadium Drive, and would in fact improve circulation patterns.

60.445: The proposed planned unit development shall be designed so as to be in character with surrounding conditions as they relate to the bulk and location of structures, pedestrian and vehicular circulation, landscaping, and amenities.

The design of the PUD, character of the building facades, pedestrian circulation, landscaping and amenities proposed on the site have all greatly enhanced the character of the area. The retaining wall design feature has considerably improved this gateway point to the Township. Overall the quality of development within the Corner@Drake PUD is a significant improvement to this area of Oshtemo Township.

60.446: The proposed planned unit development shall be designed and constructed so as to preserve the integrity of the existing on- and off-site sensitive and natural environments, including wetlands, woodlands, hillsides, water bodies, and groundwater resources.

Development within the Corner@Drake PUD has already occurred and all on-site grading has been completed. Designing the PUD with the intent to preserve natural features is no longer possible.

60.447: The designated open space shall be of functional value as it relates to opportunities for wildlife habitat, woodland preservation, agricultural use, recreation, visual impact, and access.

The designated open space within the PUD is primarily designed for access and the safety and enjoyment of the PUD by pedestrians, as well as the visual impact it provides outside of the development. The function of a commercial center does not lend itself to the other open space opportunities outlined in Section 60.447.

60.448: The proposed planned unit development shall comply with all applicable Federal, State, and local regulations.

The development has already received any required outside organization approvals. These occurred when Costco and the other sites already approved by the Township were submitted.

Ms. Johnston said staff has worked closely with the applicants and their team for several months as this development project has evolved. The placement of a PUD over these properties will result in a more cohesive development and will allow for some flexibility within the Zoning Ordinance. If the Planning Commission approves the PUD Concept Plan, the following deviations from the Zoning Ordinance will occur:

1. Reduced setbacks, specifically for the financial institutions drive-thru lanes.
2. Relief from 0.1 foot candle light limit between sites.
3. Relief from necessary landscape buffer widths—specifically allow no buffers between some parcels, and reduce necessary buffer width along Drake Road to 20 feet.
4. Allow for an off-site sign for the uses that will be included on the multi-tenant sign located on Drake Road.

5. Allow 238 parking spaces to be dimensioned at 9' x 18' as opposed to the 10' x 20' generally required.

Ms. Johnston concluded by saying Planning staff recommended approval of the Corner@Drake PUD Concept Plan with the following conditions:

1. Allow the following deviations from the Zoning Ordinance:
 - Allow for a reduction in side and rear yard setbacks within the PUD.
 - Allow a reduction in the front yard setback from Stadium Drive to a minimum of 35 feet.
 - Relief from 0.1 foot candle light limit between sites.
 - Relief from necessary landscape buffer widths—specifically allow no buffers between parcels and reduce the necessary buffer width along Drake Road to 20 feet.
 - Allow for an off-site sign for the uses that will be included on the multi-tenant sign located on Drake Road.
 - Allow 238 parking spaces to be dimensioned at 9' x 18' as opposed to the 10' x 20' generally required.
2. A public hearing be held to establish the Special Exception Use on the approved site plans.
3. The submission of a revised Open Space Plan showing the areas delineated by staff in the 02-03-2016 memo.

Chairperson Loy thanked Ms. Johnston for her presentation and asked if there were questions for her from the Board.

Ms. Smith asked about the nature of other businesses to come within the proposed PUD.

Ms. Johnston said in addition to Kellogg and Consumers Credit Unions and Field and Stream, Old National Bank, two restaurants and 2 – 5 retail shops are expected.

Ms. Jackson asked for clarification on the Drake Road buffer requirement.

Attorney Porter concurred with Staff's belief that requiring a buffer and an additional 10 feet for a path would be punishing the developer.

In answer to a question from Ms. Farmer about why the MDOT agreement is not included in the PUD, Ms. Johnston explained the applicant has agreed with MDOT to maintain the whole area around the perimeter, including MDOT's property.

Attorney Porter pointed out the applicant cannot acquire the MDOT property for five years, but may be able to acquire it at some point.

Ms. Farmer pointed out the 10 foot path developed in concert with the Township goes toward the current Township Board vision of making the Township walkable; the path would be similar to the path in front of the Township Hall and could link both north and south on Drake Road as more pathway is developed.

Attorney Porter said the goal of the Township is to have a walkable path the entire length of Drake Road from Stadium north to the Kal Haven Trail and south to meet with W.M.U.

There were no further Board questions; Chairperson Loy asked if the applicant wished to speak.

Mr. Kurt Aardema, AVB Builders, 1451 W. Maple Street, said although there was no PUD Ordinance in place at the beginning of the Corner@Drake project it was always the vision, and now they are excited to be able to work within this plan, provide new design elements and to cooperate in providing a 10 foot wide path. He appreciated the thorough staff report

Chairperson Loy said since the Township will be responsible for maintaining the 10 foot wide path he would like to see the developer provide an easy way for a plow truck to get on and off the path efficiently and easily. Mr. Aardema said he would work with the Engineer to make sure that will occur.

The Chairperson said the project is well designed and should work well within the PUD.

Mr. Aardema reported the shared tenant sign is underway and will fit well with the character of the development, utilizing much of the same types of building materials.

The Chairperson determined there were no members of the public who wished to address the Board and moved to Board Deliberations. He commended Ms. Johnston on her excellent presentation.

Ms. Jackson liked the plan and that it was made much better with the PUD.

Ms. Farmer expressed her distress over how much space is devoted to pavement for parking. Trees that were on site were too mature and overgrown to preserve and there were contaminants on the site, but natural space was not preserved and there is a lot of concrete, even though Ordinance requirements were met.

Ms. Jackson made a motion to approve the concept plan, including the listed deviations from the Zoning Ordinance, proposed by AVB Builders to establish a commercial planned unit development (PUD) for 21.7 acres within the Corner@Drake commercial center contingent upon the three recommended staff conditions. Ms. Farmer supported the motion. The motion passed unanimously.

Old Business

There was no old business; Chairperson Loy moved to the next item.

Any Other Business

Sign Regulations in the Village Form-Based Code Overlay District

Ms. Johnston indicated there has been some difficulty in enforcing part of the Village Form-Based Code Architectural Design Standards, specifically: "Section 34.670.B.4: internally lit plastic letters or plastic box signs shall be prohibited."

She provided some background on this situation and asked if Commissioners would be open to allow staff to bring a recommendation regarding how to manage the situation and outlined several possible solutions.

After some discussion, the Board agreed it would be appropriate to address the situation and asked Ms. Johnston to return with a recommendation.

PLANNING COMMISSIONER COMMENTS

Ms. Jackson reminded the Board of the joint meeting to be held Tuesday, February 16.

Ms. Johnston said a letter and certificate of appreciation for Mr. Schley's service on the Planning Commission would be mailed to him.

ADJOURNMENT

Having exhausted the agenda, and with there being no further business to discuss, Chairperson Loy adjourned the Planning Commission meeting.

The Planning Commission meeting was adjourned at approximately 8:35 p.m.

Minutes prepared:
February 15, 2016

Minutes approved:
_____, 2016

February 17th, 2016



Meeting Date: February 25th, 2016

To: Planning Commission

From: Ben Clark, Zoning Administrator

Applicant: Hokanson Companies, Inc.

Owner: Corner @ Drake D, LLC

Property: 5003 Century Avenue, parcel #3905-25-240-009

Zoning: C: Local Business

Request: Special Exception Use and site plan review for a new bank with drive-through accommodations

Section(s): 30.407: Drive-in service window or drive-through services for businesses; 60.420: Commercial planned unit development provisions

Project Name: Old National Bank

OVERVIEW

The applicant is seeking site plan approval and Special Exception Use permission for a new bank with drive-through accommodations, to be located at 5003 Century Avenue within the Corner @ Drake commercial PUD in Oshtemo Township.

PROJECT SUMMARY

Situated on the southwest corner of Drake Road and Century Avenue, immediately south of Consumers Credit Union, the proposed Old National bank will be two stories tall with approximately 15,500 square feet of floor space. The drive-through lanes, rather than being appended to the side of the structure as is typically done with financial institutions, will actually be located beneath the second floor, essentially passing through the center of the building. The structure's shape, size, and overall aesthetics are intended to help prominently define the entrance to the Corner @ Drake development, complementing the similarly multi-storied CCU which lies on the other side of Century Drive. Along with serving patrons' personal banking needs, this facility will also function as Old National's regional office.

GENERAL ZONING & PUD COMPLIANCE

The proposed project is in compliance with all relevant sections of Oshtemo Township's Zoning Ordinance, including building setbacks, site lighting photometrics, parking area layout & dimensions, and landscaping. The site plan has also been developed in accordance with the overall concept plan for the Corner @ Drake commercial PUD, which was approved by the Planning Commission at its February 11th, 2016 meeting.

SITE CIRCULATION

Using a combination of one- and two-way traffic flows, all internal vehicle circulation aisles are of the necessary widths, and the site plan indicates that there will be ample directional pavement arrows to help guide motorists as they circulate through the site. Information on the site plan also states that up to 14 cars will be able to line up to use the drive-through facilities without impeding traffic flow on the rest of the property. While the Zoning Ordinance doesn't state how many stacking spaces must be provided, Township Staff is comfortable with the indicated capacity. Three additional changes that Staff would like to see made to the site plan are the inclusion of crosswalk striping at the driveway onto the property and across the drive-through entrance lane, and an indication that an ADA compliant ramp will be installed where the southwest pedestrian connection meets the building's perimeter sidewalk.

ENGINEERING

While the Township's Engineer did not identify any significant concerns during his review of this project, he did note that the drains located in the drive-through lanes are shown as connecting to the sanitary sewer, but Staff prefers that they instead empty into the stormwater system. The engineering firm responsible for creating and managing the site plan for this project is aware of this issue, and has indicated to the Township Engineer that they intend to change the drains so that they empty into the stormwater system. If the applicant prefers that the drains remain connected to the sanitary system, then the runoff must be treated in compliance with all relevant standards.

Another concern identified by the Township Engineer during his review is that one of the indicated spot elevations on the site plan suggests that stormwater will likely spill over the curbing of the parking lot before flowing into the intended drainage feature. As with the above matter, the applicant is aware of this issue and plans to correct it on a revised site plan.

FIRE DEPARTMENT

Based on the size of the building, which is one factor that determines how much water flow is necessary for adequate fire suppression, the Fire Marshal has stated that one additional hydrant is needed to service the subject site, preferably along its Drake Road frontage. Representatives of the applicant are aware of the Fire Marshal's concerns and plan on meeting with him to address the hydrant location issue.

OTHER CONSIDERATIONS

Section 60.100 of the Zoning Ordinance provides additional review criteria for consideration when deliberating a Special Exception Use request.

A. Is the proposed use compatible with the other uses expressly permitted within the C: Local Business zoning district?

Given that financial institutions without drive-through accommodations are permitted by right in this zoning classification, Staff considers this proposed use as being compatible with the district.

B. Will the proposed use be detrimental or injurious to the use or development of adjacent properties or to the general public?

Designed in accordance with the approved concept plan for the Corner @ Drake commercial PUD, Staff feels that this project will fit in well with its surroundings, both from a usage and an aesthetic standpoint.

C. Will the proposed use promote the public health, safety, and welfare of the community?

Intended to be a part of the Corner @ Drake commercial PUD, it is anticipated that the design and siting of the proposed will promote the public health, safety, and welfare of the community. With no direct vehicle access to Drake Road and ample pedestrian accommodations, Staff feels that the public interest is being served.

D. Will the proposed use encourage the use of the land in accordance with its character and adaptability?

This use is harmonious with its location. Situated near the junction of two busy roads and within a larger commercial development, Staff has no concerns that the proposed Old National Bank will in any way negatively impact the land's character or adaptability.

RECOMMENDATION

Staff is comfortable in recommending approval of the site plan and Special Exception Use request for Old National Bank. If the Planning Commission is inclined to approve this project, Staff suggests the following conditions, to be administratively evaluated prior to the issuance of a building permit.

1. A revised site plan be submitted to the Township, showing the two unmarked pedestrian paths—one at the site's vehicle entrance and the other across the entry point to the drive-through facilities—striped as crosswalks and the aforementioned ADA ramp near the southwest corner of the building.
2. Either the drains in the drive-through area are to be connected to the stormwater system, to be shown on a revised site plan, or, if they are to continue to empty into the sanitary sewer, then the appropriate treatment mechanisms are to be illustrated on said plan.
3. The erroneous spot elevation found during engineering review be corrected.
4. The Fire Marshal is to be presented with a satisfactory plan to include all necessary hydrants, also to be included on a revised site plan.

Respectfully Submitted,

A handwritten signature in cursive script, appearing to read "Ben Clark".

Ben Clark
Zoning Administrator

Attachments: Application & narrative
Site plan
Aerial map
Fire Marshal memo
Engineer memo



7275 W. Main Street, Kalamazoo, Michigan 49009-9334
 Phone: 269-216-5223 Fax: 269-375-7180

PLEASE PRINT

PROJECT NAME & ADDRESS OLD NATIONAL BANK, 5003 CENTURY AVE.

PLANNING & ZONING APPLICATION

Applicant Name: Hokanson Companies, Inc.

*Zol near
109 rd about
Suite 400
Indianapolis IN, 46160*
 Company CORNER @ DRAKE D, LLC
 Address 4200 W. CENTRE AVE.
PORTAGE, MI 49024

E-mail caardema@aubinc.com

Telephone 269-323-2022 Fax 269-323-2484

Interest in Property OWNER

OWNER*:

Name Corner @ Drake D, LLC
 Address 4200 W. center Ave
Portage MI 49024
 Email caardema@aubinc.com
 Phone & Fax 269-323-2022 269-323-2484

Oshtemo Charter Township
 7275 W MAIN ST
 KALAMAZOO, MI 49009
 Phone : 269-375-4260
 OSHTEMOTOWNSHIP.ORG

Received From: TOWER PINKSTER
 Date: 01/08/2016 Time: 9:30:59 AM
 Receipt: 120773
 Cashier: DeannaJ

ITEM REFERENCE	AMOUNT
1088 SITE PLAN REVIEW 5003 CENTURY AVE	\$600.00
1085 SPECIAL EXCEPTION USE SPECIAL EXCEPTION USE	\$300.00
1042 PLANNING ESCROW PLANNING ESCROW	\$1,000.00
TOTAL	\$1,900.00
CHECK 001414	\$1,900.00
Total Tendered:	\$1,900.00
Change:	\$0.00

NATURE OF THE REQUEST: (Please check the appropriate item)

- | | |
|--|--|
| <input checked="" type="checkbox"/> Planning Escrow-1042 | <input type="checkbox"/> Land Use |
| <input checked="" type="checkbox"/> Site Plan Review-1088 | <input type="checkbox"/> Subdivision |
| <input type="checkbox"/> Administrative Site Plan Review-1086 | <input type="checkbox"/> Rezoning |
| <input checked="" type="checkbox"/> Special Exception Use-1085 | <input type="checkbox"/> Interpretation-1082 |
| <input type="checkbox"/> Zoning Variance-1092 | <input type="checkbox"/> Text Amendment-1081 |
| <input type="checkbox"/> Site Condominium-1084 | <input type="checkbox"/> Sign Déviation-1080 |
| <input type="checkbox"/> Accessory Building Review-1083 | <input type="checkbox"/> Other: _____ |

BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary): _____

PLEASE SEE ATTACHED LETTER.

LEGAL DESCRIPTION OF PROPERTY (Use Attachments if Necessary):

PLEASE SEE ATTACHED DESCRIPTION

PARCEL NUMBER: 3905- ~~TO BE ASSIGNED~~ 05-25-240-009

ADDRESS OF PROPERTY: 5003 CENTURY AVE.

PRESENT USE OF THE PROPERTY: VACANT LAND

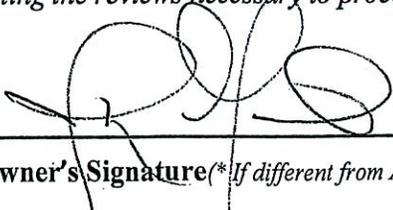
PRESENT ZONING COMMERCIAL **SIZE OF PROPERTY** 2.2 ACRES +/-

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)	Address(es)
<hr/>	<hr/>
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SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshtemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.



Owner's Signature (* If different from Applicant)

1/6/16
Date

Applicant's Signature

Date

- | |
|-------------------------------|
| Copies to: |
| Planning -1 |
| Applicant -1 |
| Clerk -1 |
| Deputy Clerk -1 |
| Attorney -1 |
| Assessor -1 |
| Planning Secretary - Original |

PLEASE ATTACH ALL REQUIRED DOCUMENTS

Legal Description

Part of the Northeast 1/4 of Section 25, Town 2 South, Range 12 West, Oshtemo Township, Kalamazoo County, Michigan, described as: Commencing at the Northeast corner of said Section 25; thence South 01°08'26" West along the East line of said section a distance of 159.18 feet; thence South 89°52'50" West a distance of 50.01 feet to the Westerly right-of-way of Drake Road (100 feet wide, public); thence South 01°08'26" West along said right-of-way a distance of 850.93 feet to the POINT OF BEGINNING; thence continuing South 01°08'26" West along said right-of-way a distance of 337.03 feet; thence North 88°51'34" West a distance of 214.40 feet; thence North 44°33'48" West a distance of 145.35 feet; thence Northeasterly 92.99 feet along a curve to the left, said curve having a radius of 133.00 feet, central angle of 40°03'28" and long chord bearing North 20°01'44" East 91.10 feet; thence North 00°00'00" West a distance of 78.92 feet; thence North 00°47'42" West a distance of 70.46 feet; thence South 88°51'34" East a distance of 292.89 feet to the POINT OF BEGINNING. Containing 2.207 acres or 96,131 square feet. Subject to easements, rights-of-way, and restrictions of record, if any.

CORNER @ DRAKE D, LLC

6 January 2016

Julie Johnston, Planning Director
Oshtemo Charter Township
7275 W. Main Street
Kalamazoo, Michigan 49009

RE: Old National Bank, Site Plan Review

Dear Julie:

We are excited to continue the development of Corner @ Drake. This project, which was just a vision several years ago, is now home to the region's only Costco store, Michigan's second Field & Stream store, a two-story Consumers Credit Union branch, and a Kellogg Community Federal Credit Union branch with architecture unique to Corner @ Drake. The next proposed addition to the development is a new facility for Old National Bank.

The proposed Old National Bank building will house the bank's regional offices, as well as a new retail branch. The building will feature a two-story design that will anchor the south end of the entrance to Corner @ Drake. This commitment from Old National Bank to invest and grow in Oshtemo Township is a great indication of the community's overall progress.

We look forward to working with the Planning Commission and township staff on this next phase of development in Corner @ Drake.

Please feel free to contact me with any questions.

Thank You.

Joe Gesmundo
269.323.2022

Construction Plans

Old National Bank

OWNER



OLD NATIONAL BANK

5003 Century Ave
Kalamazoo, MI 49009

**Oshtemo Twp
Kalamazoo, MI
02/16/16**

ARCHITECT:

TowerPinkster

ARCHITECTS | ENGINEERS

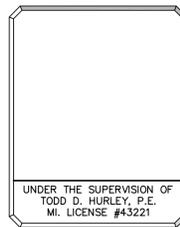
Tower Pinkster Titus Associates Inc.

242 East Kalamazoo Avenue, Suite 200
Kalamazoo, Michigan 49007-5628
269.343.6133 PHONE 269.343.6633 FAX

PLANS PREPARED BY:



hurley & stewart, llc
2800 s 11th street
kalamazoo, michigan 49009
269.552.4960 fax 552.4961
www.hurleystewart.com



UTILITY CONTACTS:

CONSUMERS ENERGY CO.
JESSE BURNS
2500 E. CORK STREET
KALAMAZOO, MI 49001
269.337.2311

ELECTRIC

CONSUMERS ENERGY CO.
TERRY FIELDS
2500 E. CORK STREET
KALAMAZOO, MI 49001
269.337.2270

GAS

CITY OF KALAMAZOO
STEVE SKALSKI/MATT JOHNSON
415 STOCKBRIDGE AVENUE
KALAMAZOO, MI 49001
269.337.8002

WATER/SANITARY

CHARTER
JEFF LAKE
2919 MILLCORK ST.
KALAMAZOO, MI 49001
269.625.7403

TELEPHONE/CABLE

COMCAST
1(800)391-3000

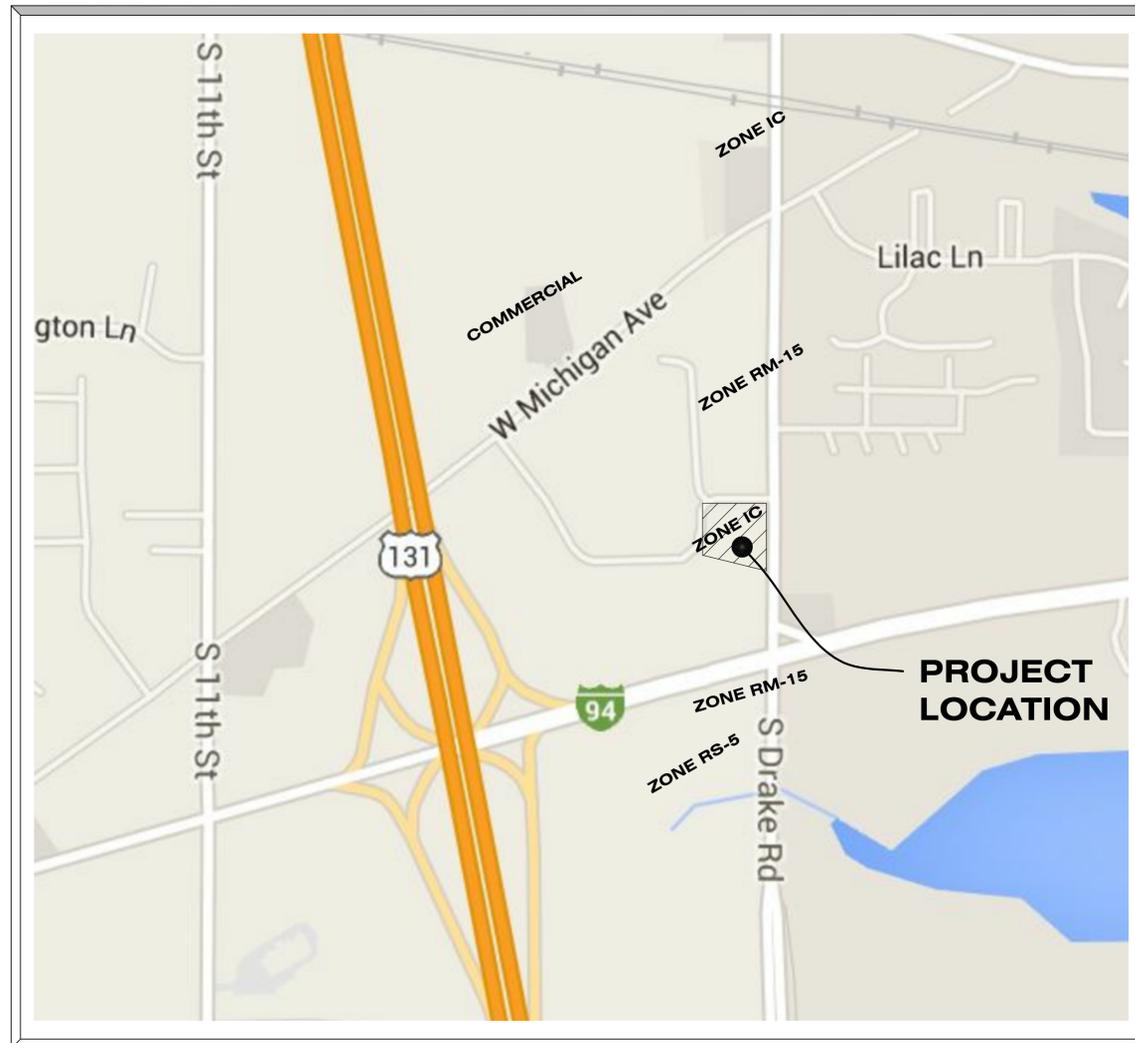
CABLE TV

OSHTEMO TOWNSHIP
GREG MILLIKEN
7275 W. MAIN ST.
KALAMAZOO, MI 49009

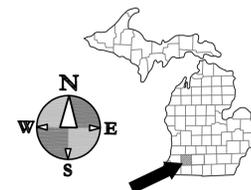
TOWNSHIP

DRAWING INDEX

SHT #	DESCRIPTION
C-0	TITLE SHEET
C-1	EXISTING CONDITIONS - DEMO PLAN
C-2	SITE LAYOUT
C-3	SITE UTILITY PLAN
C-4	SITE GRADING & SESC PLAN
C-5	OVERALL STORM WATER PLAN
C-6	DETAILS
C-7	DETAILS
L-1	LANDSCAPE PLAN
L-2	LIGHTING PLAN
A200	BUILDING ELEVATION
A201	BUILDING ELEVATION



SITE LOCATION MAP
SCALE: 1" = 1000'



LEGEND

	PROPOSED CONTOUR HIGHLIGHTED		EXISTING CONTOUR HIGHLIGHTED
	PROPOSED CONTOUR NORMAL		EXISTING CONTOUR NORMAL
	PROPOSED SANITARY SEWER		EXISTING SANITARY SEWER
	PROPOSED STORM SEWER		EXISTING STORM SEWER
	PROPOSED CATV		EXISTING CATV
	PROP ELEC (OVERHEAD)		EXIST ELEC (OVERHEAD)
	PROP ELEC (UNDERGROUND)		EXIST ELEC (UNDERGROUND)
	PROPOSED FIBEROPTIC CABLE		EXISTING FIBEROPTIC CABLE
	PROPOSED GAS		EXISTING GAS
	PROPOSED TELEPHONE		EXISTING TELEPHONE
	PROPOSED WATER MAIN		EXISTING WATER MAIN
	PROPOSED TREELINE		EXISTING TREELINE
	PROPOSED FENCE		EXISTING FENCE
	CURB CATCH BASIN		GAS METER
	SQUARE CATCH BASIN		TELEPHONE MANHOLE
	ROUND CATCH BASIN		TELEPHONE PEDESTAL
	MANHOLE STORM		TELEPHONE POLE
	MANHOLE SANITARY		PROPOSED SPOT GRADE
	SANITARY CLEANOUT		EXISTING SPOT GRADE
	FIRE HYDRANT		BENCH MARK
	WATER VALVE		POST/BOLLARD
	WATER VALVE IN VAULT		SIGN
	WATER METER		MAILBOX
	WATER REDUCER		SOIL BORING
	LIGHT POLE		MONITOR WELL
	POWER POLE		
	GUY WIRE		
	ELECTRIC MANHOLE		
	ELECTRIC METER		

NOTE: ALL SYMBOLS IN THIS LEGEND ARE SHOWN AS EXISTING. PROPOSED SYMBOLS WILL USE THE CORRESPONDING SYMBOL WITH A THICKER LINE.



EXISTING TOPOGRAPHY PROVIDED BY CARR AND ASSOCIATES LAND SURVEYING. ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

ISSUED FOR:
SITE PLAN REVIEW
02/16/16

REMOVAL NOTES

1. REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP LINE.
2. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH OSHA REGULATIONS INSOFAR AS THEY APPLY TO THE REQUIRED WORK. SOIL EROSION AND SEDIMENTATION CONTROL ITEMS SHALL BE IN PLACE PRIOR TO DEMOLITION.
3. THE CONTRACTOR SHALL REMOVE AND CLEAR ALL TREES, BRUSH, FENCES, BUILDINGS, CURB, AND ASPHALT AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
4. ALL DEMOLITION MATERIAL SHALL BE PROPERLY REMOVED FROM THE SITE AND DISPOSED OF IN A LEGALLY DESIGNATED DISPOSAL AREA. PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE EXISTING BUILDINGS, IN THEIR ENTIRETY, INCLUDING WALLS, FOUNDATIONS AND FOOTINGS. ALL BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
6. BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
7. COMPLY WITH ALL ASPECTS OF THE SOIL EROSION CONTROL PERMIT AS ISSUED BY KALAMAZOO COUNTY. ALL TEMPORARY CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.
8. ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER/OWNER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S COST.
9. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT PRIOR TO OR DURING CONSTRUCTION, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
10. ALL WORK REQUIRING PERSONS OR VEHICLES WITHIN MDOT AND CITY OF KALAMAZOO R/W AND TRAFFIC CONTROL DEVICES AND PROCEDURES SHALL BE IN ACCORDANCE WITH THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ITEM 812 (MAINTAINING TRAFFIC) OF THE CONSTRUCTION MATERIALS AND SPECIFICATIONS, CURRENT EDITIONS.
11. FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

LEGAL DESCRIPTION

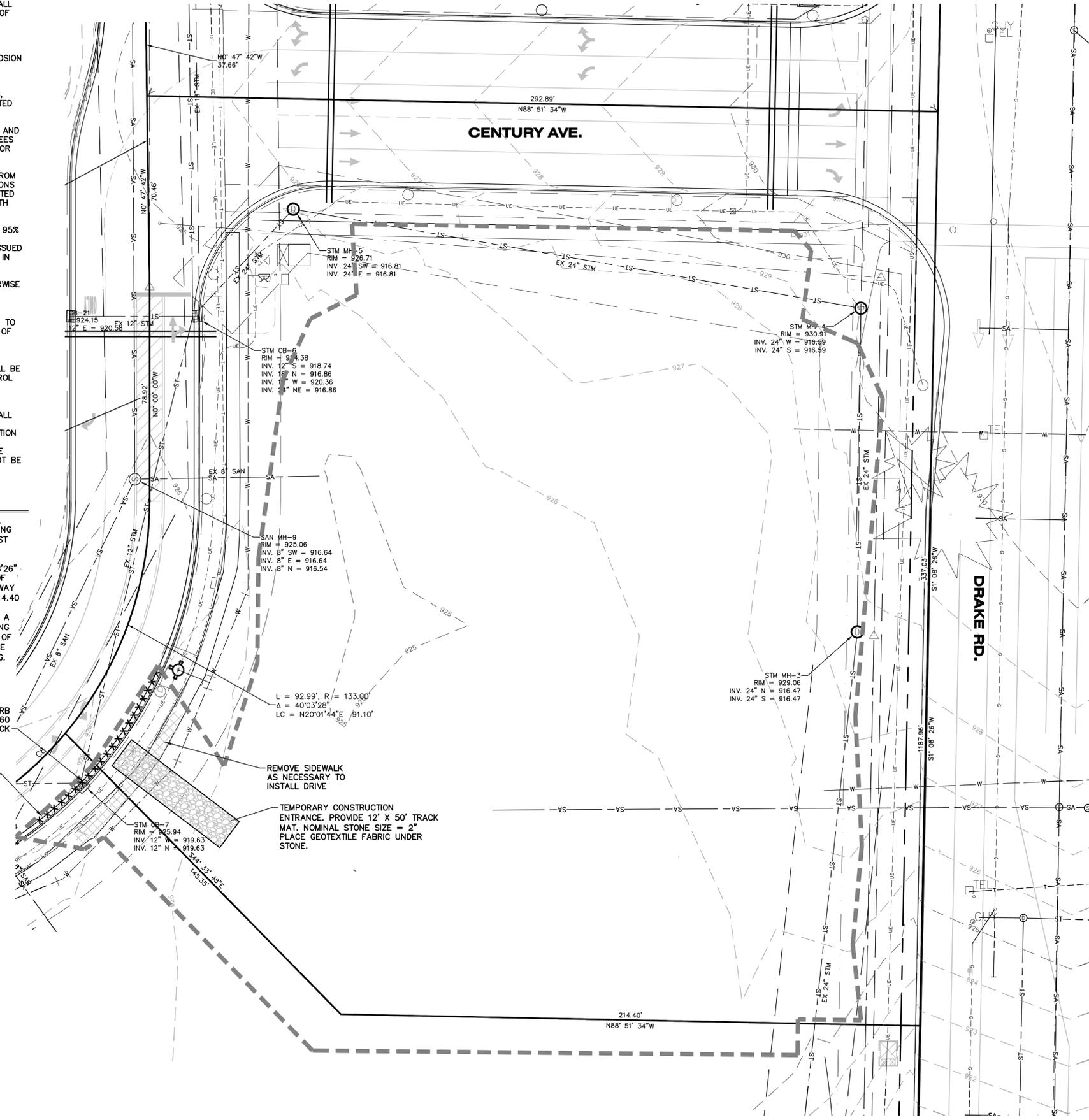
PART OF THE NORTHEAST 1/4 OF SECTION 25, TOWN 2 SOUTH, RANGE 12 WEST, OSHTEMO TOWNSHIP, KALAMAZOO COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 25; THENCE SOUTH 01°08'26" WEST ALONG THE EAST LINE OF SAID SECTION A DISTANCE OF 159.18 FEET; THENCE SOUTH 89°52'50" WEST A DISTANCE OF 50.01 FEET TO THE WESTERLY RIGHT-OF-WAY OF DRAKE ROAD (100 FEET WIDE, PUBLIC); THENCE SOUTH 01°08'26" WEST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 850.93 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 01°08'26" WEST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 337.03 FEET; THENCE NORTH 88°51'34" WEST A DISTANCE OF 214.40 FEET; THENCE NORTH 44°33'48" WEST A DISTANCE OF 145.35 FEET; THENCE NORTHEASTERLY 92.99 FEET ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 133.00 FEET, CENTRAL ANGLE OF 40°03'28" AND LONG CHORD BEARING NORTH 20°01'44" EAST 91.10 FEET; THENCE NORTH 00°00'00" WEST A DISTANCE OF 78.92 FEET; THENCE NORTH 00°47'42" WEST A DISTANCE OF 70.46 FEET; THENCE SOUTH 88°51'34" EAST A DISTANCE OF 292.89 FEET TO THE POINT OF BEGINNING, CONTAINING 2.207 ACRES OR 96,131 SQUARE FEET. SUBJECT TO EASEMENTS, RIGHTS-OF-WAY, AND RESTRICTIONS OF RECORD, IF ANY.

REMOVE EXISTING 7045 T1 CURB BACK AND REPLACE WITH 7060 T1 BACK

REMOVE EX CURB AND GUTTER AS NECESSARY TO INSTALL TYPE M DRIVE OPENING

REMOVE SIDEWALK AS NECESSARY TO INSTALL DRIVE

TEMPORARY CONSTRUCTION ENTRANCE. PROVIDE 12' X 50' TRACK MAT. NOMINAL STONE SIZE = 2" PLACE GEOTEXTILE FABRIC UNDER STONE.



REMOVALS LEGEND

- XXXXXX CURB REMOVAL
- //// SAWCUT
- ▨ PAVEMENT/SIDEWALK REMOVAL
- ▩ BUILDING DEMOLITION
- XXXXXX UTILITY LINE REMOVAL
- TREE REMOVAL
- Ⓡ REMOVE
- Ⓢ SALVAGE
- LIMITS OF CONSTRUCTION



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.
FIELD WORK PERFORMED BY:
LANDTECH PROFESSIONAL SURVEYING

hurley & stewart, llc
2800 south 11th street
kalamazoo, michigan 49009
269.552.4960 fax 269.552.4961
www.hurleystewart.com

Job No.: 15-049D P.M.T.H. DTH: BRP, QA/QC: 02/16/16
ISSUED FOR REVISIONS: 12/22/15
1. SITE PLAN REVIEW RESUBMITTAL 02/16/16
2. SITE PLAN REVIEW RESUBMITTAL 02/16/16
COPYRIGHT © of Hurley & Stewart, LLC

EXISTING CONDITIONS - DEMO PLAN
OLD NATIONAL BANK
TOWER PINKSTER

Sheet Title:
Project:
Client:

02/16/16
Sheet
C-1

DRAWING LOCATION: H:\15-049D (Old National Bank - Drake) - FINAL DRAWINGS\C-1 Existing Conditions - Demo Plans.dwg LAST SAVED BY: ASTINSON ON 1/5/2016

DRAWING LOCATION: H:\15-049D (Old National Bank - Drake) - FINAL DRAWINGS\C-2 Site Layout.dwg LAST SAVED BY: ASTINSON ON: 2/16/2016

ZONING REQUIREMENTS

ZONING
THE SITE IS ZONED C (LOCAL BUSINESS DISTRICT)

PROPOSED USE
BANK

PARKING
TOTAL PARKING SPACES REQUIRED:
1 SPACE / 150 SFT = 15,486 SFT * 0.69 / 150 SFT = 72 SPACES
TOTAL PARKING PROVIDED = 72 SPACES
TYPICAL PARKING SPACE DIMENSION = 10'X20'
TOTAL VEHICLES ABLE TO BE ACCOMMODATED AT ONE TIME: 14

BARRIER FREE SPACES REQUIRED = 3 SPACES
BARRIER FREE SPACES PROVIDED = 3 SPACES
ALL BARRIER FREE SPACES DESIGNED PER ADA REQUIREMENTS
TYPICAL BARRIER FREE PARKING SPACE DIMENSION = 9'X20'

INTERIOR LANDSCAPING
INTERIOR LANDSCAPING AREA REQUIRED = 25 SQUARE FEET OF LAND AREA PER SPACE.
= 25 * 72 = 1,800 SFT
INTERIOR LANDSCAPING AREA PROVIDED = 2,898 SFT

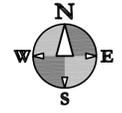
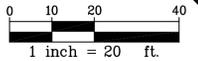
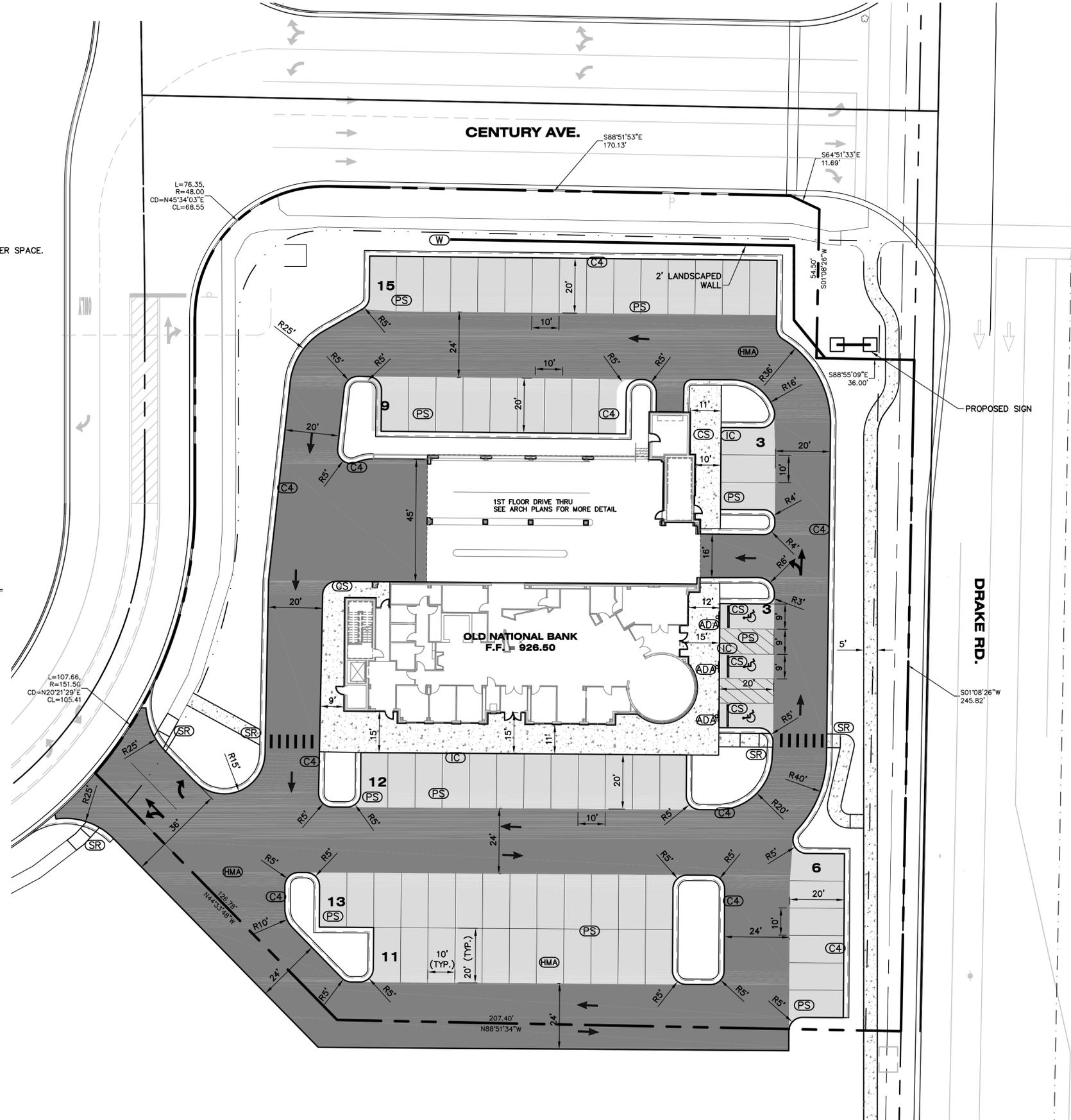
LEGEND

- LIGHT DUTY HMA PAVEMENT
- HEAVY DUTY HMA PAVEMENT
- CONCRETE

- HMA PAVEMENT
- C4 CURB AND GUTTER
- CONCRETE SURFACE
- INTEGRAL CURB WALK
- PARKING STRIPING
- WALL
- ADA SIGN SEE DETAIL
- CURB STOP
- SIDEWALK RAMP SEE DETAIL

NOTES

1. ALL DIMENSIONS SHOWN ARE TO THE EDGE OF METAL.
2. PROVIDE CURB CUTS/RAMPS AT ALL BARRIER FREE ACCESS POINTS.
3. PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND MICHIGAN BARRIER FREE CODE AND FIELD AND STREAM CRITERIA ATTACHED.
4. MATCH EXISTING CURB & GUTTER SECTIONS WHEN CONNECTING TO THEM.
5. EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2003 EDITION.
6. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
7. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
8. ALL EXTERIOR CONCRETE SHALL BE 4000PSI, AIR ENTRAINED, LIMESTONE AGGREGATE, BROOM FINISHED, CURING SEAL.
9. ANY BITUMINOUS OR CONCRETE PAVEMENT, SANITARY SEWER, SANITARY SEWER SERVICE LEADS, OR STORM SEWER, WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.



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269.552.4960 fax 269.552.4961
www.hurleystewart.com



Job No. 15-049D P.M.T.H. Dkt. BRP QA/QC 02/16/16
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1 SITE PLAN REVIEW 12/22/15
2 SITE PLAN REVIEW RESUBMITTAL 02/16/16
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SITE LAYOUT
OLD NATIONAL BANK
TOWER PINKSTER



Sheet Title:
Project:
Client:

02/16/16

Sheet
C-2

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.
FIELD WORK PERFORMED BY:
LANDTECH PROFESSIONAL SURVEYING

UTILITY NOTES

1. PLACE SANITARY CLEANOUT EVERY 100' AND/OR AT BENDS ON ALL 6" SANITARY SEWER LEADS.
2. ALL STRUCTURE CASTINGS TO BE EAST JORDAN IRON WORKS OR APPROVED EQUAL. SEE STRUCTURE TABLE FOR SPECIFIC CASTING AT EACH STRUCTURE.
3. COORDINATE ALL UTILITY LOCATIONS AND ELEVATIONS WITH MECHANICAL DRAWINGS AND BUILDING CONTRACTOR PRIOR TO INSTALLATION.
4. REMOVE SEDIMENT FROM ALL STRUCTURES ONCE PAVING IS COMPLETE AND REMOVE SILT SACKS.
5. SITE CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL UTILITIES TO 5' FROM BUILDING WALL.
6. THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
7. CONSTRUCT, CERTIFY, AND TEST ALL WATER AND SANITARY SEWER TO OSHTEMO TOWNSHIP AND CITY OF KALAMAZOO STANDARDS.
8. VERIFY ALL UTILITY CONNECTION POINTS PRIOR TO COMMENCING CONSTRUCTION.
9. VERIFY NUMBER OF FITTINGS PRIOR TO ORDERING. TOTALS DO NOT INCLUDE VERTICAL DEFLECTIONS THAT MAY BE NEEDED.
10. PROVIDE 18" WATER MAIN SEPARATION WHEN CROSSING OTHER UTILITIES. DEFLECT UNDER OTHER UTILITIES W/O USING FITTINGS WHENEVER POSSIBLE.

STORM SEWER STRUCTURE SCHEDULE

STR. #	RIM EL.	DIAM.	CASTING	PIPES IN:	PIPES OUT
CCB #2	924.52	4'	7045 M1 T1	24" W: 920.62	24" N: 920.62
CCB #3	924.35	4'	7045 M1 T1	24" N: 921.27	24" E: 921.27
CCB #4	925.38	4'	7045 M1 T1	24" N: 921.75	24" S: 921.75
CCB #5	925.08	4'	7045 M1 T1		24" S: 922.04
CCB #6	925.05	4'	7045 M1 T1	24" NW: 921.01	24" SW: 921.01
CCB #7	924.68	4'	7045 M1 T1		24" SE: 921.68
EX MH-3	928.54	4'	EX.	12" NW: 919.78 EX. 24" N: 916.47	EX. 24" S: 916.47
OS #1**	927.25	4'	1040 A	24" S: 919.98 24" NE: 920.68	12" SE: 919.98
TS ***	925.77	4'	1040 A	12" NW: 918.92	12" SE: 919.92

- * CORE INTO EXISTING MANHOLE
- ** OUTLET CONTROL STRUCTURE (SEE DETAIL)
- *** TREATMENT STRUCTURE (SEE DETAIL)

SANITARY SEWER STRUCTURE SCHEDULE

STR. #	RIM EL.	DIAM.	CASTING	PIPES IN:	PIPES OUT
CB #8	925.73	4'	5105 M1	8" S: 921.88	8" W: 921.78
CB #9	925.79	4'	5105 M1		8" N: 922.10
CLEAN OUT	925.73	1'	Standard	6" S: 922.43	6" NW: 922.43
SMH #10****	925.39	4'	1045 A	6" SE: 922.09 8" E: 921.03	EXISTING 8" W: 916.45

**** INTERNAL DROP TO 918.45

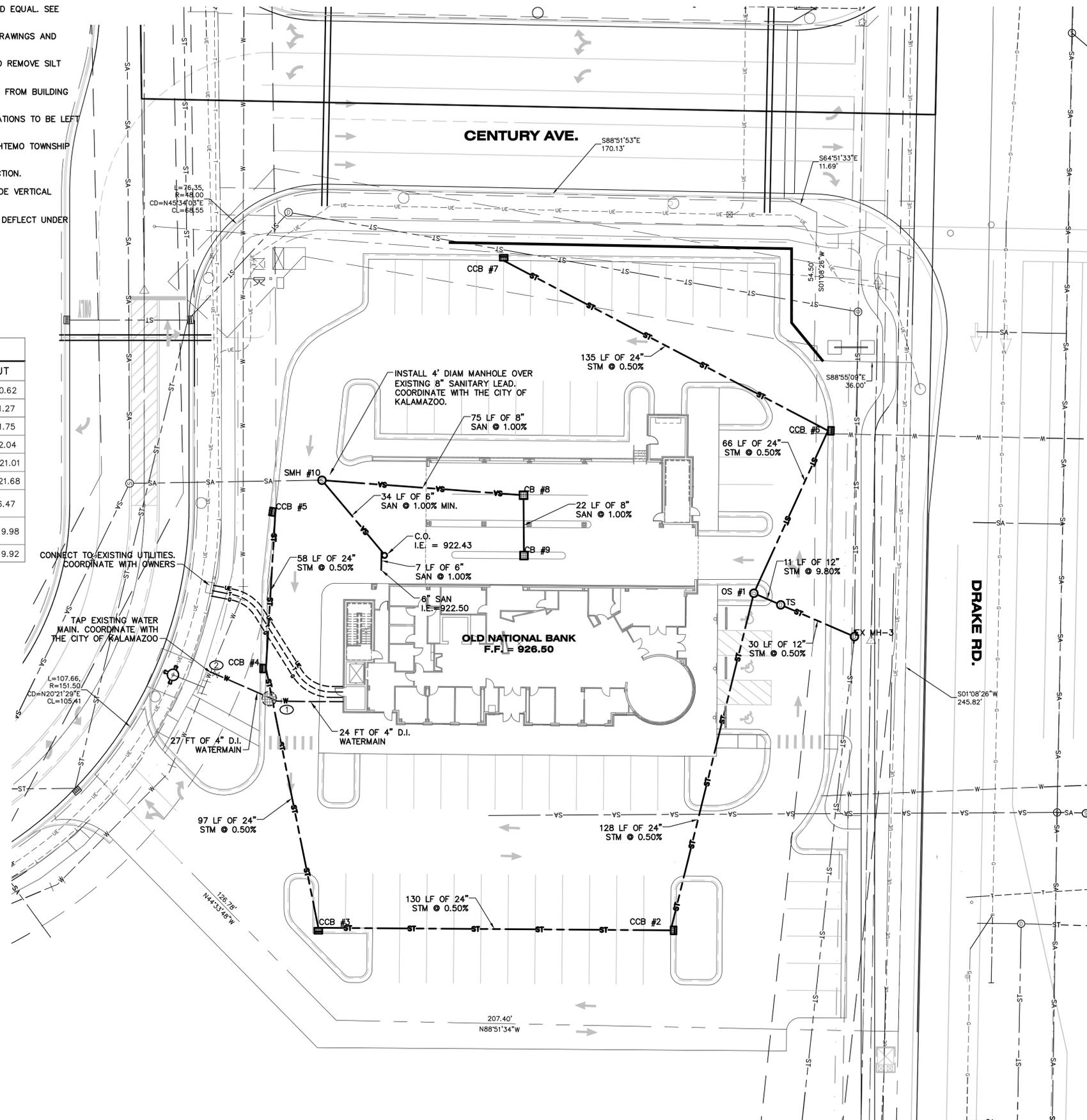
WATER MAIN FITTING SCHEDULE

FITTING NUMBER	DESCRIPTION	TOTAL THIS SHEET
①	4" - 22.5' BEND	1
②	12"x4" TAPPING SLEEVE AND VALVE	1

LEGEND

- DEFLECT WATER MAIN 18" UNDER PIPE CONFLICT IF NECESSARY (SEE DETAIL)

NOTE:
CONTRACTOR RESPONSIBLE FOR VERIFYING FITTINGS. AMOUNTS DO NOT TAKE INTO CONSIDERATION VERTICAL DEFLECTIONS.



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FIELD WORK PERFORMED BY:
LANDTECH PROFESSIONAL SURVEYING

Job No. 15-049D P.M.T.H. DTH: BRP OA/QC: 02/16/16
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 SITE UTILITY PLAN
 OLD NATIONAL BANK
 TOWER PINKSTER
 Sheet Title:
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 Sheet
C-3

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

KEY	DETAIL	CHARACTERISTICS
6	Seeding with Mulch and/or Matting	Facilitates establishment of vegetative cover Effective for drainageways with low velocity Easily placed in small quantities by experienced personnel Should include prepared topsoil bed
15	Paving	Protects areas which cannot otherwise be protected, but increases runoff volume and velocity Irregular surface will help slow velocity
16	Curb and Gutter	Keeps high velocity runoff on paved areas from leaving paved surface Collects and conducts runoff to enclosed drainage system or prepared drainage way
35	Storm Sewer	System removes collected runoff from site, particularly from paved areas Can accept large concentrations of runoff Conducts runoff to municipal sewer system or stabilized out fall location Use catch basins to collect sediment
36	Catch Basin, Drain Inlet	Collects high velocity concentrated runoff May use filter cloth over inlet
54	Geotextile Silt Fence	Use geotextile and posts or poles May be constructed or prepackaged Easy to construct and locate as necessary

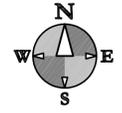
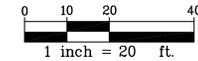
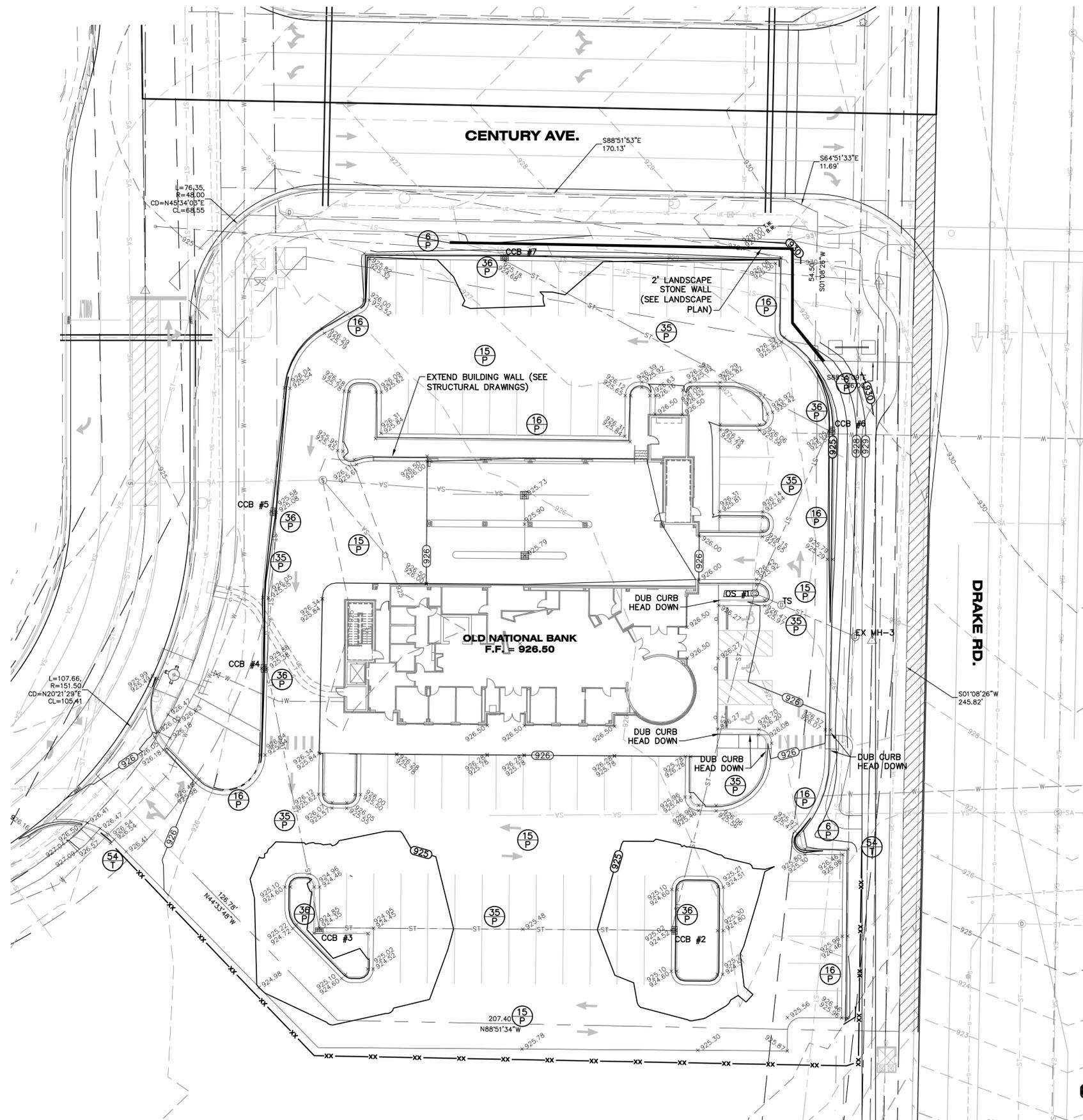
XX TEMPORARY MEASURE
YY PERMANENT MEASURE

SESC NOTES

- ALL WORK WILL COMPLY WITH THE PROVISIONS OF THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (PA 347 OF 1972 AS AMENDED) ADMINISTERED BY KALAMAZOO COUNTY
- AVOID UNNECESSARY DISTURBING OR REMOVING EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE AREAS ACT AS SEDIMENT FILTERS.
- ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEANUP AND APPROVAL. PERMANENT SOIL EROSION CONTROLS ARE REQUIRED WITHIN 5 DAYS OF ESTABLISHING FINAL GRADE.
- NO SITE WORK SHALL BEGIN UNTIL THE SILT FENCE IS INSTALLED.
- ALL SOIL PILES SHALL BE SURROUNDED BY SILT FENCE IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 7 DAYS. TOPSOIL PILES SHALL BE SEEDED IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 20 DAYS. SPOIL PILES SHALL NOT BE PLACED WITHIN 50' FROM ANY TEMPORARY OR PERMANENT WATERCOURSE.
- THE CONTRACTOR SHALL COMPLY WITH THE WEEKLY RECOMMENDATIONS OF THE CERTIFIED STORM WATER OPERATOR.
- ALL INLETS IN PAVED AREAS SHALL HAVE SILT SAVER SEDIMENTATION REDUCERS DURING CONSTRUCTION.
- SEE LANDSCAPE PLANS FOR FINAL GRADING AND TREATMENT ON LANDSCAPED AREAS.
- PLACE TRACK MATS AT ALL CONSTRUCTION ENTRANCES TO REDUCE MATERIAL TRACKED OFF SITE. TRACK MATS SHALL BE 15' X 50' CONSTRUCTED OF 2"-6" CRUSHED CONCRETE OR ANGULAR STONE. MAINTAIN AND REPLACE AS NEEDED TO PREVENT SOIL TRANSFER OFF SITE.

GRADING NOTES

- MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN. MATCH AT 1 ON 3 IF NOT LABELED.
- THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) TOP OF CURB AND TOP OF FINISHED SURFACE UNLESS OTHERWISE NOTED.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT.
- ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
- REMOVE AND REPLACE WITH CONTROLLED FILL ANY AREAS THAT HAVE BEEN SOFTENED BY RAINS, FREEZING, CONSTRUCTION EQUIPMENT, ETC.
- ALL REQUIRED FILL FOR THIS PROJECT SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER OR CLASS II GRANULAR MATERIAL FROM BORROW AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL GRANULAR FILL UNDER THE INFLUENCE OF THE ROADWAY AND PROCESSED ROAD GRAVEL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- ALL COMPACTION SHALL BE ACCOMPLISHED BY PLACING THE FILL IN 12" LOOSE LIFTS AND MECHANICALLY COMPACTING EACH LIFT TO AT LEAST THE SPECIFIED MINIMUM DRY DENSITY. FIELD DENSITY TESTS SHOULD BE PERFORMED ON EACH LIFT AS NECESSARY TO ENSURE THAT ADEQUATE MOISTURE CONDITIONS AND COMPACTION ARE BEING ACHIEVED.
- SITE CONTRACTOR SHALL REMOVE AND STOCKPILE ALL TOPSOIL AND BLACK ORGANIC SOILS ON-SITE TO BE USED IN THE RE-GRADING OF LANDSCAPE AREAS. THIS MATERIAL IS NOT TO BE USED FOR FILL OR PAVEMENT SUB-BASE. SEE BORROW PIT LOCATION.
- CONTRACTOR RESPONSIBLE FOR VERIFYING EARTHWORK CALCULATIONS PRIOR TO COMMENCING WORK. NO EXTRA EARTHWORK WILL BE PAID FOR ONCE EARTHWORK HAS BEGUN. ANY DISCREPANCIES WITH THE EARTHWORK CALCULATIONS SHALL BE REVIEWED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- THE ENTIRE STORM SYSTEM SHALL BE VISUALLY MONITORED MONTHLY AND INSPECTED SEMI-ANNUALLY WITH ALL SUMPS VACUUMED AS NEEDED AND BASIN BOTTOM SEDIMENT REMOVED.



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SITE GRADING & SESC PLAN
OLD NATIONAL BANK
TOWER PINKSTER

Sheet Title:
 Project:
 Client:

02/16/16

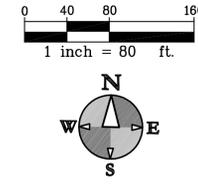
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C-4



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 FIELD WORK PERFORMED BY:
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DRAWING LOCATION: H:\15-0490 (Old National Bank - Drake)\FINAL DRAWINGS\C-5 Overall Storm Water Plan.dwg LAST SAVED BY: ASTINSON ON 1/7/2016



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**OVERALL STORM WATER PLAN
OLD NATIONAL BANK
TOWER PINKSTER**

Sheet Title:
Project:
Client:

02/16/16

Sheet
C-5

**COSTCO RETENTION BASIN
(100-YR EVENT STORED IN BASIN AND OTHER
SITE IMPROVEMENTS, DESIGN BY OTHERS)**

**FUTURE DEVELOPMENT DISCHARGE,
ALLOWABLE RELEASE = 2.00 CFS (MAX)**

**FUTURE DEVELOPMENT DISCHARGE,
ALLOWABLE RELEASE = 2.00 CFS (MAX)**

**WATERSHED #4
(DISCHARGE TO
CITY OF KZOO)
11.49 ACRES**

**FUTURE DEVELOPMENT DISCHARGE,
ALLOWABLE RELEASE = 2.00 CFS (MAX)**

**WATERSHED #1
(DISCHARGE TO
COSTCO BASIN)
15.48 ACRES**

**FUTURE DEVELOPMENT DISCHARGE,
ALLOWABLE RELEASE = 3.04 CFS (MAX)**

**SITE ROAD STORM SEWER
UNRESTRICTED RELEASE
Q₁₀₀ = 3.71 CFS**

**FIELD & STREAM
DEVELOPMENT DISCHARGE,
ALLOWABLE RELEASE = 2.3
CFS (MAX)**

**DISCHARGE TO MDOT ROW
Q₁₀₀ = 6.01 CFS (MAX)**

**WATERSHED #2
(DISCHARGE TO
MDOT CULVERT)
3.51 ACRES**

**2014 WATERSHED #2
(DISCHARGE TO
MDOT CULVERT)
4.53 ACRES**

**2014 WATERSHED #3
(DISCHARGE TO MDOT BASIN)
6.83 ACRES**

**MDOT
CULVERT**

**WATERSHED #3
(DISCHARGE TO MDOT BASIN)
7.85 ACRES**

**WATERSHED #3A = 2.56 AC.,
ALLOWABLE RELEASE = 2.24 CFS (MAX)**

**FUTURE DEVELOPMENT DISCHARGE,
ALLOWABLE RELEASE = 4.63 CFS (MAX)**

**SITE ROAD STORM SEWER
UNRESTRICTED RELEASE
Q₁₀₀ = 9.86 CFS (MAX)**

**FUTURE DEVELOPMENT DISCHARGE,
ALLOWABLE RELEASE = 5.29 CFS (MAX)**

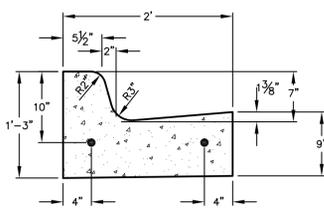
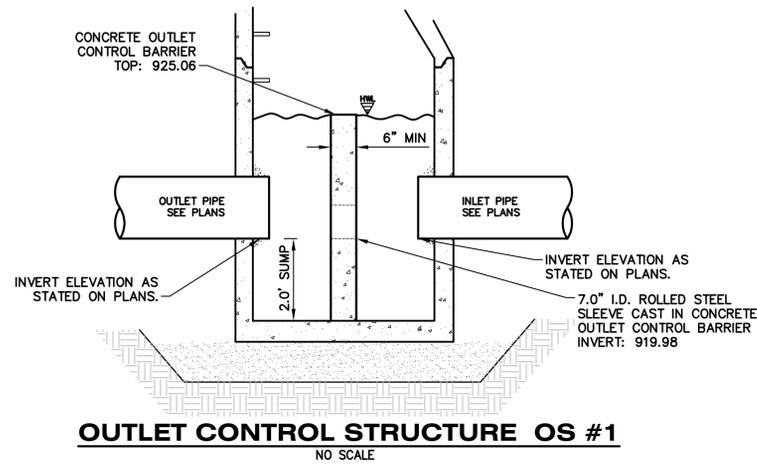
**DISCHARGE TO CITY STORM SEWER
Q₁₀₀ = 27.01 CFS (MAX)**

**PROPOSED MDOT
BASIN**

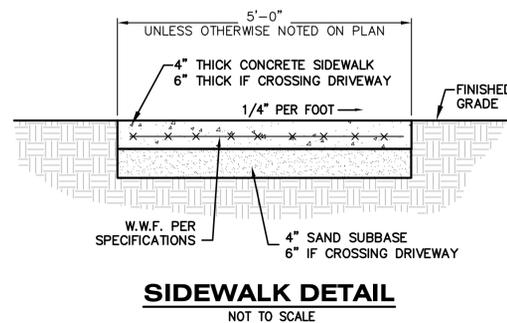


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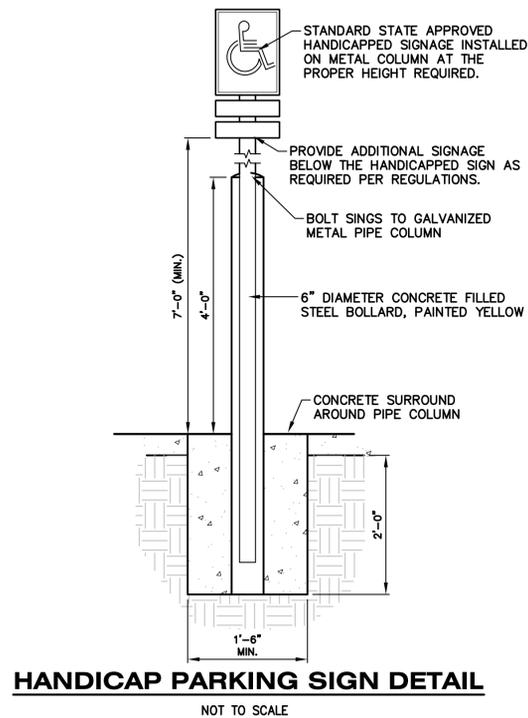
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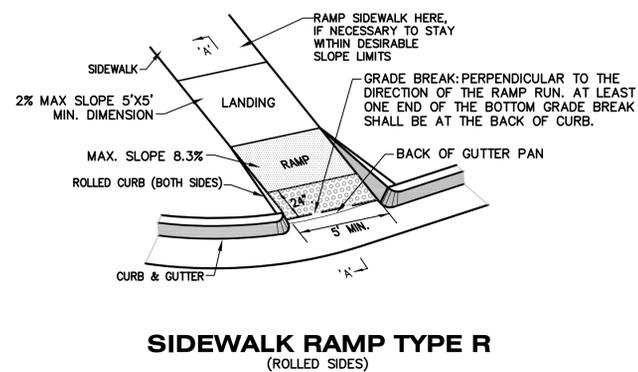
"C4" CURB DETAIL
NOT TO SCALE



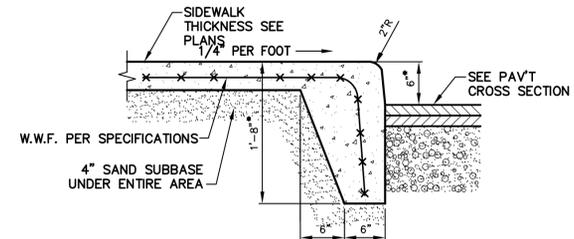
SIDEWALK DETAIL
NOT TO SCALE



HANDICAP PARKING SIGN DETAIL
NOT TO SCALE

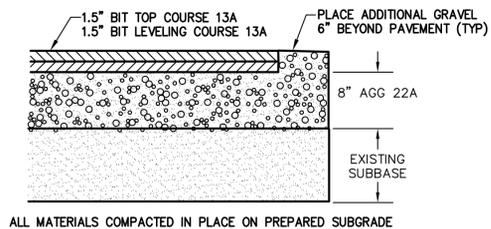


SIDEWALK RAMP TYPE R (ROLLED SIDES)

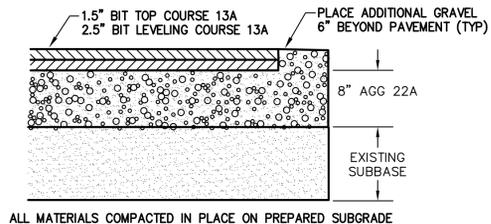


INTEGRAL SIDEWALK/CURB
NOT TO SCALE

* NOTE: REDUCE THESE DIMENSIONS BY 6" FOR THICKENED EDGE WHERE PAVEMENT MATCHES TOP OF WALK



LIGHT DUTY PAVEMENT SECTION
NOT TO SCALE



HEAVY DUTY PAVEMENT SECTION
NOT TO SCALE

SPECIFICATION REQUIREMENTS:

- The treatment system shall use an induced vortex to separate pollutants from stormwater runoff.
- The Treatment System shall remove 80% or greater of TSS at the WQF.
- The Treatment System shall treat all flows up to P TFR without bypass or loss of stored pollutants.
- The Max. Headloss shall not be exceeded at P TFR with max. inlet pipe diameter.

DETAIL NOTES:

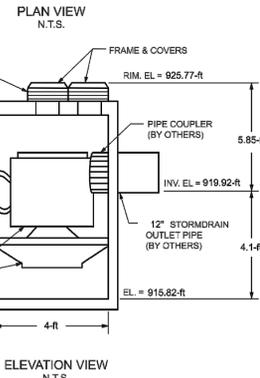
- An acceptable pipe coupler shall be used to connect the Downstream Defender's internal outlet stub to the stormdrain.
- The diameter of the Downstream Defender's outlet stub is not adjustable. Any reducers required to match different stormdrain diameter must occur outside of the vortex chamber.
- The inlet pipe diameter must not be larger than the outlet pipe diameter.
- The largest inlet pipe angle is not site specific. Refer to project plans and fabrication drawings.
- A 4-ft diameter model has one 30-inch cover.

Treatment System Specifications	
Vortex Chamber Diameter (DIA)	4-ft
Max. Outlet Pipe Diameter	12"
Max. Inlet Pipe Diameter	12"
Max. Treatment Flow Rate (M TFR)	1.56cfs
Peak Treatment Flow Rate (P TFR)	3cfs
Max. Headloss	0.68-ft
Sediment Storage	0.7yd ³
Oil Storage	70gal

DO NOT USE FOR CONSTRUCTION OR FABRICATION

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NOTES:
1. This is a standard detail and is not site specific. Actual inlet pipe diameter and angle may be different.
2. Refer to submittal or fabrication drawings for final rim and invert elevations. NOTE: Elevation of inlet invert is one pipe diameter lower than the outlet invert.
3. Contact Hydro International for site specific drawings.

REVISION HISTORY		
REV	BY	DATE DESCRIPTION
		FIRST ISSUE
Date	Scale	
12/22/2015	NTS	
Drawn	Checked	Approved

4-ft DOWNSTREAM DEFENDER® STANDARD ON-LINE DETAIL
Old National Bank
PROJECT NAME:
Old National Bank
PROJECT LOCATION:
Kalamazoo, MI



Stormwater Solutions
94 Hutchins Drive
Portland, Maine 04102
Tel: (207) 755-0200
Fax: (207) 755-8212
stormwaterinquiry@hydro-int.com

CAD Ref: WEB DD SIZING CALC.	
Project No.	
Drawing No.	Rev. A1401

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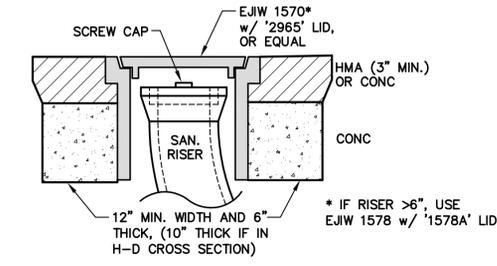
Job No. 15-049D P.M.-TH Drt: BRP QA/QC: 02/16/16
ISSUED FOR/REVISIONS:
1 SITE PLAN REVIEW 12/22/15
2 SITE PLAN REVIEW RESUBMITTAL 02/16/16
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DETAILS
OLD NATIONAL BANK
TOWER PINKSTER

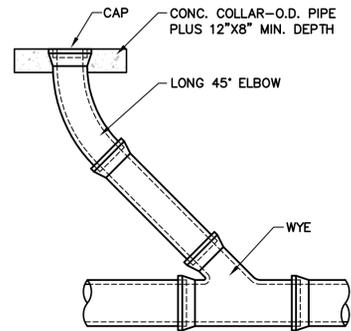
Sheet Title:
Project:
Client:

02/16/16

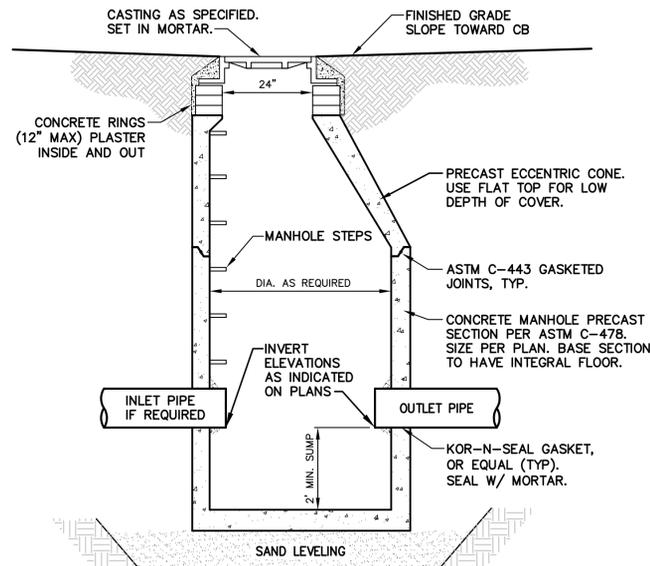
Sheet
C-6



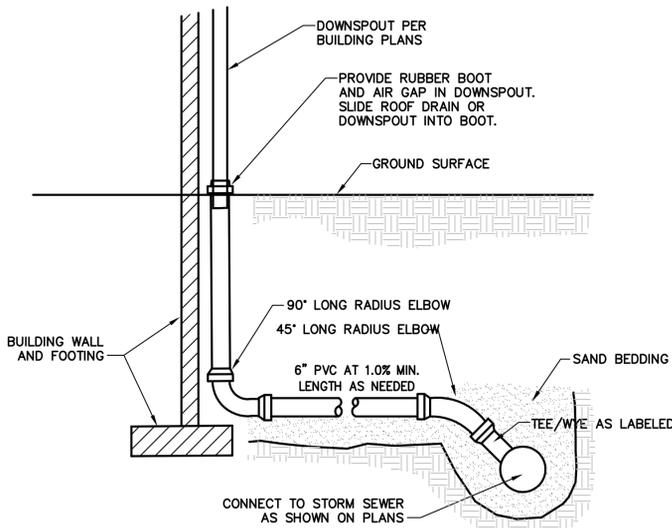
CLEANOUT IN PAVEMENT/CONC AREA
NO SCALE



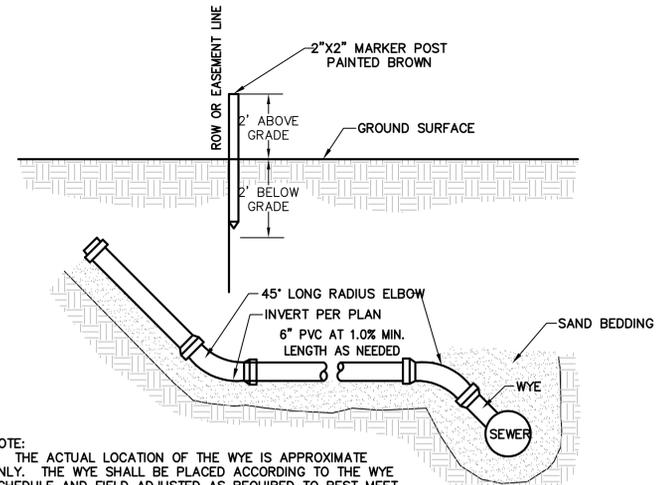
CLEANOUT DETAIL
NO SCALE



CATCH BASIN DETAIL
NO SCALE

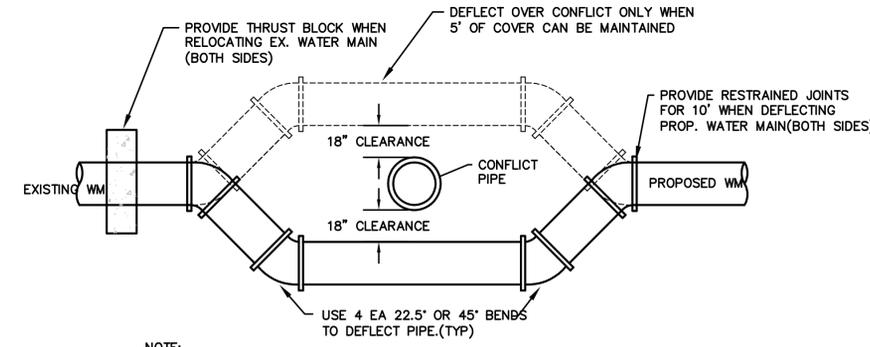


ROOF LEAD/ DOWNSPOUT DETAIL
NO SCALE



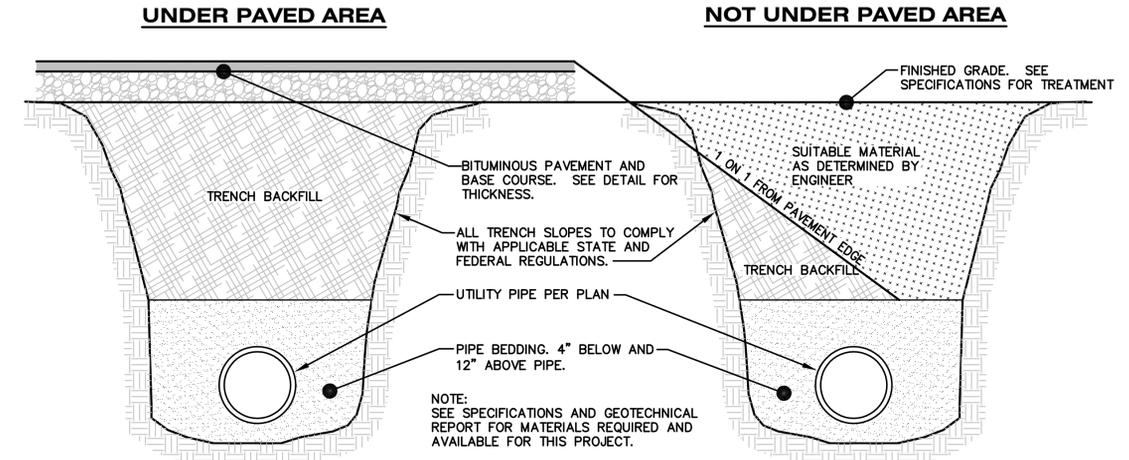
NOTE:
1. THE ACTUAL LOCATION OF THE WYE IS APPROXIMATE ONLY. THE WYE SHALL BE PLACED ACCORDING TO THE WYE SCHEDULE AND FIELD ADJUSTED AS REQUIRED TO BEST MEET THE NEEDS OF THE PROPERTY.
2. RECORD ALL WYE LOCATIONS ON THE DRAWINGS.

SANITARY LEAD DETAIL
NO SCALE

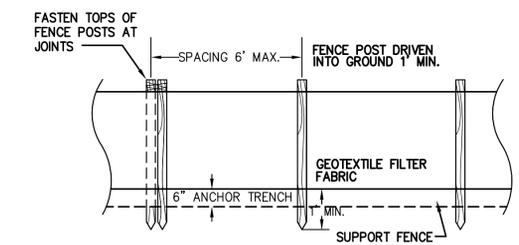


NOTE:
RESTRAIN ALL JOINTS IN DEFLECTION AREA.

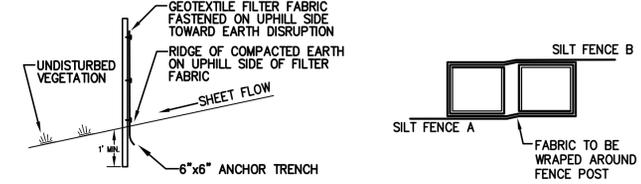
WATER MAIN DEFLECTION DETAIL
NO SCALE



TRENCH DETAILS
NO SCALE



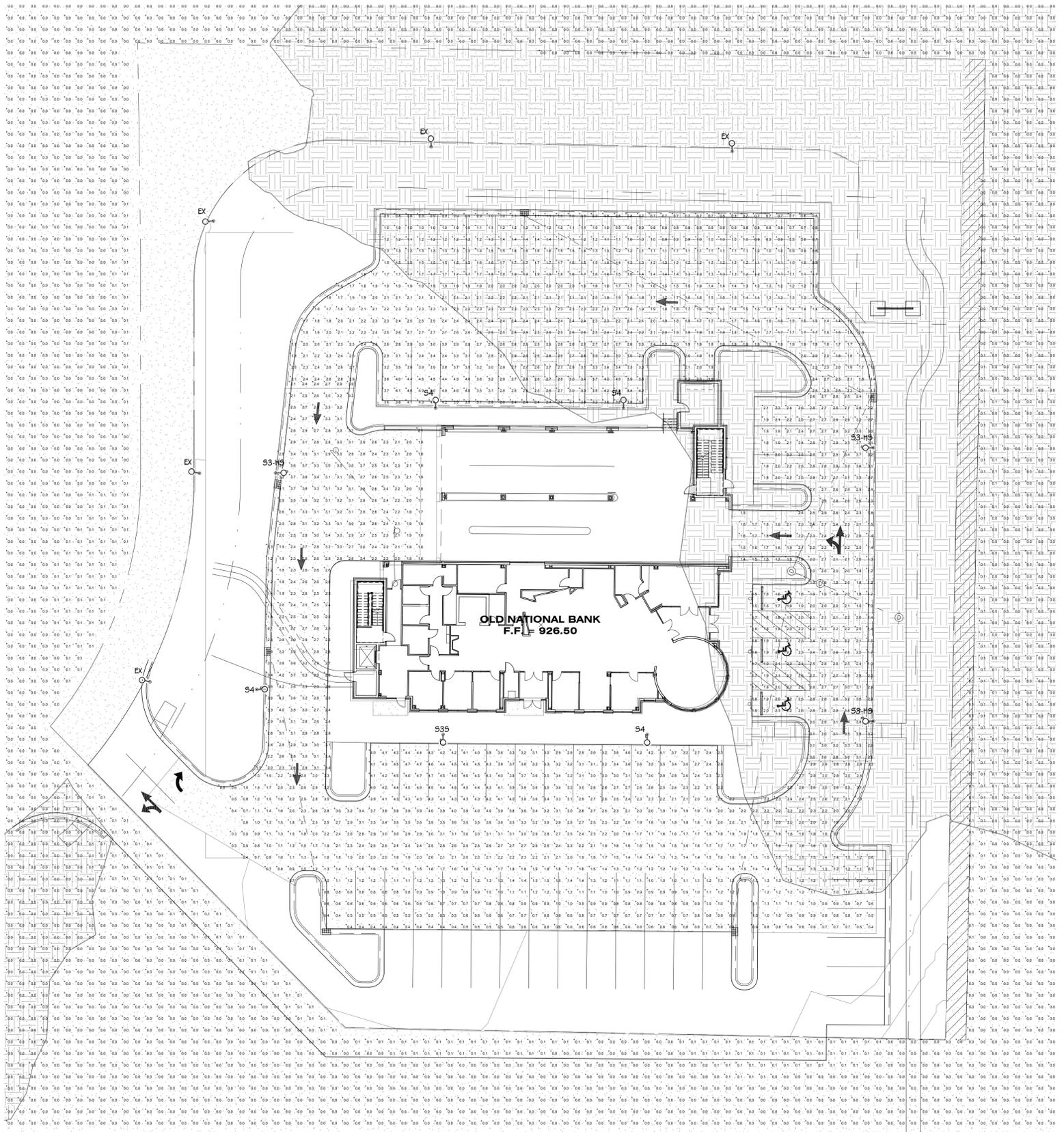
FRONT VIEW
NOT TO SCALE



SECTION
NOT TO SCALE

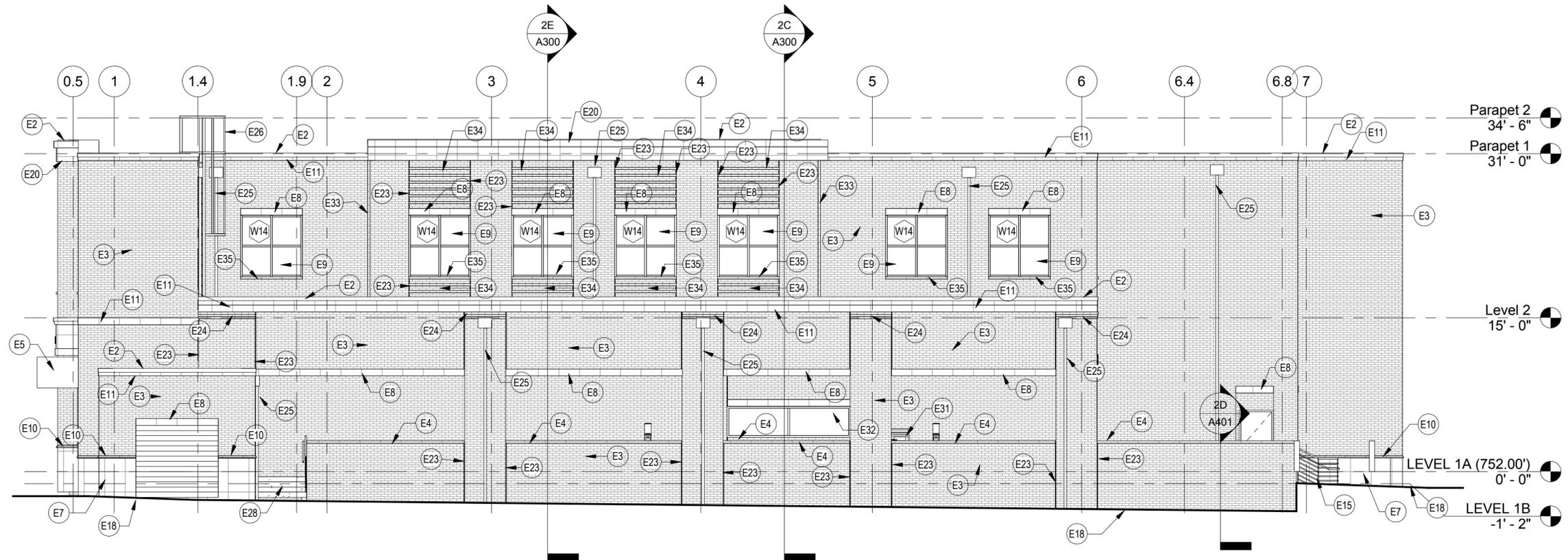
JOINT DETAIL
NOT TO SCALE

SILT FENCE DETAILS

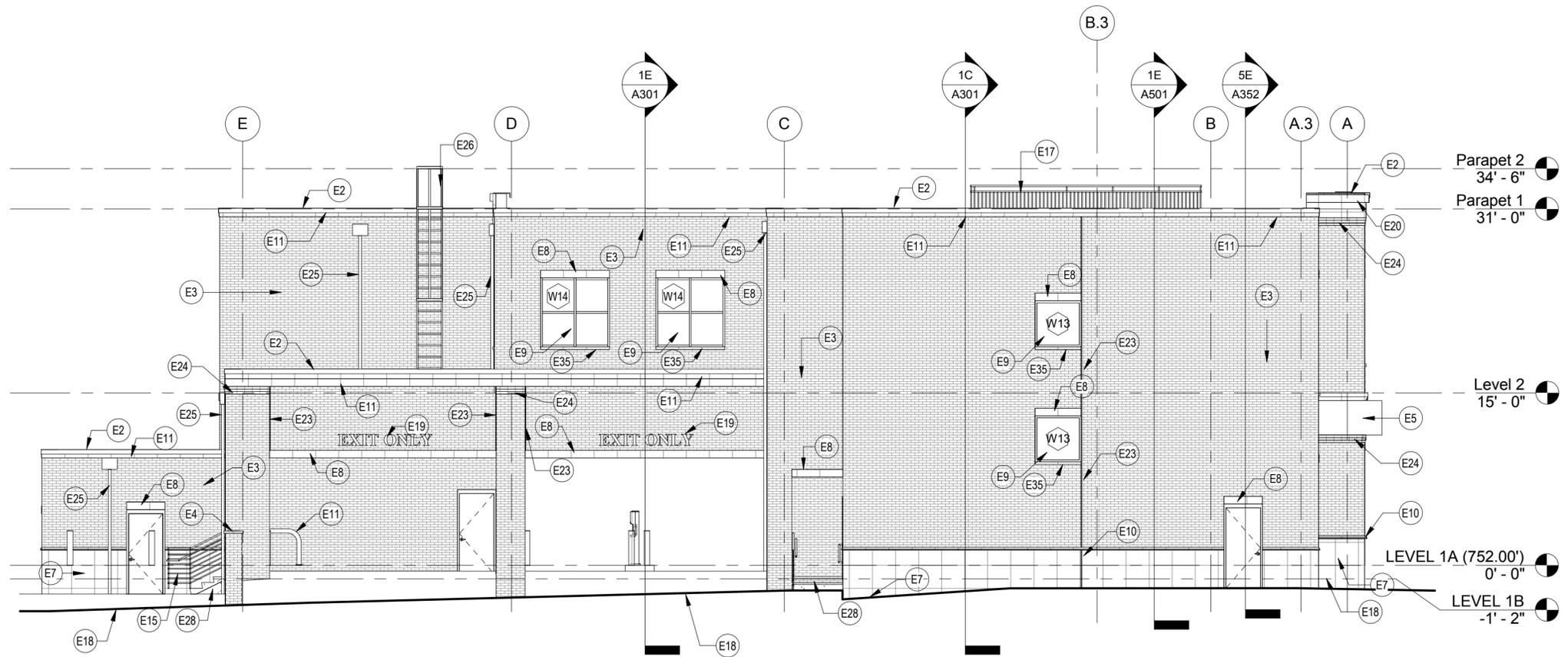


STATISTICS					
Description	Symbol	Avg	Max	Min	Max/Min
00 Property Line	+	0.0 fc	0.1 fc	0.0 fc	N / A
East Lot	+	2.3 fc	3.8 fc	1.2 fc	3.2:1
North Lot	+	2.0 fc	5.0 fc	0.6 fc	8.3:1
South Lot	+	2.0 fc	4.7 fc	0.5 fc	9.4:1
West Lot	+	2.7 fc	4.2 fc	1.2 fc	3.5:1

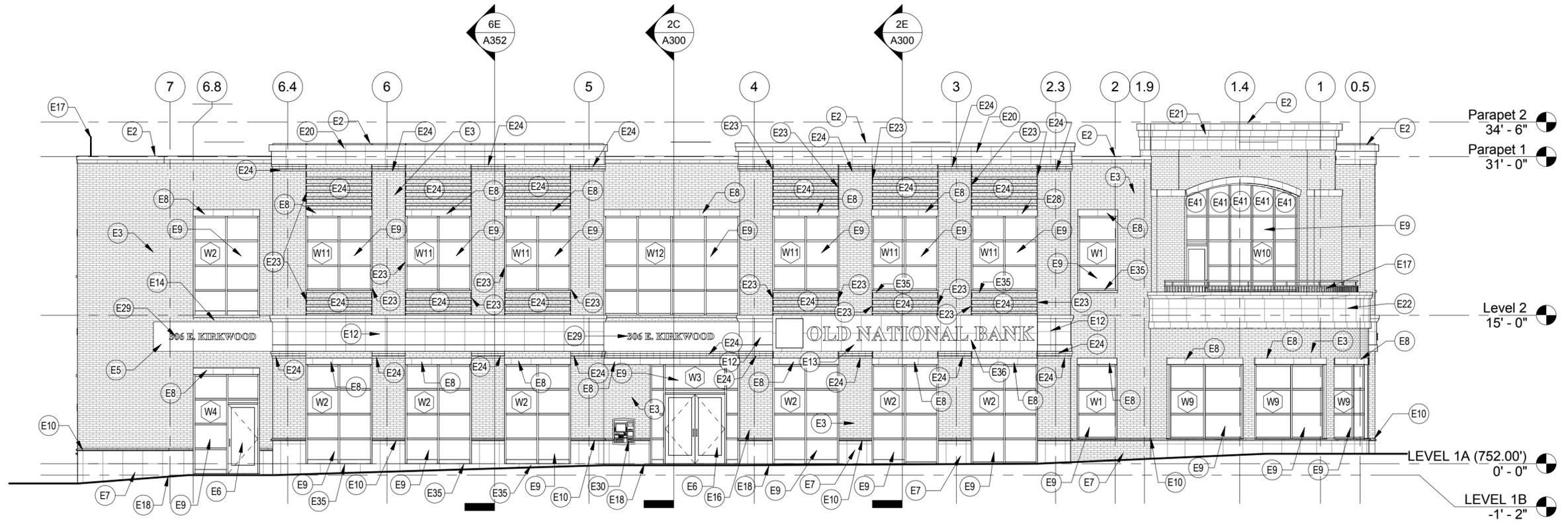
LIGHT FIXTURE SCHEDULE						
TYPE	DESCRIPTION	MOUNTING	LAMP	WATTS	MANUFACTURER	PHOTOMETRIC FILE NAME
EX	EXISTING TYPE 3M	25' POLE	MH	400 VA	EATON - INVUE #ICM-400-MP-XX-35	ICM-400-MP-XX-35.ies
S35-HS	NEW TYPE 3 WITH SHIELD	25' POLE	LED	138 VA	LITHONIA #DSX1-LED-40C-1000-40K-T3M-MVOLT-RPA-PIRH-HS OR EQUAL BY CREE EDG SERIES	DSX1_LED_40C_1000_40K_T3M_MVOLT_HS.ies
S35	NEW TYPE 3S	25' POLE	LED	138 VA	LITHONIA #DSX1-LED-40C-1000-40K-T3S-MVOLT-RPA-PIRH OR EQUAL BY CREE EDG SERIES	DSX1_LED_40C_1000_40K_T3S_MVOLT.ies
S4	NEW TYPE 4	25' POLE	LED	138 VA	LITHONIA #DSX1-LED-40C-1000-40K-T4M-MVOLT-RPA-PIRH OR EQUAL BY CREE EDG SERIES	DSX1_LED_40C_1000_40K_T4M_MVOLT.ies



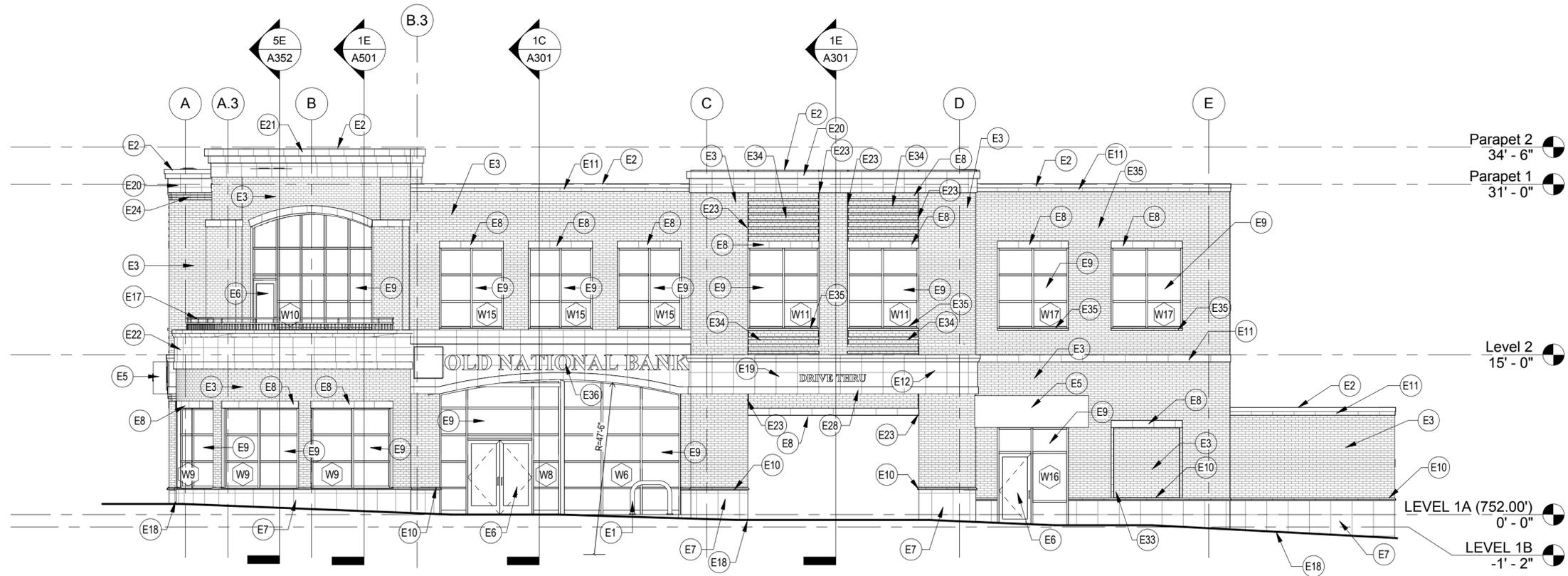
1A NORTH ELEVATION
A200 1/8" = 1'-0"



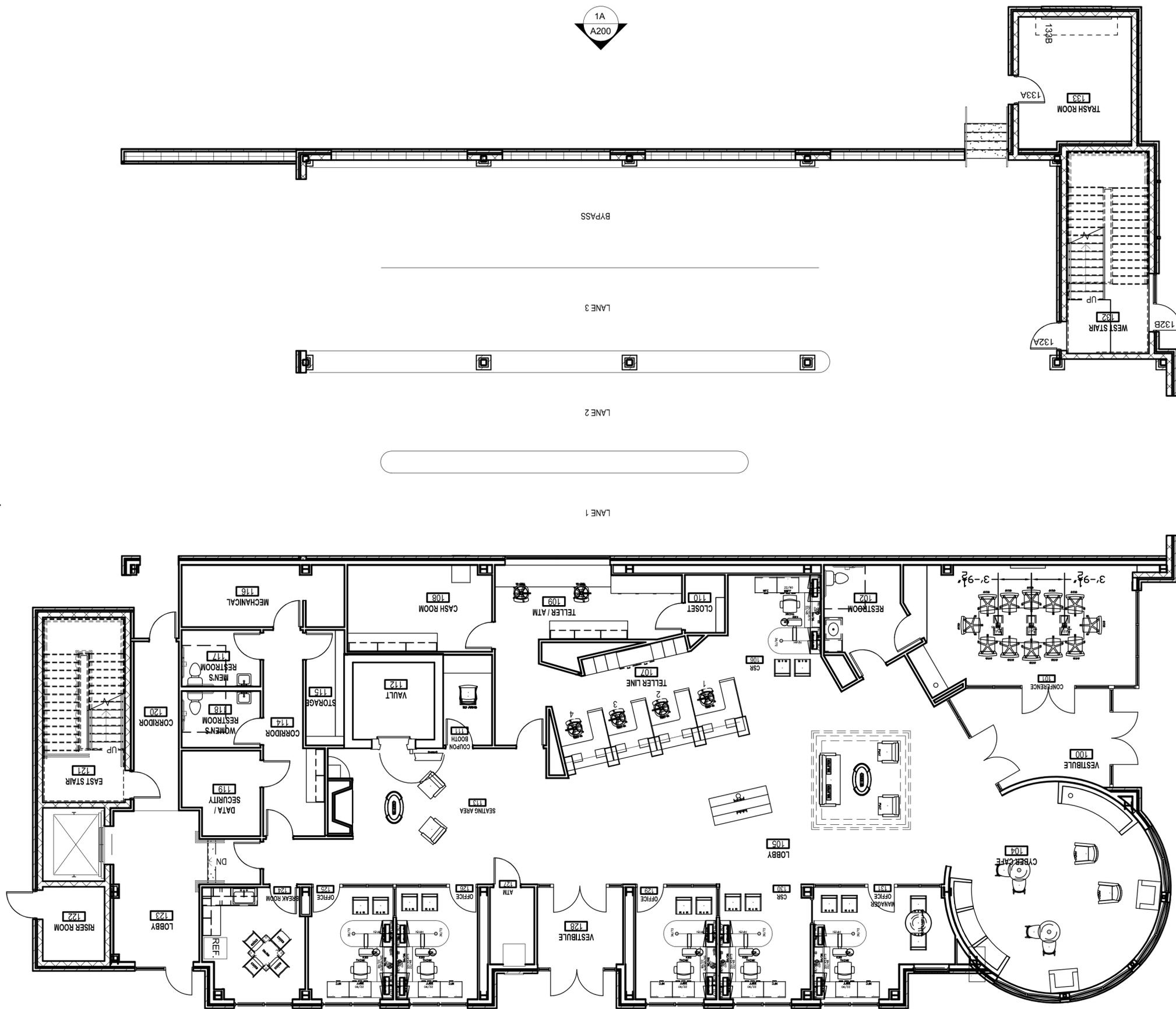
1B WEST ELEVATION
A200 1/8" = 1'-0"



1C SOUTH ELEVATION
A201 1/8" = 1'-0"



1D EAST ELEVATION
A201 1/8" = 1'-0"



FIRST FLOOR PLAN

1/8" = 1'-0"

1A
A200

1D
A201

1C
A201

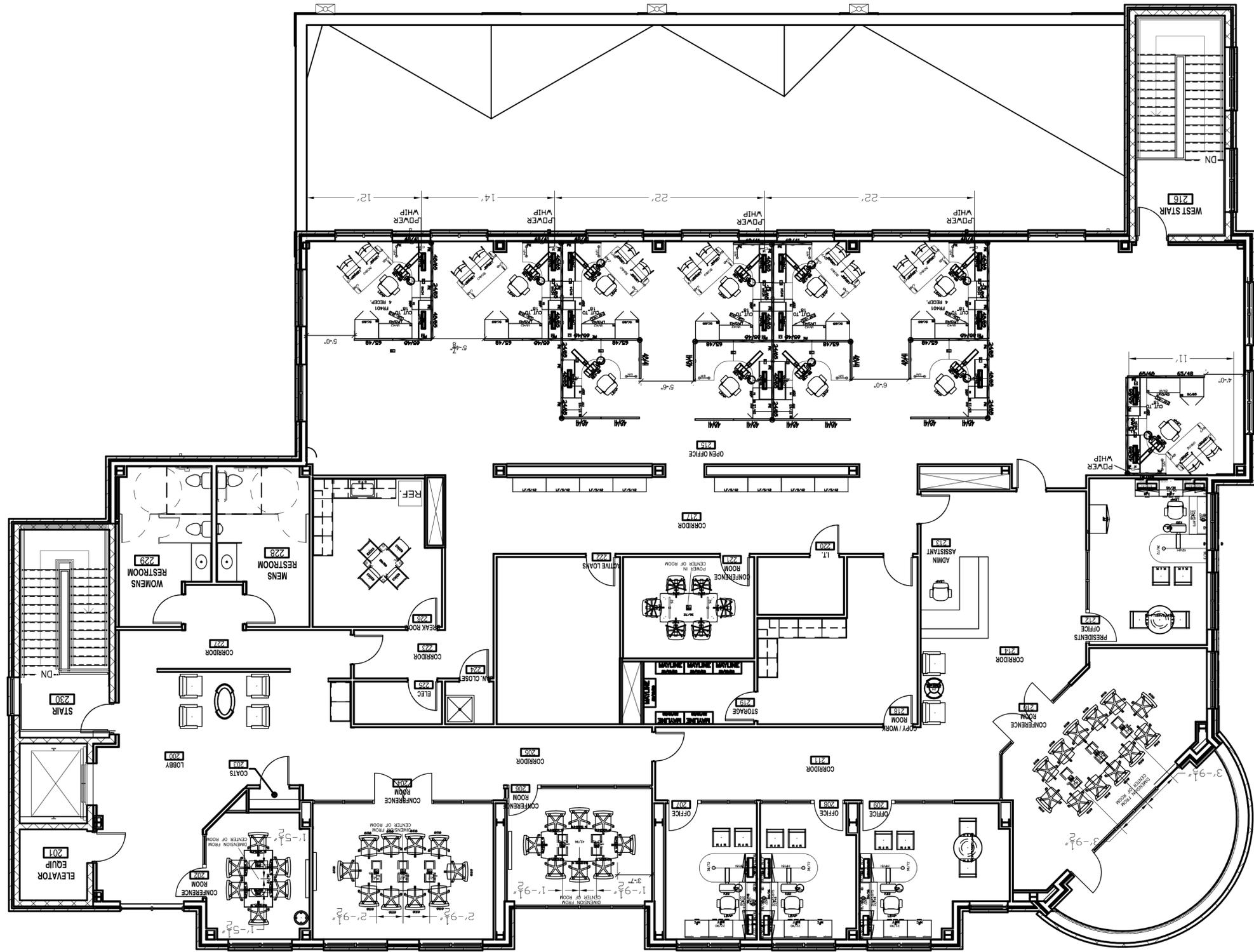
1B
A200



1A
A200

1B
A200

1D
A201

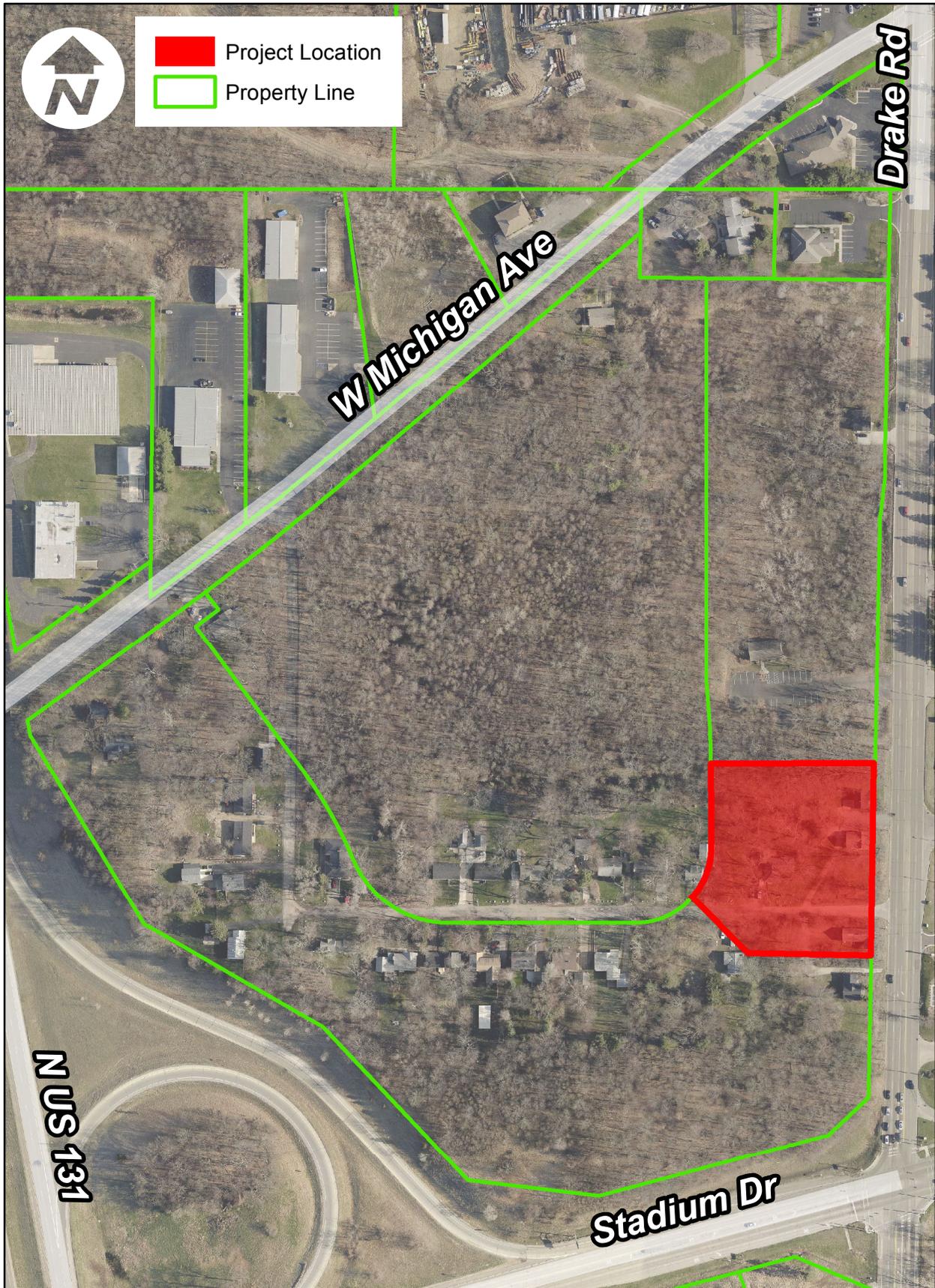


1C
A201



SECOND FLOOR PLAN
1/8" = 1'-0"

Old National Bank Location



0 125 250 500 Feet

OSHTEMO FIRE DEPARTMENT SITE PLAN CONCERNS LIST

Applicant: Old National Bank.
Project: Proposed new building.
Location: Century Ave.
Date: February 17, 2016
Site Plan Date: February 17, 2016

Identified Concerns:

A 15 foot vertical clearance is required throughout the site and shall include all vegetation. This is mentioned at this time for consideration of plant growth in 10 – 15 years.

The access road shall be 24 foot minimum in width and maintained year round and shall support the live load of fire apparatus as mentioned in NFPA 2012. This is mentioned at this time for future consideration after the certificate of occupancy has been issued and it becomes the responsibility of the property owner during all weather conditions.

Fire lane signs shall be posted and shall read “FIRE LANE – NO STOPPING, STANDING OR LOADING” and shall be installed prior to any occupancy. Signs shall be of white background with red lettering. Signs shall be installed mounted on a post with sign facing the flow of traffic with the height of 6’ - 8” to the bottom of the sign. Signs shall be placed no more than 60’ on center. Please contact this office for placement locations, which shall also be shown on the site plan.

Approved access routes shall be required prior to and during construction at this site. Access routes shall be (24) feet in width and shall support the live load of the Fire department apparatus. Access routes shall extend to within one hundred fifty, (150) feet of all portions of the building or any of the exterior of the building.

Building identification shall be placed in a position that is plainly legible and visible from any street or road fronting the property. Those properties fronting more than one street or road shall identify the address by both number and street name on each side of the road frontage. The address numbers and street name shall contrast with their background. Numbers shall be a minimum of eighteen inches high and letters shall be a minimum of twelve inches high. At completion of the project the address shall be attached to the building.

Any egress points from the building shall be connected by continuous means and terminate at a paved surface.

Fire alarms systems shall meet NFPA 72 requirements.

Fire Sprinkler systems shall meet NFPA 13 requirements.

If by any code adopted by Oshtemo Township or by the Owners choice, there is going to be a fire sprinkler system installed, a remote five inch fire department connection (FDC) shall be installed away from the building. The FDC shall be installed at forty eight inches in height and shall have locking Knox StorzGuard kit with thirty degree offset and locking cap installed. These are available on line at @ www.knoxbox.com.

A vertical sign with red reflective background, six inch white reflective lettering stating FDC shall also be required and shall be mounted on a pole 6'8" from grade to the bottom of the sign. This may be required in multiple directions.

This building will be required to have one, (1) fire department Knox key box installed. This is mentioned at this time so if a recessed style is desired it may be incorporated into the building plans. You may order a Series 3200 Key Box online @ www.knoxbox.com, as it may take 4-6 weeks for delivery of this lock box.

Prior to final occupancy, Fire extinguishers meeting the minimum rating of 2A10BC shall be installed at not more than 75 feet of travel distance from any point in the building.

Special note:

The fire flow required for the Old National Bank based on the site information provided will be 2,095 GPM.

It is recommended that one additional fire hydrant be added to the east side of this proposed site development.

This list shall not be considered as all inclusive as other requirements may be necessary when more information becomes available.

Should you have any questions regarding this matter, please feel free to contact me.

Jim Wiley
Assistant Fire Chief / Fire Marshal
Oshtemo Township Fire Department
P. 269.375.0487
F. 269.544.2085
jwiley@oshtemo.org



7275 W. MAIN STREET, KALAMAZOO, MI 49009
269-216-5220 Fax 269-375-7180 www.oshtemo.org

Memorandum

Date: February 17, 2016

To: Ben Clark, Zoning Administrator

From: Marc Elliott, P.E., Dir. Of Public Works

Subject: Site Plan Review, Old National Bank, 5003 Century Ave.

I have reviewed the plans dated February 16, 2016 for the referenced project. Please know that I find the project buildable with the following conditions.

1. The catch basins adjacent to the drive through lanes, located below the second story, shall be connected into the storm sewer system, not the sanitary sewer system.
2. The grades at the south west corner shall be raised sufficiently to enable the functioning of the high water overflow weir as an emergency discharge. Specifically, the weir top (OS 1) is at elevation 925.08, while the spot elevation called-out at the southwest corner is 924.98.
3. Pedestrian crosswalk striping at the driveway is considered an acceptable substitution for continuing the sidewalk through the driveway.
4. The accessible pathway approaching from the west, from Century Avenue, shall be ADA compliant. Specifically, curbs ramps are required at the location where this pathway crosses the south-bound driveway along the west side of the building.
5. Plans are to be submitted with signature and seal of a design professional



February 17th, 2016

Meeting Date: February 25th, 2016

To: Planning Commission

From: Ben Clark, Zoning Administrator

Applicant: Starbucks Coffee

Owner: DFG Maple Hill, Inc.

Property: 5370 West Main Street

Zoning: C: Local Business

Request: Extension for Special Exception Use

Section(s): 60.207: Alteration of an approved Special Exception Use

Project Name: Starbucks site improvements

OVERVIEW

At its January 14th, 2016 meeting, the Planning Commission granted Special Exception Use permission to the applicant, allowing a trailer to be kept on site to serve patrons while the main restaurant underwent renovations. While the initial approval was set to expire on February 29th, 2016, the applicant has encountered difficulties with their project, and is requesting that the Planning Commission grant an extension.

RECOMMENDATION

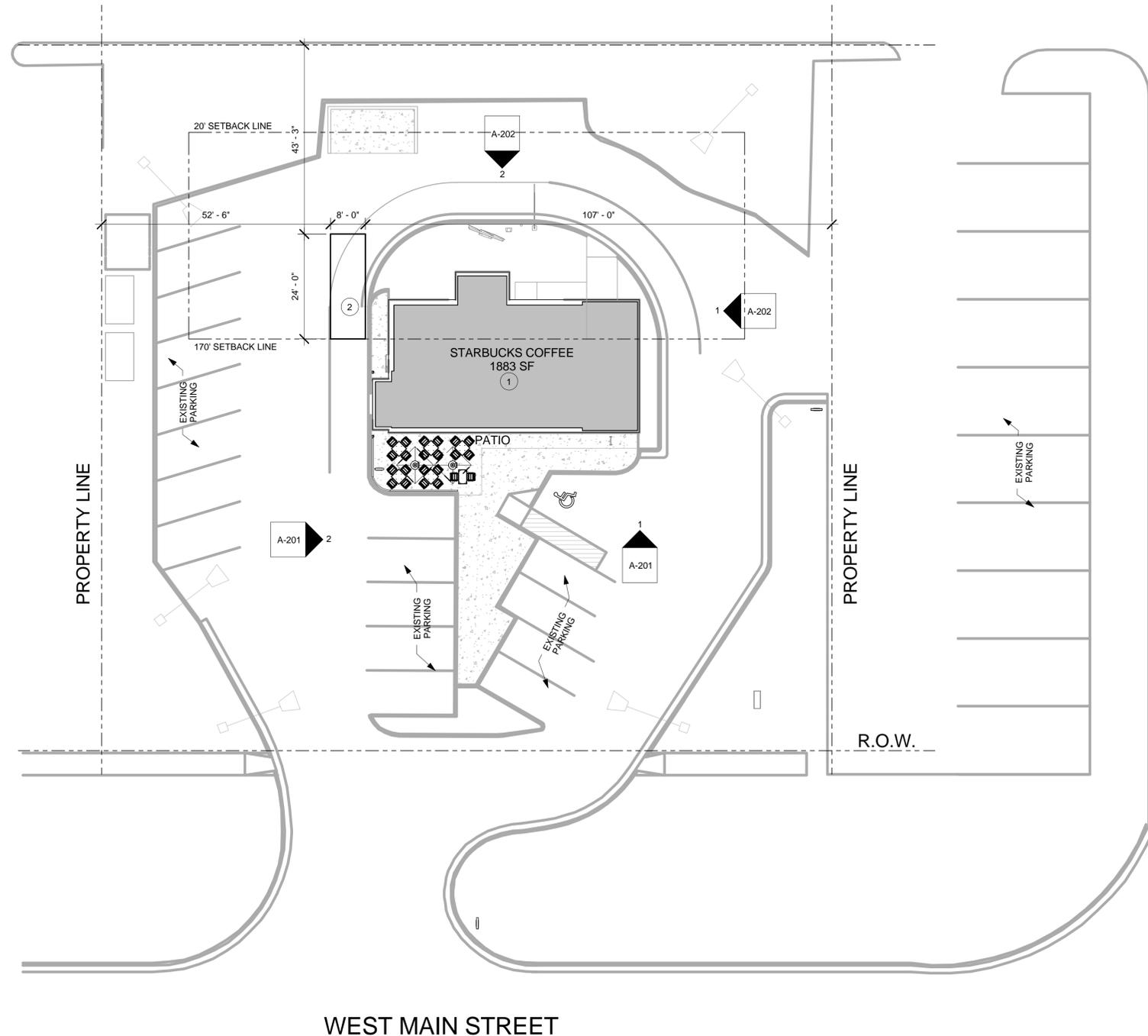
Based on feedback from the applicant as well as site visits made by Township Staff, the temporary site layout, as approved by the Planning Commission, appears to be functioning well. Taking that into account, along with the fact that the applicant has encountered problems with the renovation project, Staff recommends that the Planning Commission grant an extension to the Special Exception Use, allowing the trailer to stay on-site until March 14th, 2016.

Respectfully Submitted,

Ben Clark
Zoning Administrator

Attachments: Application

M:\Starbucks\Projects\Michigan\Kalamazoo - West Main\05 CDs\A) Arch\Kalamazoo-West Main_temp trailer.rvt 12/22/2015 3:58:54 PM



1 TEMP TRAILER LOCATION PLAN
Scale: 1/16" = 1'-0"

ARCHITECTURAL SITE PLAN NOTES

- A. REFER TO EXTERIOR ELEVATIONS FOR BUILDING SIGNAGE LOCATION AND DESIGN ID. REFER TO ELECTRICAL PLANS FOR ELECTRICAL REQUIREMENTS.
- B. LANDLORD IS RESPONSIBLE FOR PROVIDING SITE WORK. COORDINATE WITH STARBUCKS CONSTRUCTION MANAGER.

SHEET NOTES

- 1. EXISTING STARBUCKS BUILDING.
- 2. TEMPORARY TRAILER.



STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575

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DESIGN CONSULTANT
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Don Rethman, Architect in Charge License: 43653

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Timothy L. Raberding, PE License: 62078
Dennis J. Lewis, PE

Revision Schedule

Rev	Date	Description

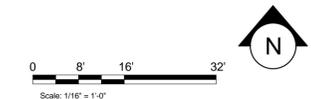
PROJECT NAME:
KALAMAZOO-WEST MAIN
PROJECT ADDRESS:
**5370 WEST MAIN STREET
KALAMAZOO, MI 49009**

STORE #: 8679
PROJECT #: 24427-034
CONCEPT:
PALETTE:
ISSUE DATE: 12/22/15
DESIGN MANAGER: ALEX SORELL
LEED® AP:
PRODUCTION DESIGNER: PETER CHEETHAM
CHECKED BY:

SHEET TITLE:
TEMP TRAILER PLAN

SCALE: As indicated

SHEET NUMBER:
T-101



February 18, 2016



Mtg Date: February 25, 2016
To: Planning Commission
From: Julie Johnston, AICP
Subject: Proposed Site Plan Review Ordinance Amendments

At the January 28, 2016 Planning Commission meeting there was some final discussion about the proposed Ordinance amendments. The review of the recommended changes are as follows:

1. There was concern with the proposed language in the Purpose Statement, which including the words “safe, efficient and environmentally sound.” The concern was that it was too subjective and perhaps needed a definition to enforce. Also, the words “and to protect adjacent properties,” were reviewed because of the concern that staff might utilizing this language to stop projects. Based on this, the Ordinance language was changed to the following:

Furthermore, its purpose is to provide for consultation and cooperation between the land developer and the Township Zoning Board of Appeals in order that the developer may accomplish **his their** objectives in the utilization of **his their** land within the regulations of this Zoning Ordinance, **and** with minimum adverse effect on the use of adjacent streets and highways and on existing and future uses in the immediate area and vicinity.

2. It was indicated that building colors are not dictated by the Ordinance.

The section in question is located in the General Requirements of the Site Plan ordinance and indicates what the applicant must provide on the site plan for review. Adding the requirement to include exterior building colors was an attempt to provide the Planning Commission and Zoning Board of Appeals with a clear picture of how the structure will look when it is built, but not to direct what those colors should be. Currently, the site plan review ordinance does not require elevations of building structures, though they are often included in the plan set. The requested amended language is as follows:

Front, side and rear building elevations with all windows, lights, doors, screened roof equipment and exterior materials, including color, indicated;

The Planning Commission did not indicate a desire to remove this from the language at the January meeting so it continues to be included. However, it can still be easily removed from the amendments if the Planning Commission feels it is too burdensome.

3. There was a concern that requiring buildings/structures to be noted on the site plan within 100 feet of the site was too onerous. The recommended amendment language is now:

Location, height, and outside dimensions of all existing and proposed buildings or structures on the site, with setbacks and yard dimensions;

4. There was also concern that some of the language was too technical. According to the December 10, 2015 minutes, these included water supply/sanitary sewer, soil erosion.

After reviewing the suggested amendments and the Planning Commission's concerns with the Township Engineer, the following language is now recommended:

(4) Utilities, soil erosion, sedimentation control, and drainage:

A. Grading plan showing existing contours at a maximum interval of two feet;

A-B. Location, size and design of existing and proposed service facilities above and below ground, including:

- i. Water supply facilities, including fire hydrants, water lines and mains;
- ii. Sanitary sewer facilities;
- iii. ~~Location and type of drainage~~ **Natural and engineered drainage by location type (e.g. natural drainage courses, sanitary sewers, storm sewers, and other utility mains and facilities)** including location of interior and exterior drains, dry wells, catch-basins, retention/detention areas, sumps and other facilities designed to collect, store and transport storm water ~~or waste water~~;
- iv. The point of discharge for all drains and pipes;
- v. Easements;

C. Drainage management plan with design calculations showing drainage courses and proper management to direct runoff of impervious surfaces and roof drains.

5. Finally, there was a concern about the legality of requiring professional seals for work those professionals did not personally perform. The seal indicates that a plan was prepared by or under the personal supervision of a professional. For example, the engineer assumes responsibility for the plan and is answerable for the quality of the work. Engineers, architects, surveyors and landscape architects all have the ability to be licensed with the State of Michigan to sign plans. To address the issue of a professional signing for work they did not complete, the language was altered to include the following:

D. Seal of the architect, engineer, surveyor or landscape architect for those sections of the plan set in which they are responsible;

6. The final changes from the original amendments submitted to the Planning Commission in December of 2015 include the following:

82.200.g. Single-family and two-family dwellings are exempt from these requirements.

82.700.a. Extensions may be granted by the approving body if requested prior to the expiration of the one year validity period.

These changes have been incorporated into the amended Site Plan Review ordinance language. If the Planning Commission wants to include any additional changes, we can incorporate them after discussion at the February 25th meeting. I look forward to continuing our review of the section of Zoning Ordinance.

Attachments: December 10, 2015 meeting staff memo
January 28, 2016 meeting staff memo
Site Plan Review Ordinance amendments

November 25, 2015



Mtg Date: December 10, 2015
To: Planning Commission
From: Julie Johnston, AICP
Subject: Proposed Site Plan Review Ordinance Amendments

In order to more clearly define the site plan review process, staff has developed some proposed amendments for the Planning Commission's review. The intent of the proposed changes is to be more specific with regards to the types of development that require site plan review and the process under which the plans will be reviewed. The major changes requested include:

1. The Purpose Statement was amended to include the requirement that the development be safe, efficient, and environmentally sound and designed to protect adjacent properties.
2. The "Scope" section of the ordinance was changed to "Applicability" and defined information was provided as to what types of developments require site plan review and who is the approving body. The current ordinance speaks more to who is exempt from the process. The requested change details to whom the ordinance applies. A table was included for ease of use.
3. The Subdivision/Site Condominium section of the ordinance was changed to indicate that these types of developments have a separate review process through the General Ordinances of the Township. As outlined in Part 290, subdivisions and site condominiums must go through the tentative preliminary plan, final preliminary plan and final project plan process.
4. The Application Procedures were enhanced to detail the internal process for review and that only a complete site plan will be forwarded to the Zoning Board of Appeals or Planning Commission for review. This provides some flexibility to staff to deviate from our internal five week process of review if the applicant is not responsive, in a timely manner, with requested changes to the plan. In addition, the requirements for what should be included on a site plan were augmented. Many of these details are currently shown on plans through staff requests, but the existing ordinance did not clearly require their inclusion.
5. The organization of the overall ordinance was modified to generally follow the steps of the site plan review process.

Planning Department staff reviewed the requested changes with the Township Attorney. Modifications were made based on his input. Copies were also sent to the Township Engineer and Zoning Enforcement Officer, who were satisfied with the requested changes. Planning staff is requesting the Planning Commission's review of the proposed changes for discussion at the December 10th meeting.

January 20, 2016



Mtg Date: January 28, 2016
To: Planning Commission
From: Julie Johnston, AICP
Subject: Proposed Site Plan Review Ordinance Amendments

At the December 10, 2015 Planning Commission meeting there was some discussion about the proposed Ordinance amendments. The concerns noted have been reviewed by Staff, as follows:

1. Concerns with the proposed language in the Purpose Statement, including the words “safe, efficient and environmentally sound.” There was concern that it was too subjective and perhaps needed a definition to enforce. Also, the words “and to protect adjacent properties,” were reviewed because of the concern of staff adversely utilizing this language to stop projects.

The original suggested amendment was as follows:

Furthermore, its purpose is to provide for consultation and cooperation between the land developer and the Township ~~Zoning Board of Appeals~~ in order that the developer may accomplish ~~his~~ **their** objectives in the utilization of ~~his~~ **their** land within the regulations of this Zoning Ordinance, **and that the development is safe, efficient, environmentally sound, and designed in such manner as to protect adjacent properties and future development from substantial adverse impacts.** ~~with minimum adverse effect on the use of adjacent streets and highways and on existing and future uses in the immediate area and vicinity.~~

As can be seen, the current language of the Ordinance (the ~~strike through~~ section) referenced adverse impacts on existing and future uses. In an examination of other ordinances within Kalamazoo County, this same language is utilized in Comstock Township, Kalamazoo Township and Texas Township. With this in mind, Staff recommends the following changes:

Furthermore, its purpose is to provide for consultation and cooperation between the land developer and the Township ~~Zoning Board of Appeals~~ in order that the developer may accomplish ~~his~~ **their** objectives in the utilization of ~~his~~ **their** land within the regulations of this Zoning Ordinance, **and** with minimum adverse effect on the use of adjacent streets and highways and on existing and future uses in the immediate area and vicinity.

2. It was indicated that building colors are not dictated by the Ordinance.

The section in question is located in the General Requirements of the Site Plan ordinance. This section indicates what the applicant must provide on the site plan for review. Adding the requirement to include exterior building colors was an attempt to provide the Planning Commission and Zoning Board of Appeals with a clear picture of how the structure will look when it’s built, but not to direct what those colors should be. Currently, the site plan review ordinance does not require elevations of

building structures, though they are often included in the plan set. The requested amended language is as follows:

Front, side and rear building elevations with all windows, lights, doors, screened roof equipment and exterior materials, including color, indicated;

If the Planning Commission feels this is too burdensome, it can be easily removed from the amendments. It is not crucial to the development of the plan, but just an opportunity to have an understanding of the appearance of the final project.

3. There was a concern that requiring buildings/structures to be noted on the site plan within 100 feet of the site was too onerous. The suggested amendment language is as follows:

Location, height, and outside dimensions of all existing and proposed buildings or structures on the site, with setbacks and yard dimensions, and of all existing buildings and structures within 100 feet of the site;

This was an attempt to help the Planning Commission and Zoning Board of Appeals understand the site in context with its neighbors. However, this is also not critical to the development of a site plan and could easily be removed.

4. There was also concern that some of the language was too technical. According to the December 10, 2015 minutes, these included water supply/sanitary sewer, soil erosion and lighting/photometrics.

The section of the requested amendments that deal with utilities and soil erosion currently has the following language:

(4) Utilities, soil erosion, sedimentation control, and drainage:

- A. Location, size and design of existing and proposed service facilities above and below ground, including:
 - i. Water supply facilities including fire hydrants, water lines and mains.
 - ii. Location and type of drainage, sanitary sewers, storm sewers, and other utility mains and facilities including location of interior and exterior drains, dry wells, catch-basins, retention/detention areas, sumps and other facilities designed to collect, store and transport storm water or waste water;
 - iii. The point of discharge for all drains and pipes;
 - iv. Easements;

A. Grading plan showing existing and finished contours at a maximum interval of two feet;

B. Drainage plan showing storm lines, storm drains, retention and detention ponds, existing drainage courses, proposed method of site and roof drainage, soil erosion and sedimentation control.

After reviewing the suggested amendments and the Planning Commission's concerns with the Township Engineer, he recommended the following language:

(4) Utilities, soil erosion, sedimentation control, and drainage:

A. Grading plan showing existing contours at a maximum interval of one foot;

A-B. Location, size and design of existing and proposed service facilities above and below ground, including:

- v. Water supply facilities, including fire hydrants, water lines and mains;
- vi. Sanitary sewer facilities;
- vii. ~~Location and type of drainage~~ **Natural and engineered drainage by location type (e.g. natural drainage courses, sanitary sewers, storm sewers, and other utility mains and facilities)** including location of interior and exterior drains, dry wells, catch-basins, retention/detention areas, sumps and other facilities designed to collect, store and transport storm water ~~or waste water~~;
- viii. The point of discharge for all drains and pipes;
- ix. Easements;

C. Drainage management plan with design calculations showing drainage courses and proper management to direct runoff of impervious surfaces and roof drains.

He felt this language better reflects what is needed to ensure the proper engineering of a site, as well as helping to safeguard that the Stormwater Management Ordinance under Section 78 of the Zoning Ordinance is met. The reference to soil erosion and sedimentation control was removed from the language because this permitting process is handled through Kalamazoo County. The Zoning Administrator ensures these permits, if necessary, are obtained at the time when a building permit is issued by the Kalamazoo Area Building Authority.

With regard to lighting, details of lighting fixtures and photometric plans are necessary to ensure that the requirements of Section 78.720: Outdoor Lighting Standards are met, which requires the following:

78.720(h): A site lighting plan for uses requiring site plan review shall be submitted and shall provide the following information:

- (1) Proposed location on premises of all outdoor light fixture(s).
 - (2) Description of illumination devices, fixtures, lamps, supports, reflectors and other devices (e.g., fixture type, mounting height, wattage).
 - (3) Photometric data of illumination cast on horizontal surfaces. Vertical photometric data may be required.
 - (4) Illumination level data for all building, vertical architectural and landscaping lighting proposed.
5. Finally, there was a concern about the legality of requiring professional seals for work professionals did not personally perform. The current amended language is as follows:

D. Seal of the architect, engineer, surveyor or landscape architect;

The intent of this amended section was to require the architect, engineer, surveyor or landscape architect to seal those portions of the plan in which they are responsible. In a review of some other ordinances, Staff found the following language:

- City of Kalamazoo - Professional seal, signature, address and telephone number of firms/professionals involved in preparation of the site plan.
- Comstock Township - For those buildings, uses, or facilities that are primarily for purpose of education, employment, housing (other than a privately owned one-family or two-family dwelling), government, assembly of public or private groups, or for the sale, rental or production of goods or services, the site plan shall be prepared by or under the supervision of a professional engineer, architect, architectural engineer, or land surveyor licensed or registered by the State of Michigan. The site plan shall contain the name and firm address of the professional engineer, architect, architectural engineer, or land surveyor responsible for the preparation of the site plan, and the professional seal and signature of that person.
- City of Kentwood - Identification and seal of architect, engineer, land surveyor, or landscape architect who prepared the drawings.
- Washtenaw County - All plans submitted for review must be prepared and sealed by a Professional Engineer licensed to practice in the State of Michigan. All correspondence concerning the design of the site will be directed to the Engineer whose seal appears on the plan. The name, address, and telephone number of the Owner and Engineer shall be shown on the plan.

The seal indicates that a plan was prepared by or under the personal supervision of a professional. For example, the engineer assumes responsibility for the plan and is answerable for the quality of the work. Engineers, architects, surveyors and landscape architects all have the ability to be licensed with the State of Michigan to sign plans. To address the issue of a professional signing for work they did not complete, we could alter the language to include the following:

D. Seal of the architect, engineer, surveyor or landscape architect for those sections of the plan set in which they are responsible;

These changes have not been incorporated into the amended Site Plan Review ordinance language. If the Planning Commission wants to include any of the recommended changes outlined in this memo, we can incorporate them after discussion at the January 28th meeting. I look forward to continuing our review of the section of Zoning Ordinance.

Attachments: December 10, 2015 meeting staff memo
Site Plan Review Ordinance amendments

82.000 - SITE PLAN REVIEW

82.100 - Purpose.

The purpose of this article is to require the review of those documents or drawings as specified herein to ensure that a proposed land use or development activity is in compliance with this ordinance, other local ordinances, and state and federal statutes. ~~The intent of this Section~~ **Furthermore, its purpose** is to provide for consultation and cooperation between the land developer and the Township Zoning Board of Appeals in order that the developer may accomplish ~~his~~ **their** objective in the utilization of ~~his~~ **their** land within the regulations of this Zoning Ordinance, **and** with minimum adverse effect on the use of adjacent streets and highways and on existing and future uses in the immediate area and vicinity.

82.200 – **Applicability.** ~~Scope~~

- a) **Prior to the establishment of a use, addition to an existing use, or the erection of any building, a site plan shall be submitted to and approved by the Township in accordance with the procedures of this section, and the development requirements of this and other applicable ordinances.**
- b) **The Township shall not approve the issuance of a building permit until a site plan, where required, has been approved and is in effect. Obtaining site plan approval does not guarantee issuance of a building permit.**
- c) **No grading, removal of trees or other vegetation, landfilling, installation of utilities, or other construction improvements shall commence for any development which requires site plan approval until a site plan is approved and is in effect, except as permitted by this ordinance or by Section 78.610.**
- d) **Site plan review shall be required for the activities or uses listed in the table below. The Planning Commission, Zoning Board of Appeals, or Planning Department through Administrative Approval shall have the authority to review and to approve, approve with conditions, or deny site plan applications as provided in this section, in accordance with the table below. If all site plan application requirements are met, the site plan shall be approved, approved with conditions, or denied within 60 days of receipt of the completed application.**
- e) **The Planning Director shall have the discretion to forward any site plan submitted for administrative approval to the Zoning Board of Appeals for final determination.**
- f) **If administrative approval is denied, the applicant may appeal the decision to the Zoning Board of Appeals.**
- g) **Single-family and two-family dwellings are exempt from these requirements.**

Activity/Use	Administrative Review	Zoning Board of Appeals	Planning Commission	Township Board
NEW CONSTRUCTION				
Open Space Developments			Approve	
Planned Unit Developments (PUD)			Approve	
Multi-Family Developments/Buildings		Approve in R-4 District	Approve in R-3 District	
Mobile Home Community			Recommend	Approve
Any Nonresidential Building, Structure or Use (unless Special Exception Use)		Approve		
Special Exception Uses			Approve	
EXPANSION/MODIFICATION TO EXISTING BUILDINGS				
Alteration or expansion involving less than one-fourth of the floor area of an existing structure or is no greater than 2,000 sq. ft. whichever is less	Approve			
Alteration or expansion involving more than one-fourth of the floor area of an existing structure or is greater than 2,000 sq. ft.		Approve		
Expansion/Intensification of a Special Exception Use			Approve	
CHANGE IN USE				
Reuse of an existing building where no building expansion is proposed, if the Planning Director determines the new use is similar or less intense in terms of parking, traffic generation, drainage, utility needs, noise, aesthetics and other external effects	Approve			

Activity/Use	Administrative Review	Zoning Board of Appeals	Planning Commission	Township Board
Change of land or building to a more intensive use, as determined by the Planning Director, that may involve substantial change in parking, traffic flow, hours of operation, public services, effluent discharge, or substantial alteration of the physical character of the site		Approve		
Change to a Special Exception Use			Approve	
Temporary uses, buildings and structures	Approve			
Change of use/occupancy of an individual suite within a Commercial Center	Approve			
ACCESSORY STRUCTURES AND SITE IMPROVEMENTS				
Accessory structures/buildings that are one-fourth the size of the principal building or less and does not affect other Zoning requirements	Approve			
Accessory structures/buildings that are more than one-fourth the size of the principal building and/or affect other Zoning requirements		Approve		
Outdoor storage, sales and display for more than one day			Approve	
Modification or expansion of existing off-street parking, stacking spaces or loading and unloading areas	Approve			
Construction, relocation or erection of signs, screening walls, fences, waste receptacles, sidewalks, lights, and poles	Approve			
Modifications to comply with accessibility requirements	Approve			

~~Except as hereinafter set forth, the Building Official shall not issue a building permit for construction or remodeling of any building, structures or uses and shall not issue any occupancy permits where a change in use of premises is involved until a Site Plan, submitted in accordance with the Township Zoning Ordinance, shall have been reviewed and approved by the Zoning Board of Appeals or where specified hereunder by the Planning Commission.~~

~~The following buildings, structures, or uses shall be exempt from the aforesaid Site Plan Review and procedure:~~

- ~~(a) Single or two family dwellings under separate ownership and each on a separate lot, parcel or building site.~~
- ~~(b) Accessory and subordinate buildings requiring no new or additional means of access thereto from adjoining public roads or highways not higher or larger than existing buildings on the site and complying with all Zoning Ordinance requirements subject to the option of the Building and Zoning Department to require Site Plan Review set forth under Section 82.400 following.~~
- ~~(c) Projects involving the expansion, remodeling or enlargement of existing buildings which comply with all Zoning Ordinance requirements, involve no new or additional means of access thereto from adjoining public roads or highways, do not involve a change in the use of the premises and do not involve increasing the height of existing buildings nor an increase in the area thereof by more than one fourth, subject to the option of the Building and Zoning Department to require Site Plan Review set forth under Section 82.400 following.~~
- ~~(d) Mobile home parks.~~
- ~~(e) Mobile homes or single or two family dwellings in a mobile home subdivision.~~

~~Condominium projects are not exempt from the Site Plan Review procedure.~~

- ~~(f) Essential services with or without buildings, subject to the option of the Planning Director or his/her designee to require Site Plan Review set forth under Section 82.400 following.~~

~~82.201 — There shall be no change in occupancy of an individual suite within a Commercial Center until the change has received administrative review and approval by the Township.~~

~~82.300 – Review by Township Planning Commission.~~

~~Special exception uses, condominium projects, planned unit developments, and/or uses, buildings, or structures which require prior approval by the Township Planning Commission shall be submitted to the Planning Commission for Site Plan Review in lieu of submission of the Site Plan to the Zoning Board of Appeals which review by the Planning Commission shall be subject to the same standards as those governing review by the Zoning Board of Appeals.~~

~~82.310~~ **82.200** – Subdivision/**Site** Condominiums **under Open Space or Planned Unit Development Regulations** – Review by Township Board and electronic copies of plans.

Condominium projects, **Open space** and planned unit developments involving **site** condominiums units **or subdivisions** shall require final approval by the Township Board following **site preliminary/conceptual** plan review and approval of **by** the Planning Commission. **Open space and planned unit developments involving site condominiums or subdivisions shall follow both the requirements of their respective Zoning Ordinance regulations, as well as the requirements of Part 290 of the General Ordinances, including the plan development requirements. The site plan review requirements of section 82.400 herein shall not govern the review process for open space or planned unit developments that include site condominiums or subdivisions.**

~~Following final approval by the Township Board and before a Certificate of Occupancy may be issued, the applicant shall furnish the Township hard copies on both paper and Mylar and a digital copy of the final approved site plan and as-built drawings of public water and sewer mains, prepared to scale. Digital copies shall be provided in AutoCAD (.dwg) or (.dxf) format. Digital copies may be submitted on 3 ½" disk or CD.~~

~~Each digital file shall include a minimum of two ties to Government Section Corners. Additionally, the following should be included and provided as their own unique layers in the electronic file: lot/unit numbers; dimensions; lot lines; boundaries; rights-of-way; street names; easements; section lines and section corners; utility lines; adjacent plat corners; and, other information deemed appropriate to the subject project.~~

~~82.400~~ – Building and Zoning Official referral. **(MOVED)**

~~The Building Official and Zoning Official shall have the right to deny a building permit or an occupancy permit to an applicant until Site Plan approval has been received from the Zoning Board of Appeals or Planning Commission, as the case may be, under Sections 82.200 (b) and (c) set forth where said official has any questions concerning the compliance of the proposed development with the Township Zoning Ordinance or its compatibility as proposed with existing developments or zoning classifications in the area.~~

~~82.500~~ **82.300** – Optional Sketch Plan Review.

Preliminary sketches of proposed site and development plans may be submitted for review to the ~~Zoning Board of Appeals~~ **approval body** prior to **the process for** final approval. The purpose of such procedure is to allow discussion between a developer and the ~~Zoning Board of Appeals~~ **approval body** to better inform the developer of the acceptability of his proposed plans prior to incurring extensive engineering and other costs which might be necessary for final Site Plan approval. Such sketch plans shall include, as a minimum, the following:

- (a) The name and address of the applicant or developer, including the names and addresses of all officers of a corporation or partners of a partnership.
- (b) A legal description of the property.
- (c) Sketch drawings showing tentative site and development plans.

The ~~Zoning Board of Appeals~~ **approval body** shall not be bound by any **discussion which occurred during the optional sketch plan review or any** tentative approval given at this time.

82.600 **82.400** – Application Procedure.

Requests for final Site Plan Review shall be made by filing with the Township Clerk **Planning Department**. The following **information shall be required**:

(a) Application:

- (1)** A review fee as determined by resolution of the Township Board based upon the cost of processing the review and as shall be on file with the Township Clerk for public information.
- ~~(b)~~ **(2)** One copy of the completed application form for Site Plan Review which shall contain, as a minimum, the following:
 - A. The name and address of the applicant.
 - B. The legal description of the subject lot, parcel or building site.
 - C. The area of the lot, parcel or building site in acres or, if less than one acre, in square feet.
 - D. The present zoning of the subject lot, parcel or building site.
 - E. A general description of the proposed development.
 - F. The environmental permits checklist.
 - G. The hazardous substance reporting form for site plan review.
- ~~(c)~~ **(3)** ~~Three~~ **Copies of the proposed site plan and landscaping plan, the number of which to be determined by the Township Planning Department.** ~~which shall include as a minimum:~~

(b) Process: Upon receipt of a site plan application and supporting data, the Planning Department shall:

- (1) Review the site plan application for completeness.**
- (2) Forward the site plan application and all supporting data to the Fire Department, Parks Department, Township Engineer and Township Legal Counsel who shall review the materials and return written comments to the Planning Department.**
- (3) Notify the applicant in writing of the comments received or if the site plan is incomplete. Incomplete applications and site plans may not be submitted to the Zoning Board of Appeals or Planning Commission.**
- (4) If revised plans are required, the applicant shall submit within the time frame provided by the Planning Department. Planning staff will determine which Township departments require a second review. Any final comments will be provided to the applicant prior to Zoning Board of Appeals or Planning Commission meeting.**
- ~~(5) A hearing shall be scheduled by the Chairman of the reviewing body for a review of the Application and Plans as well as the recommendations of the Township Engineer, the Township Fire Department, and the Township Planning Department.~~ **The Planning Director shall schedule the final application and plan on the next available Planning Commission or Zoning Board of Appeals meeting.** Members of the reviewing body shall be delivered copies of the same prior to the hearing for their preliminary information and study. The hearing shall be scheduled within not more than **45 60** days following the date of the receipt

of the plans and application by the ~~Township Clerk~~ **Planning Department. (Moved from 82.715)**

(6) The applicant shall be notified of the date, time and place of the hearing on his application not less than ~~three days~~ **one week** prior to such date. **(Moved from 82.720)**

(c) Site Plan: A site plan shall consist of an overall plan for the entire development drawn on 24" by 36" paper and drawn to a scale of no less than 1" = 50'. The Planning Department may request copies of all plans and drawings at a reduced size format. The site plan shall contain all of the materials and information listed below to be considered complete to begin the review process for submission to the Zoning Board of Appeals or Planning Commission, unless deemed unnecessary by the Planning Department:

(1) General Requirements:

- A. The date, name and address of the preparer;
- B. Project title;**
- C. Location map with the north point indicated;**
- D. Seal of the architect, engineer, surveyor or landscape architect for those sections of the plan set in which they are responsible;**
- E. Zoning classification of the proposed parcel and all adjacent parcels;**
- F. Percentage of land covered by buildings and that reserved for open spaces;
- G. All interior and exterior areas to be used for the storage, use, loading/unloading, recycling or disposal of hazardous substances.

(2) Access and Circulation. Site plans must include dimensioned drawings of all existing a proposed:

- A. ~~Location of~~ **Public and private easements contiguous to and within the proposed development which are planned to be continued, created, relocated or abandoned;**
- B. Acceleration, deceleration, passing lanes and approaches; dedicated road or service drive locations; proposed locations of driveways, access drives, street intersections; driveway locations on opposite frontage; dimensioned fire lanes, including curve radii; and surfacing materials.**
- C. Parking spaces, circulation aisles, off-street loading/unloading area, stacking spaces, and surfacing materials;**
- D. Location and width of sidewalks.

(3) Buildings and Structures:

- A. Location, height, and outside dimensions of all existing and proposed buildings or structures on the site, with setbacks and yard dimensions;**
- B. Front, side and rear building elevations with all windows, lights, doors, and exterior materials, including color, indicated;**
- C. Dwelling unit density where pertinent;
- D. Rubbish disposal facilities with elevation details of the enclosures;

- E. Location of signs, if determined;
- F. All existing or proposed underground and above-ground storage tanks;

(4) Utilities, soil erosion, sedimentation control, and drainage:

- A. Grading plan showing existing contours at a maximum interval of two foot;**
- B. Location, size and design of existing and proposed service facilities above and below ground, including:
 - i. Water supply facilities including fire hydrants, water lines and mains.
 - ii. Sanitary sewer facilities;**
 - iii. **Natural and engineered drainage by location type (e.g. natural drainage courses** ~~Location and type of drainage, sanitary sewers,~~ storm sewers, and other utility mains and facilities) including location of interior and exterior drains, dry wells, catch-basins, retention/detention areas, sumps and other facilities designed to collect, store and transport storm water ~~or waste water~~;
 - iv. The point of discharge for all drains and pipes;
 - v. Easements;
- C. Drainage management plan with design calculations showing drainage courses and proper management to direct runoff of impervious surfaces and roof drains.**

(5) Landscaping Plan. Location and description of all:

- A. A **Lines** demarcating the limits of land clearing on a site. Land clearing shall be limited to that needed for the construction of buildings, structures, parking lots, street right(s)-of-way, drainage and utility areas, other site improvements, and any grading necessary to accommodate such construction;
- B. Natural features including the location of woodlots, wetlands, marshland, streams, lakes, drain basins, water courses, flood plains and similar features; location and species of trees >12" in diameter as measured at four feet above the ground within the proposed development area of the site;
- C. Soil characteristics of the site at least to the detail provided by the U.S. Soil Conservation Service;
- D. Pedestrian walks, malls and recreation areas;
- E. Proposed landscaping, including berms, buffers, screens and greenbelts, lawns, shrubs, and other live plant materials;
- F. Screening walls and fences, including dimensions, materials and details;
- G. Method of irrigation, if applicable.**

(6) Lighting Plan

- A. Location and detail of on-site illumination;
- B. Elevation details of proposed light fixtures, including height;**
- C. Photometric plan.**

(7) Any additional material information necessary to consider the impact of the project upon adjacent properties, the general public, and the environment, as may be demanded by the Township building and zoning official **Planning Department, Planning Commission** or the Zoning Board of Appeals.

(d) ~~The Township Planning Department, Fire Department, and Engineer shall review the proposed site plan. The Planning Department will compile their comments and submit them to the applicant. The applicant shall submit 12 copies of a revised proposed site plan for applications requiring review by the reviewing body and three copies of a revised proposed site plan for applications requiring administrative review.~~

~~82.700~~ **82.500** – Action on Application and Plans.

~~82.710~~ Upon receipt of the Application and Revised Plans, the Township Clerk shall record the date and transmit seven copies to the Chairman of the reviewing body, two copies to the Township Planning Department, one copy to the Township Fire Department, and one copy to the Township Engineer.

~~82.715~~ ——— A hearing shall be scheduled by the Chairman of the reviewing body for a review of the Application and Plans as well as the recommendations of the Township Engineer, the Township Fire Department, and the Township Planning Department. Members of the reviewing body shall be delivered copies of the same prior to the hearing for their preliminary information and study. The hearing shall be scheduled within not more than 45 days following the date of the receipt of the Plans and Application by the Township Clerk.

~~82.720~~ The applicant shall be notified of the date, time and place of the hearing on his application not less than three days prior to such date.

(a) ~~82.725~~ Following the hearing, the **Planning Commission or** Zoning Board of Appeals shall have the authority to approve, disapprove, or modify the proposed plans in accordance with the purpose of the Site Plan Review provisions of the Township Zoning Ordinance and criteria therein contained. Any required modification shall be stated in writing, together with the reason therefor, and delivered to the applicant. The **Planning Commission or** Zoning Board of Appeals may either approve the plans contingent upon the required modifications, if any, or may require a further review after the same have been included in the proposed plans of the applicant. **If further review is required**, the decision of the **Planning Commission or** Zoning Board of Appeals shall be made by said Board within ~~100~~ **120** days of the receipt of the Application by the Township Clerk **Planning Department**.

(b) ~~82.730~~ Two copies of the approved final Site Plan with any required modifications thereon shall be maintained as part of the Township records for future review and enforcement. One copy shall be returned to the applicant. Each copy shall be signed and dated with the date of approval by ~~the Chairman of the~~ **Planning Commission or** Zoning Board of Appeals for identification of the final approved plans. If any variances from the Zoning Ordinance have been obtained from the **Zoning** Board of Appeals, the minutes concerning the variance, duly signed, shall also be filed with the Township records as a part of the Site Plan and delivered to the applicant for his information and direction.

~~82.800~~ **82.600** – Criteria for Review.

In reviewing the application and site plan and approving, disapproving or modifying the same, the **Planning Commission or** Zoning Board of Appeals shall be governed by the following standards:

- (a) There is a proper relationship between the existing streets and highways within the vicinity and proposed deceleration lanes, service drives, entrance and exit driveways and parking areas to ensure the safety and convenience of pedestrian and vehicular traffic. Access for all sites located on an "arterial" or "collector" (as those terms are defined in the Access Management Plan) shall comply with the provisions of Section 67.000, the Access Management Guidelines, and be designed in consideration of the provisions of the Access Management Plan.
- (b) That the buildings, structures, and entryways thereto proposed to be located upon the premises are so situated and designed as to minimize adverse effects therefrom upon owners and occupants of adjacent properties and the neighborhood.
- (c) **That pedestrian access is considered on the site and within the site for ease of access to the development and that Township Standard Specifications for Sidewalks are met.**
- (d) That as many features of the landscape shall be retained as possible where they furnish a barrier or buffer between the project and adjoining properties used for dissimilar purposes and where they assist in preserving the general appearance of the neighborhood or help control erosion or the discharge of storm waters. Judicious effort shall be demonstrated to preserve the integrity of the land, existing topography, natural features (i.e., slopes, woodlands, etc.) and natural drainage patterns to the greatest extent feasible.
- (e) That any adverse effects of the proposed development and activities emanating therefrom upon adjoining residents or owners shall be minimized by appropriate screening, fencing or landscaping.
- (f) That all provisions of the Township Zoning Ordinance **and General Ordinances, as required**, are complied with unless an appropriate variance therefrom has been granted by the Zoning Board of Appeals.
- (g) That the height and location of all portions of buildings and structures are accessible to available emergency vehicles and equipment.
- (h) That the plan will not result in any additional run off of surface waters onto adjoining property.
- (i) That the plan as approved is consistent with the intent and purpose of zoning to promote public health, safety, morals and general welfare; to encourage the use of lands in accordance with their character and adaptability; to avoid the overcrowding of population; to lessen congestion on the public roads and streets; to reduce hazards to life and property; to facilitate adequate provision for a system of transportation, sewage disposal, safe and adequate water supply, education, recreation and other public requirements; and to conserve the expenditure of funds for public improvements and services to conform with the most advantageous uses of land, resources and properties; to conserve property values and natural resources; and to give reasonable consideration to the character of a particular area, its peculiar suitability for uses and the general and appropriate trend and character of land, building and population development.
- (j) That the plan as approved is consistent with the Ground-water Protection Standards in Section 69 of the Ordinance.

~~82.900~~ **82.700** – Conformity to approved Site Plan.

- (a) Approval of the Site Plan shall be valid for a period of one year after the date of approval. If a building permit has not been obtained and on-site development actually commenced within said one year, the Site Plan approval shall become void and new approval obtained before any construction or earth change is commenced upon the site. **Extensions may be granted by the approving body if requested prior to the expiration of the one year validity period.**
- (b) Property which is the subject of Site Plan approval must be developed in strict compliance with the approved Site Plan and any approved amendments thereto or modifications thereof pursuant to Section ~~82.925~~ **82.800**. If any site is not developed in compliance with said Site Plan, the approval shall be revoked. Notice of such revocation shall be made by written notice by the Township to the developer at the last known address. Upon revocation of Site Plan approval, no further construction activities may be commenced upon the site other than for the purpose of correcting any violations.
- (c) The Township may, upon proper application by the developer and in accordance with the procedure established in this ordinance, approve a modification to the Site Plan to coincide with the developer's construction, provided such construction satisfies the criteria placed upon the previously granted Site Plan approval and the Zoning Ordinance.
- (d) At least one complete set of record construction drawings signed by a licensed architect, engineer, landscape architect, or contractor shall be submitted to the Township **or its designee** at the time of application for a Certificate of Occupancy or, in the case of residential developments before a Building Permit may be issued.

These drawings shall indicate any changes **approved by the Township** to the original site plan. Additionally, the correct location, size, etc. of any preexisting utilities or facilities shall be specified.

~~82.925~~ **82.800** – Amendment to Site Plan.

Once Site Plan approval has been granted by the appropriate reviewing body, significant changes to the approved Site Plan shall require a resubmission in the same manner as the original application except as provided herein.

~~Minor changes to an approved Site Plan, at the discretion of the Planning Director, may be administratively reviewed and approved provided such modifications comply with the criteria contained in the Site Plan approval and with the spirit, purpose and intent of the Township Zoning Ordinance.~~

The Planning Director may approve minor changes in a final site plan that has been approved by the Planning Commission or Zoning Board of Appeals, upon the submittal of a revised site plan in accordance with the following:

- (a) Those items outlined in section 82.200 under Administrative Approval.**
- (b) Plantings approved in the landscape plan may be replaced by similar types and sizes of landscaping which provide a similar screening effect on an equal or greater basis.**
- (c) Improvements to site access or circulation, such as deceleration lanes, boulevards, curbing, pedestrian/bicycle paths, but not the addition of new driveways.**

- (d) Changes of building materials or design, fencing, screening, or site amenities which will result in a higher quality development, as determined by the Planning Department.**
- (e) Slight modification of sign placement.**
- (f) Changes required or requested by a county, state or federal agency for safety reasons or for compliance with applicable laws that do not alter the basic design, compliance with the standards of approval, nor any specified conditions of the approved site plan.**
- (g) Situations the Planning Director deems similar to the above that do not alter the basic design, compliance with the standards of approval, nor any specified conditions of the approved site plan.**

~~82.950~~ **82.900** – Performance guarantee.

The Township Zoning Board of Appeals or the Township Planning Commission, as the case may be, shall have the right and authority to require the applicant to file a performance guarantee as a condition of site plan approval.

Additionally, when the full development of the site in accordance with the approved Site Plan cannot be finalized prior to application for occupancy subsequent to the completion and approval of all aspects of the building permit, and a performance guarantee has not already been provided for the subject site improvements or project, the Planning Director of the Township may approve occupancy conditioned upon the provision of a performance guarantee.

Such guarantee may take the form of an irrevocable letter of credit, or cash escrow, or performance bond. Such amount of the guarantee shall be the equivalent of the estimated cost of the improvements or project as submitted by the applicant and verified by the Planning Director. The applicant shall provide an itemized schedule of estimated costs to complete all such improvements or the project. In all instances, the amount shall be adequate to insure the development of the site in accordance with the approved plans therefor.

Such guarantee, if required, shall continue for the duration of the construction and development of the site and until all conditions are satisfied.

Upon request, the Township shall provide for the rebate of any cash escrow or allow for a reduction in the value of a letter of credit or performance bond filed in this connection in reasonable proportion to the ratio of the work completed on the improvements for which the guarantee was required. The amount remaining on deposit shall still provide reasonable security for the completion of the unfinished improvements applicable to the deposit and in no instance be less than 10% the amount of the original performance guarantee until all the site improvements or the project are fully completed.

Whenever required improvements are not installed or maintained within the time stipulated or in accordance with the standards set forth in this Ordinance, the Township may complete the necessary improvements itself or by contract to an independent contractor, and assess all costs of completing said improvements against the performance guarantee, including any interest accrued on said guarantee. The Township shall notify the owner, site plan review applicant, or other firm or individual responsible for completion of the required improvements 30 days prior to the commencement of said completion.