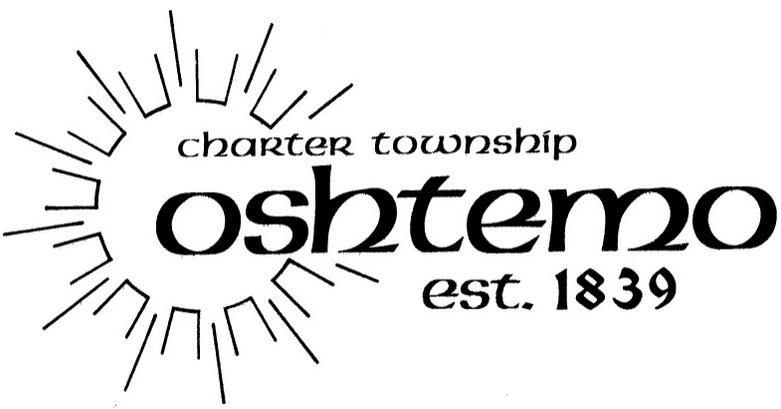


7275 W. MAIN STREET, KALAMAZOO, MI 49009-9334
269-216-5220 Fax 375-7180 TDD 375-7198
www.oshtemo.org

**NOTICE
OSHTEMO CHARTER TOWNSHIP
PLANNING COMMISSION**

**Thursday,
March 10, 2016
7:00 p.m.
AGENDA**

1. Call to Order
2. Pledge of Allegiance
3. Approval of Agenda
4. Public Comment on Non-Agenda Items
5. Approval of Minutes – February 25, 2016
6. **PUBLIC HEARING: Special Exception Use – Corner@ Drake B, LLC**
Consideration of the application of Corner @ Drake B, LLC for a special exception use and site plan review to construct the Corner Shoppes with drive-through lanes, pursuant to Section 30.407, and to include the Corner Shoppes as part of a planned unit development, pursuant to Section 60.420. The subject property is vacant land located on Drake Road, north of Century Avenue, Kalamazoo, MI, within the C: Local Business District. Parcel Number 3905-25-240-009.
7. **PUBLIC HEARING: Special Exception Use – Corner@ Drake Planned Unit Development**
Consideration of the application of Gesmundo, LLC to include the following three properties in the Corner@Drake Commercial Planned Unit Development:
 - Consumers Credit Union, 1900 South Drake Road, Parcel No. 3905-25-240-008
 - Kellogg Community Federal Credit Union, 1700 South Drake Road, Parcel No. 3905-25-240-008
 - Field & Stream, 5215 Century Avenue, Parcel No. 3905-25-240-010
8. **PUBLIC HEARING: Special Exception Use – Field & Stream**
Consideration of the application from Field & Stream for a special exception use, pursuant to Section 30.415 of the Zoning Ordinance, for a Grand Opening Celebration on April 1st, 2nd and 3rd, 2016. The subject property is located at 5215 Century Avenue, Kalamazoo, MI within the C: Local Business District. Parcel No. 3905-25-240-010
9. **PUBLIC HEARING: Special Exception Use – Adam Garland Construction**
Consideration of the application from Adam Garland Construction on behalf of Molly Garland for a special exception use and site plan review for an addition to an existing residential structure for commercial use in the Village Commercial District and Village Form-Based Code Overlay District, pursuant to Section 33.301 of the Zoning Ordinance. The subject property is located at 6825 Stadium Drive, Kalamazoo, MI, Parcel No. 3905-35-115-066.



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10. Public Hearing: Rezoning Request - West Main Properties, LLC

Consideration of the rezoning request from Warner Norcross & Judd, LLP, on behalf of West Main Properties, LLC of approximately 30 acres consisting of the northern portions of Parcel Nos. 3905-16-180-047 and 3905-16-255-014 from RR: Rural Residential to C: Local Business District located at 8500 West Main Street.

11. Old Business

12. Any Other Business

13. Planning Commissioner Comments

14. Adjournment

**Policy for Public Comment
Township Board Regular Meetings, Planning Commission & ZBA Meetings**

All public comment shall be received during one of the following portions of the Agenda of an open meeting:

- a. Citizen Comment on Non-Agenda Items or Public Comment – while this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official to respond at a later date.
- b. After an agenda item is presented by staff and/or an applicant, public comment will be invited. At the close of public comment there will be board discussion prior to call for a motion.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name; it is not required unless the speaker wishes to have their comment recorded in the minutes.

All public comment offered during public hearings shall be directed, and relevant, to the item of business on which the public hearing is being conducted. Comment during the Public Comment or Citizen Comment on Non-Agenda Items may be directed to any issue.

All public comment shall be limited to four (4) minutes in duration unless special permission has been granted in advance by the Supervisor or Chairperson of the meeting.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor or Chairperson of the meeting shall terminate any public comment which is in contravention of any of the principles and procedures set forth herein.

(adopted 5/9/2000)
(revised 5/14/2013)

**Policy for Public Comment
6:00 p.m. "Public Comment"/Portion of Township Board Meetings**

At the commencement of the meeting, the Supervisor shall poll the members of the public who are present to determine how many persons wish to make comments. The Supervisor shall allocate maximum comment time among persons so identified based upon the total number of persons indicating their wish to make public comments, but no longer than ten (10) minutes per person. Special permission to extend the maximum comment time may be granted in advance by the Supervisor based upon the topic of discussion.

While this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official to respond at a later date.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name; it is not required unless the speaker wishes to have their comment recorded in the minutes.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor shall terminate any public comment which is in contravention of any of the principles and procedures set forth herein.

(adopted 2/27/2001)
(revised 5/14/2013)

**OSHTEMO CHARTER TOWNSHIP
PLANNING COMMISSION**

MINUTES OF A MEETING HELD FEBRUARY 25, 2016

Agenda

**PUBLIC HEARING: SPECIAL EXCEPTION USE – OLD NATIONAL BANK
CONSIDERATION OF THE APPLICATION OF CORNER@DRAKE D, LLC FOR A
SPECIAL EXCEPTION USE AND SITE PLAN REVIEW TO CONSTRUCT AN OLD
NATIONAL BANK WITH DRIVE-THROUGH LANES, PURSUANT TO SECTION
30.407, AS PART OF A PLANNED UNIT DEVELOPMENT, PURSUANT TO
SECTION 60.420. THE SUBJECT PROPERTY IS VACANT LAND AT 5003 OF
CENTURY AVENUE, KALAMAZOO, MI, WITHIN THE C: LOCAL BUSINESS
DISTRICT. PARCEL NO. 3905-25-240-009**

**SPECIAL EXCEPTION USE EXTENSION – STARBUCK'S COFFEE
CONSIDERATION OF THE APPLICATION OF STARBUCK'S COFFEE TO
EXTEND THE SPECIAL EXCEPTION USE APPROVED BY THE PLANNING
COMMISSION ON JANUARY 14, 2016 FOR THE PLACEMENT OF A
TEMPORARY TRAILER TO SERVE COFFEE, BEVERAGES AND LIMITED PRE-
PACKAGED PASTRIES WHILE THE STORE IS BEING RENOVATED. THE
SPECIAL EXCEPTION USE WAS ORIGINALLY APPROVED THROUGH
FEBRUARY 29, 2016. THE SUBJECT PROPERTY IS LOCATED AT 5370 WEST
MAIN STREET, KALAMAZOO, MI, WITHIN THE C: LOCAL BUSINESS DISTRICT.
PARCEL NUMBER 3905-13-255-060.**

A meeting of the Oshtemo Charter Township Planning Commission was held on Thursday, February 25, 2016, commencing at approximately 7:00 p.m. at the Oshtemo Charter Township Hall.

MEMBERS PRESENT: Millard Loy, Chair
Fred Antosz
Kimberly Avery
Wiley Boulding Sr.
Dusty Farmer
Pam Jackson

MEMBERS ABSENT: Mary Smith

Also present were Julie Johnston, Planning Director, James Porter, Attorney, and Martha Coash, Meeting Transcriptionist. Four other persons were in attendance.

Call to Order and Pledge of Allegiance

The meeting was called to order by Chairperson Loy at approximately 7:00 p.m., and the "Pledge of Allegiance" was recited.

Agenda

Chairperson Loy asked if there were any additions, deletions or corrections to the Agenda. Hearing no changes, he called for a motion to approve the Agenda as presented.

Mr. Antosz made a motion to approve the agenda as presented. Mr. Boulding, Sr. supported the motion. The motion passed unanimously.

Public Comment on Non-Agenda Items

Chairperson Loy called for public comment on non-agenda items. Hearing none, he moved to the next item on the agenda.

Approval of the Minutes of February 11, 2016

The Chairperson asked if there were any additions, deletions or corrections to the minutes of February 11, 2016. Hearing none, he asked for a motion to approve the minutes.

Ms. Jackson made a motion to approve the minutes of February 11, 2016 as presented. Mr. Antosz supported the motion. The motion was approved unanimously.

PUBLIC HEARING: SPECIAL EXCEPTION USE – OLD NATIONAL BANK CONSIDERATION OF THE APPLICATION OF CORNER@DRAKE D, LLC FOR A SPECIAL EXCEPTION USE AND SITE PLAN REVIEW TO CONSTRUCT AN OLD NATIONAL BANK WITH DRIVE-THROUGH LANES, PURSUANT TO SECTION 30.407, AS PART OF A PLANNED UNIT DEVELOPMENT, PURSUANT TO SECTION 60.420. THE SUBJECT PROPERTY IS VACANT LAND AT 5003 OF CENTURY AVENUE, KALAMAZOO, MI, WITHIN THE C: LOCAL BUSINESS DISTRICT. PARCEL NO. 3905-25-240-009

Chairperson Loy moved to the next item on the agenda and asked Ms. Johnston to review the application for a special exception use and site plan review for construction of an Old National Bank with drive-through lanes.

Ms. Johnston explained the applicant is seeking site plan approval and Special Exception Use permission for a new bank with drive-through accommodations, to be located at 5003 Century Avenue within the Corner @ Drake commercial PUD in Oshtemo Township.

She said the proposed Old National Bank will be situated on the southwest corner of Drake Road and Century Avenue, immediately south of Consumers Credit Union, and will be two stories tall with approximately 15,500 square feet of floor space. The drive-through lanes, rather than being appended to the side of the structure as is typically done with financial institutions, will be located beneath the second floor, essentially passing through the center of the building. The structure's shape, size, and overall aesthetics are intended to help prominently define the entrance to the Corner @ Drake development, complementing

the similarly multi-storied CCU which lies on the other side of Century Drive. Along with serving patrons' personal banking needs, this facility will also function as Old National's regional office.

Ms. Johnston noted the proposed project is in compliance with all relevant sections of Oshtemo Township's Zoning Ordinance, including building setbacks, site lighting photometrics, parking area layout & dimensions, and landscaping. The site plan has also been developed in accordance with the overall concept plan for the Corner @ Drake commercial PUD, which was approved by the Planning Commission at its February 11th, 2016 meeting. The proposal also meets criteria from Section 60.100 of the Zoning Ordinance regarding Special Exception Use requests.

While the Township's Engineer did not identify any significant concerns during his review of this project, he did note that the drains located in the drive-through lanes are shown as connecting to the sanitary sewer, but Staff prefers that they instead empty into the stormwater system. The engineering firm responsible for creating and managing the site plan for this project is aware of this issue, and has indicated to the Township Engineer that they intend to change the drains so that they empty into the stormwater system. If the applicant prefers that the drains remain connected to the sanitary system, then the runoff must be treated in compliance with all relevant standards.

She concluded by recommending approval of the site plan and Special Exception Use request for Old National Bank. Staff suggested the following conditions, to be administratively evaluated prior to the issuance of a building permit if the Planning Commission approves the project.

1. A revised site plan be submitted to the Township, showing the two unmarked pedestrian paths—one at the site's vehicle entrance and the other across the entry point to the drive-through facilities—striped as crosswalks and the aforementioned ADA ramp near the southwest corner of the building.
2. Either the drains in the drive-through area are to be connected to the stormwater system, to be shown on a revised site plan, or, if they are to continue to empty into the sanitary sewer, then the appropriate treatment mechanisms are to be illustrated on said plan.
3. The erroneous spot elevation found during engineering review be corrected.
4. The Fire Marshal is to be presented with a satisfactory plan to include all necessary hydrants, also to be included on a revised site plan.

Mr. Loy thanked Ms. Johnston for her review and asked if there were any questions from the Board.

Mr. Antosz wanted to be sure if drains are emptied into the sanitary sewer that there would be assurance the water would be treated.

Ms. Johnston said that would be the case but that the applicant has indicated the drains will be fed into the stormwater system rather than the sanitary sewer.

There were no further questions; Chairperson Loy asked if the applicant wished to speak.

Mr. Curt Aardema, 4200 W. Centre Ave., Portage, Corner@Drake D LLC, said they are excited about this project, which fits with the first class profile they have intended for the overall Corner@Drake project from inception. The two-story building design will provide a nice gateway for both the development and the community. He confirmed the drain issue has been resolved and that the applicant has no issues with the staff report conditions.

There were no questions for Mr. Aardema from the Board, nor were there any comments from the public.

The Board was in consensus this would be a nice addition to the overall project.

Mr. Loy asked if there was a motion for approval.

Ms. Jackson made a motion to approve the application for special exception use as part of the PUD and site plan for Old National Bank as presented to include the four staff recommendations and the stipulation that the drains be connected to the stormwater system. Mr. Boulding, Sr. supported the motion. The motion passed unanimously.

**SPECIAL EXCEPTION USE EXTENSION – STARBUCK’S COFFEE
CONSIDERATION OF THE APPLICATION OF STARBUCK’S COFFEE TO EXTEND THE
SPECIAL EXCEPTION USE APPROVED BY THE PLANNING COMMISSION ON
JANUARY 14, 2016 FOR THE PLACEMENT OF A TEMPORARY TRAILER TO SERVE
COFFEE, BEVERAGES AND LIMITED PRE-PACKAGED PASTRIES WHILE THE
STORE IS BEING RENOVATED. THE SPECIAL EXCEPTION USE WAS ORIGINALLY
APPROVED THROUGH FEBRUARY 29, 2016. THE SUBJECT PROPERTY IS LOCATED
AT 5370 WEST MAIN STREET, KALAMAZOO, MI, WITHIN C: LOCAL BUSINESS
DISTRICT. PARCEL NUMBER 3905-13-255-060.**

Chairperson Loy moved to the next item on the agenda and asked Ms. Johnston to walk through the application for the special use extension requested by Starbuck’s Coffee.

Ms. Johnston said at its January 14th, 2016 meeting, the Planning Commission granted Special Exception Use permission to the applicant, allowing a trailer to be kept on site at 5370 W. Main Street, to serve patrons while the main restaurant underwent renovations. While the initial approval was set to expire on February 29th, 2016, the applicant has encountered difficulties with their project, and is requesting that the Planning Commission grant an extension.

Based on feedback from the applicant as well as site visits made by Township Staff, she said the temporary site layout, as approved by the Planning Commission, appears to be functioning well. Taking that into account, along with the fact that the applicant has encountered problems with the renovation project, Staff recommended the Planning Commission grant an extension to the Special Exception Use, allowing the trailer to stay on-site until March 31st, 2016.

Mr. Antosz made a motion to extend approval for the onsite trailer until March 31, 2016. Ms. Jackson supported the motion. The motion carried unanimously.

Old Business

Proposed Site Plan Review Ordinance Amendments

Ms. Johnston said the last discussion about the proposed Ordinance amendments took place at the January 28, 2016 Planning Commission meeting and that changes as a result of that discussion were incorporated into the amended Site Plan Review ordinance language. Her hope was this would be the final look at them before being presented at a public hearing.

After some discussion and clarification of several items, it was the consensus of the Board to move forward with the suggested amendments as presented for public hearing at the March 24, 2016 meeting.

Attorney Porter commented the amendments add to the clarity of the Ordinance and make it easier for developers to check off boxes during the process.

There was no further old business; Chairperson Loy moved to the next item.

Any Other Business

Historic Preservation Overlay and the Drake Farmstead

Ms. Johnston said there were two issues she would like to address regarding the Drake Farmstead and the Overlay Zone:

- Community Farming is not allowed on the Drake Farmstead in the underlying zoning district, which is zoned C: Commercial and R-3: Residential.
- The Overlay Zone does not cover the entire farm.

In order to be able to do community farming on the Drake Farmstead, changes need to be made for the Township to be in compliance with its own rules. She would like to bring this issue back to the Planning Commission with a likely recommendation to include wording for the Farmstead that would allow uses historically significant to the site. Additionally she would like a public hearing regarding extending the Overlay Zone around the entire property.

After some discussion, it was the consensus of the group that this would be appropriate to consider and in a timely way before spring planting begins.

Ms. Johnston will bring a recommendation for consideration to the March 10 meeting and include a public hearing on the agenda for March 24.

Attorney Porter said he appreciated Ms. Johnston's desire to take care of this inconsistency so the Township can follow its own Ordinance.

Mr. Boulding Sr. and Ms. Jackson both noted they would be absent from the March 24 meeting.

PLANNING COMMISSIONER COMMENTS

Mr. Loy told the Board of a number of improvements in process at the Drake House and noted they would be receiving invitations to an open house on April 10.

Ms. Farmer told the Commission the Township Board has committed \$50,000 to the capital campaign for the Drake Farmstead over and above the amount already allocated for 2017 and 2018; the gift will be presented to the general membership March 3. She noted it was important to support the Farmstead as part of the entire Township Parks program and said Ms. High has done an outstanding job searching for park funds.

Attorney Porter noted the gift would allow leverage for matching gifts.

Mr. Loy said a number of community people have been interviewed regarding the capital campaign and as a result for now, the project has been set at half a million dollars; some pledges have already been received.

At the suggestion of Mr. Boulding, Sr., a moment of silence was offered for the Kalamazoo residents who were victims of the February 20 mass shooting.

ADJOURNMENT

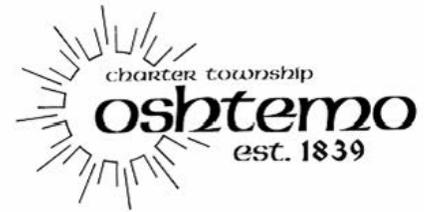
Having exhausted the agenda, and with there being no further business to discuss, Chairperson Loy adjourned the Planning Commission meeting..

The Planning Commission meeting was adjourned at approximately 7:47 p.m.

Minutes prepared:
February 28, 2016

Minutes approved:
_____, 2016

March 2nd, 2016



Meeting Date: March 10th, 2016

To: Planning Commission

From: Ben Clark, Zoning Administrator

Applicant: Hurley & Stewart, LLC

Owner: Corner @ Drake B, LLC

Property: Unaddressed southern portion of parcel number 05-25-240-002

Zoning: C: Local Business

Request: Special Exception Use and site plan review for two multi-tenant retail buildings with drive-through accommodations to be constructed within the Corner @ Drake commercial PUD.

Section(s): 30.407: Drive-in service window or drive-through services for businesses; 60.420: Commercial planned unit development provisions

Project Name: Corner Shoppes @ Drake

OVERVIEW

The applicant is seeking site plan approval and Special Exception Use permission for two new multi-tenant retail buildings with drive-through accommodations, to be located on parcel number 05-25-240-002 along Drake Road within the Corner @ Drake commercial PUD in Oshtemo Township.

PROJECT SUMMARY

The project site is located to the south of the recently approved Kellogg Community Federal Credit Union and to the north of Consumers Credit Union. Consisting of two 10,000 square foot buildings to be oriented along Drake Road, the Corner Shoppes @ Drake will also incorporate three drive-through lanes—one at the north end of the development, one at the south end, and one between the two structures. The Corner Shoppes will have motorized connections to CCU to the south, the private service road to the west, and a driveway to the north that is shared with KCFCU. No direct vehicle access to Drake Road is proposed. Pedestrian connections to CCU as well as Drake Road have also been indicated on the site plan.

The Corner Shoppes will also include a large patio in the space between the buildings for uses such as outdoor seating. A portion of this area is intended to accommodate a dedicated pedestrian path, linking the parking area behind the two buildings to the front entrances along Drake Road.

GENERAL ZONING & PUD COMPLIANCE

The proposed project is in compliance with all relevant sections of Oshtemo Township's Zoning Ordinance, including building setbacks, site lighting photometrics, parking area layout and dimensions, and landscaping. The site plan has also been developed in accordance with the overall concept plan for the Corner @ Drake commercial PUD, which was approved by the Planning Commission at its February 11th, 2016 meeting.

SITE CIRCULATION & PARKING

Using a combination of one- and two-way traffic flows, all internal vehicle circulation aisles are of the necessary widths, and the site plan indicates that there will be ample directional pavement arrows to help guide motorists as they circulate through the site. While the indicated circulation scheme is generally acceptable, Staff would prefer that the southern-most aisle adjacent to the building also be converted from two-way to one-way in order to mitigate traffic conflicts between the drive-through lane and the site circulation aisle, or, if the two-way flow is to be maintained, that a physical barrier be erected between the drive-through and circulation lanes. The applicant is aware of this concern and has stated that it will be rectified on a future revised site plan. The stacking space provided for the three drive-through lanes is deemed sufficient by staff, with room for five to six cars at the northern-most lane, and space for approximately ten to 11 vehicles at each of the other two windows to the south.

The pedestrian connections to both Drake Road and CCU to the south are intended to provide accessible routes to and within the Corner Shoppes site. Staff has noticed that not all necessary ADA compliant ramps are indicated on the site plan, and would like to see them included on a future revision. As with the above mentioned issue, the applicant intends to correct this with a site plan revision.

ENGINEERING

Having reviewed the site plan, the Township Engineer has identified a few items that need to be addressed before a building permit is obtained for this project. While the Engineer has deemed the Corner Shoppes to generally be buildable, he does have some concerns regarding not only this specific site, but also how its stormwater management regime will interact with the adjacent properties along Drake Road. The Township Engineer has met with the applicant, and the necessary corrections are being drafted.

FIRE DEPARTMENT

Upon his review of the first draft of the Corner Shoppes site plan, the Fire Marshal deemed that fire hydrant service for this site as insufficient, with the nearest fixture on Drake Road being located in front of CCU. The updated site plan presented to the Planning Commission shows that not only will this hydrant be relocated further to the north to better service both CCU and the Corner Shoppes, but also that one more hydrant will be added to the project site's Drake Road frontage to the north. The Fire Marshal is satisfied with this correction.

OTHER CONSIDERATIONS

Section 60.100 of the Zoning Ordinance provides additional review criteria for consideration when deliberating a Special Exception Use request.

A. Is the proposed use compatible with the other uses expressly permitted within the C: Local Business zoning district?

Given that retail facilities and restaurants without drive-through accommodations are permitted by right in this zoning classification, Staff considers this proposed use as being compatible with the district.

B. Will the proposed use be detrimental or injurious to the use or development of adjacent properties or to the general public?

Designed in accordance with the approved concept plan for the Corner @ Drake commercial PUD, Staff feels that this project will fit in well with its surroundings, both from a usage and an aesthetic standpoint.

C. Will the proposed use promote the public health, safety, and welfare of the community?

Intended to be a part of the Corner @ Drake commercial PUD, it is anticipated that the design and siting of the proposed use will promote the public health, safety, and welfare of the community. With no direct vehicle access to Drake Road and sufficient pedestrian accommodations, Staff feels that the public interest is being served.

D. Will the proposed use encourage the use of the land in accordance with its character and adaptability?

This use is harmonious with its location. Situated near the junction of two busy roads and within a larger commercial development, Staff has no concerns that the proposed Corner Shoppes @ Drake will in any way negatively impact the land's character or adaptability.

RECOMMENDATION

Staff is comfortable in recommending approval of the site plan and Special Exception Use requests for the Corner Shoppes @ Drake. If the Planning Commission is inclined to approve this project, Staff suggests the following conditions, to be administratively evaluated prior to the issuance of a building permit.

1. A revised site plan is to be submitted to the Township, indicating all necessary ADA pedestrian ramps
2. The south circulation aisle adjacent to the building is to be converted to a one-way flow or the drive-through and circulation lane will be separated by a physical barrier if the two-way flow is to be maintained.
3. Any outstanding engineering concerns, as identified by the Township Engineer in the attached memo, be satisfactorily corrected on a revised site plan.

Respectfully Submitted,

A handwritten signature in black ink that reads "Ben Clark". The signature is written in a cursive style.

Ben Clark
Zoning Administrator

Attachments: Application & narrative
Site plan
Aerial map
Fire Marshal memo
Engineer memo



7275 W. Main Street, Kalamazoo, Michigan 49009-9334
 Phone: 269-216-5223 Fax: 269-375-7180

PLEASE PRINT

PROJECT NAME & ADDRESS CORNER SHOPPES @ DRAKE

PLANNING & ZONING APPLICATION

Applicant Name : CORNER @ DRAKE B, LLC
 Company _____
 Address 4200 W. CENTRE AVE.
PORTAGE, MI 49024
 E-mail caardema@aubinc.com
 Telephone 269-323-2022 Fax 269-323-2484
 Interest in Property OWNER

Oshtemo Charter Township
 7275 W MAIN ST
 KALAMAZOO, MI 49009
 Phone : 269-375-4260
 OSHTEMOTOWNSHIP.ORG

Received From: JOSEPH GESMUNDO TRUST
 Date: 02/05/2016 Time: 8:35:32 AM
 Receipt: 121669
 Cashier: Deanna J

OWNER*:

Name _____
 Address _____
 Email _____
 Phone & Fax _____

ITEM REFERENCE	AMOUNT
1042 PLANNING ESCROW	
PLANNING ESCROW	\$1,000.00
TOTAL	\$1,000.00
CHECK 6505	\$1,000.00
Total Tendered:	\$1,000.00
Change:	\$0.00

NATURE OF THE REQUEST: (Please check the appropriate item)

- Planning Escrow-1042
- Site Plan Review-1088
- Administrative Site Plan Review-1086
- Special Exception Use-1085
- Zoning Variance-1092
- Site Condominium-1084
- Accessory Building Review-1083
- Interpretation-1082
- Text Amendment-1081
- Sign Deviation-1080
- Other: _____

BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary): _____

PLEASE SEE ATTACHED LETTER

CORNER @ DRAKE B, LLC

4 February 2016

Julie Johnston, Planning Director
Oshtemo Charter Township
7275 W. Main Street
Kalamazoo, Michigan 49009

RE: Site Plan Application for Corner Shoppes @ Drake

Dear Julie:

We've enjoyed working with Oshtemo Township over the past few years on the development of Corner @ Drake, which is now home to Costco, Field & Stream, and Consumers Credit Union. New facilities for Kellogg Community Federal Credit Union and Old National Bank are also planned to begin construction in the next few months. We are excited about the latest project within the development, the Corner Shoppes @ Drake. This project will include two new multi-tenant retail buildings located along Drake Road.

In keeping with the theme of Corner @ Drake, the Shoppes project will incorporate unique architecture and high-quality materials. The buildings will feature a contemporary design that complements the landmark stone wall located at the corner of Stadium Drive and Drake Road. It's anticipated that the two buildings will house a mixture of potential businesses, including restaurants and specialty retailers. Each of the Corner Shoppes @ Drake buildings are anticipated to total 10,000 square feet in size.

We look forward to this next project within Corner @ Drake, and please feel free to contact me with any questions.

Thank You.

Sincerely,

Joe Gesmundo
269.323.2022

LEGAL DESCRIPTION

Parcel 'B' Description

Part of the Northeast 1/4 of Section 25, Town 2 South, Range 12 West, Oshtemo Township, Kalamazoo County, Michigan, described as: Commencing at the Northeast corner of said Section 25; thence South 01°08'26" West along the East line of said section a distance of 159.18 feet; thence South 89°52'50" West a distance of 50.01 feet to the Westerly right-of-way of Drake Road (100 feet wide, public) and the POINT OF BEGINNING; thence South 01°08'26" West along said right-of-way a distance of 645.26 feet; thence North 88°51'34" West a distance of 304.51 feet; thence North 00°00'00" West a distance of 638.41 feet; thence North 89°52'50" East a distance of 317.30 feet to the POINT OF BEGINNING. Containing 4.580 acres or 199,526 square feet. Subject to easements, rights-of-way, and restrictions of record, if any.

Site Plan Submittal

CORNER SHOPPES

OWNER



AVB
4200 W. CENTRE AVENUE
PORTAGE, MI 49024
269.323.2022

CONSTRUCTION MANAGER

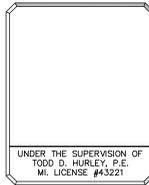


AVB
4200 W. CENTRE AVENUE
PORTAGE, MI 49024
269.323.2022

PLANS PREPARED BY:



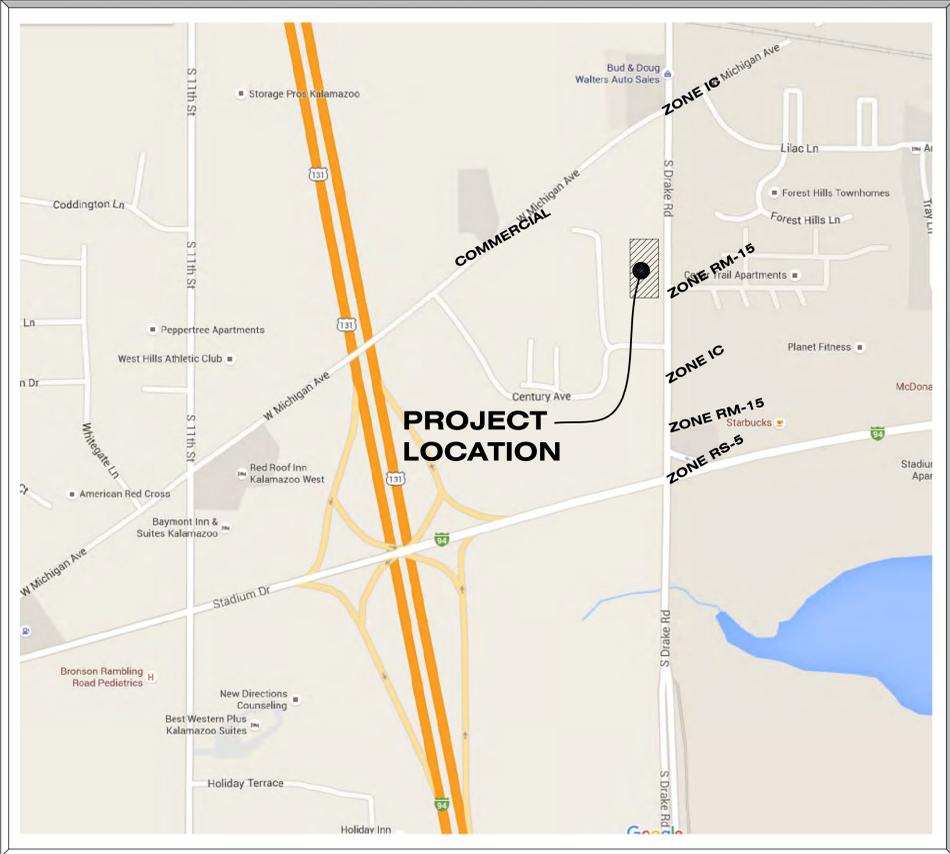
hurley & stewart, llc
2800 s 11th street
kalamazoo, michigan 49009
269.552.4960 fax 552.4961
www.hurleystewart.com



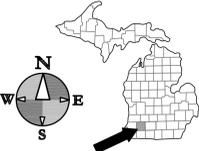
UTILITY CONTACTS:

- | | |
|--|-----------------|
| CONSUMERS ENERGY CO.
JESSE BURNS
2500 E. CORK STREET
KALAMAZOO, MI 49001
269.337.2311 | ELECTRIC |
| CONSUMERS ENERGY CO.
STEVEN WEEKLY
2500 E. CORK STREET
KALAMAZOO, MI 49001
810.760-3263 | GAS |
| CITY OF KALAMAZOO
STEVE SKALSKI/RYAN STOUGHTON
415 STOCKBRIDGE AVENUE
KALAMAZOO, MI 49001
269.337.8736 | WATER/SANITARY |
| CHARTER
JEFF LAKE
2919 MILLCORK ST.
KALAMAZOO, MI 49001
269.625.7403 | TELEPHONE/CABLE |
| COMCAST
1(800)391-3000 | CABLE TV |
| OSHTEMO TOWNSHIP
BEN CLARK
7275 W. MAIN ST
KALAMAZOO, MI 49009
269.216.5231 | TOWNSHIP |

**Oshtemo Township
Kalamazoo County, MI
02/04/16**



SITE LOCATION MAP
SCALE: 1" = 1000'



DRAWING INDEX

- | SHT # | DESCRIPTION |
|-------|---------------------------|
| C-1 | EXISTING COND - DEMO PLAN |
| C-2 | SITE LAYOUT PLAN |
| C-3 | UTILITY PLAN |
| C-4 | GRADING - SESC PLAN |
| C-5 | DETAILS |
| C-6 | DETAILS |
| C-7 | OVERALL STORM WATER PLAN |
| L-1 | SITE LANDSCAPE PLAN |
| L-2 | LIGHTING PLAN |
| KCFCU | BUILDING ELEVATION |

LEGEND

	PROPOSED CONTOUR HIGHLIGHTED		EXISTING CONTOUR HIGHLIGHTED
	PROPOSED CONTOUR NORMAL		EXISTING CONTOUR NORMAL
	PROPOSED SANITARY SEWER		EXISTING SANITARY SEWER
	PROPOSED STORM SEWER		EXISTING STORM SEWER
	PROPOSED CATV		EXISTING CATV
	PROP ELEC (OVERHEAD)		EXIST ELEC (OVERHEAD)
	PROP ELEC (UNDERGROUND)		EXIST ELEC (UNDERGROUND)
	PROPOSED FIBEROPTIC CABLE		EXISTING FIBEROPTIC CABLE
	PROPOSED GAS		EXISTING GAS
	PROPOSED TELEPHONE		EXISTING TELEPHONE
	PROPOSED WATER MAIN		EXISTING WATER MAIN
	PROPOSED TREELINE		EXISTING TREELINE
	PROPOSED FENCE		EXISTING FENCE
	CURB CATCH BASIN		GAS METER
	SQUARE CATCH BASIN		TELEPHONE MANHOLE
	ROUND CATCH BASIN		TELEPHONE PEDESTAL
	MANHOLE STORM		TELEPHONE POLE
	MANHOLE SANITARY		PROPOSED SPOT GRADE
	SANITARY CLEANOUT		EXISTING SPOT GRADE
	FIRE HYDRANT		BENCH MARK
	WATER VALVE		POST/BOLLARD
	WATER VALVE IN VAULT		SIGN
	WATER METER		MAILBOX
	WATER REDUCER		SOIL BORING
	LIGHT POLE		MONITOR WELL
	POWER POLE		
	GUY WIRE		
	ELECTRIC MANHOLE		
	ELECTRIC METER		

NOTE: ALL SYMBOLS IN THIS LEGEND ARE SHOWN AS EXISTING. PROPOSED SYMBOLS WILL USE THE CORRESPONDING SYMBOL WITH A THICKER LINE.



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FIELD WORK PERFORMED BY:
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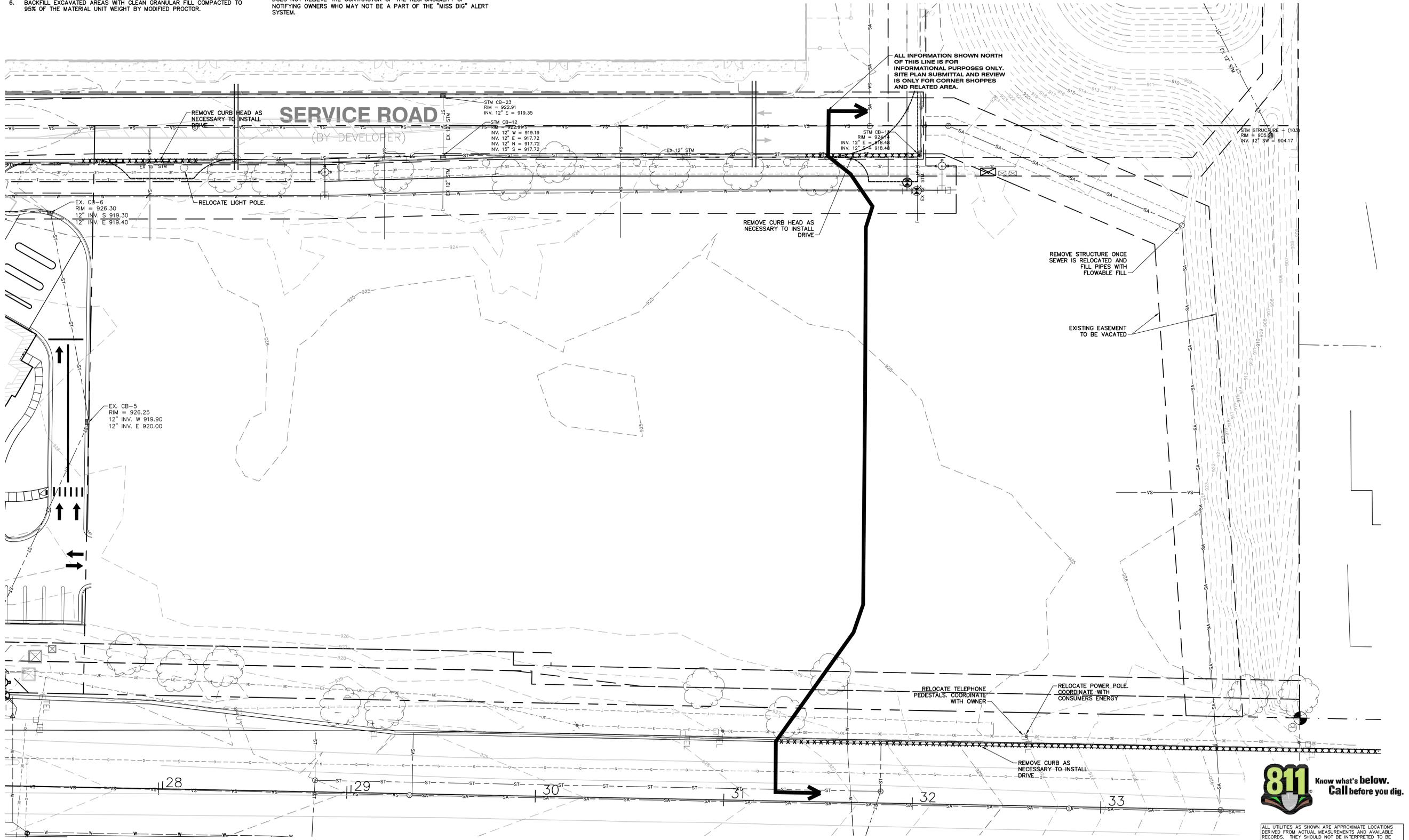
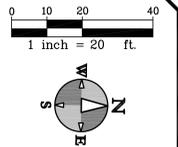
ISSUED FOR:
SITE PLAN SUBMITTAL
02/04/16

REMOVAL NOTES

- REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP LINE.
- ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH OSHA REGULATIONS INsofar AS THEY APPLY TO THE REQUIRED WORK. SOIL EROSION AND SEDIMENTATION CONTROL ITEMS SHALL BE IN PLACE PRIOR TO DEMOLITION.
- THE CONTRACTOR SHALL REMOVE AND CLEAR ALL TREES, BRUSH, FENCES, BUILDINGS, CURB, AND ASPHALT AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- ALL DEMOLITION MATERIAL SHALL BE PROPERLY REMOVED FROM THE SITE AND DISPOSED OF IN A LEGALLY DESIGNATED DISPOSAL AREA. PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE EXISTING BUILDINGS, IN THEIR ENTIRETY, INCLUDING WALLS, FOUNDATIONS AND FOOTINGS. ALL BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
- COMPLY WITH ALL ASPECTS OF THE SOIL EROSION CONTROL PERMIT AS ISSUED BY KALAMAZOO COUNTY. ALL TEMPORARY CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.
- ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER/OWNER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S COST.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT PRIOR TO OR DURING CONSTRUCTION, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL WORK REQUIRING PERSONS OR VEHICLES WITHIN MDOT AND CITY OF KALAMAZOO R/W AND TRAFFIC CONTROL DEVICES AND PROCEDURES SHALL BE IN ACCORDANCE WITH THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ITEM 812 (MAINTAINING TRAFFIC) OF THE CONSTRUCTION MATERIALS AND SPECIFICATIONS, CURRENT EDITIONS.
- FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

REMOVALS LEGEND

- X-X-X-X-X- CURB REMOVAL
- ////// SAWCUT
- ▨ PAVEMENT/SIDEWALK REMOVAL
- EASEMENT TO BE VACATED
- X-X-X-X-X- UTILITY LINE REMOVAL
- ⊙ TREE REMOVAL
- Ⓡ REMOVE
- Ⓢ SALVAGE
- LIMITS OF CONSTRUCTION



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EXISTING COND - DEMO PLAN
CORNER SHOPPES
AVB

Job No. 15-056D P.M. Date: 01/02/16
 ISSUED FOR REVISIONS: 02/04/16
 SITE PLAN SUBMITTAL

Sheet Title: C-1
 Project: 02/04/16
 Client:

AVB, LLC
 4200 W. CENTRE AVENUE
 PORTAGE, MI 49024
 269.323.2022

hurley & stewart, llc
 2800 south 11th street
 Kalamazoo, michigan 49009
 269.552.4960 fax 269.552.4961
 www.hurleyandstewart.com

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ZONING REQUIREMENTS

ZONING
THE SITE IS ZONED C - COMMERCIAL

PROPOSED USE
MIXED USE & BANK

PARKING
TOTAL PARKING SPACES REQUIRED PER ORDINANCE 68.400:
KFCU BANK:
1 SPACE / 150 SFT = 4,476 SFT X 88% / 150 SFT = 26 SPACES
MIXED USE #1:

6,500 SFT RETAIL:
1 SPACE / 150 SFT = 6,500 SFT X 88% / 150 SFT = 38 SPACES
3,500 SFT RESTAURANT:
1 SPACE / 70 SFT = 3,500 SFT X 88% / 70 SFT = 44 SPACES

MIXED USE #1:
6,500 SFT RETAIL:
1 SPACE / 150 SFT = 6,500 SFT X 88% / 150 SFT = 38 SPACES
3,500 SFT RESTAURANT:
1 SPACE / 70 SFT = 3,500 SFT X 88% / 70 SFT = 44 SPACES

TOTAL PARKING ALLOWED PER ORDINANCE 68.400 = 190 SPACES
TOTAL PARKING ALLOWED PER ORDINANCE 68.300K = 190 SPACES X 110%
TOTAL PARKING PROVIDED = 208 SPACES

BARRIER FREE SPACES REQUIRED = 7 SPACES
BARRIER FREE SPACES = 7 SPACES PROVIDED
ALL BARRIER FREE SPACES DESIGNED PER ADA REQUIREMENTS

TYPICAL PARKING SPACE DIMENSION = 10'X20' & 9'X18'

INTERIOR LANDSCAPING

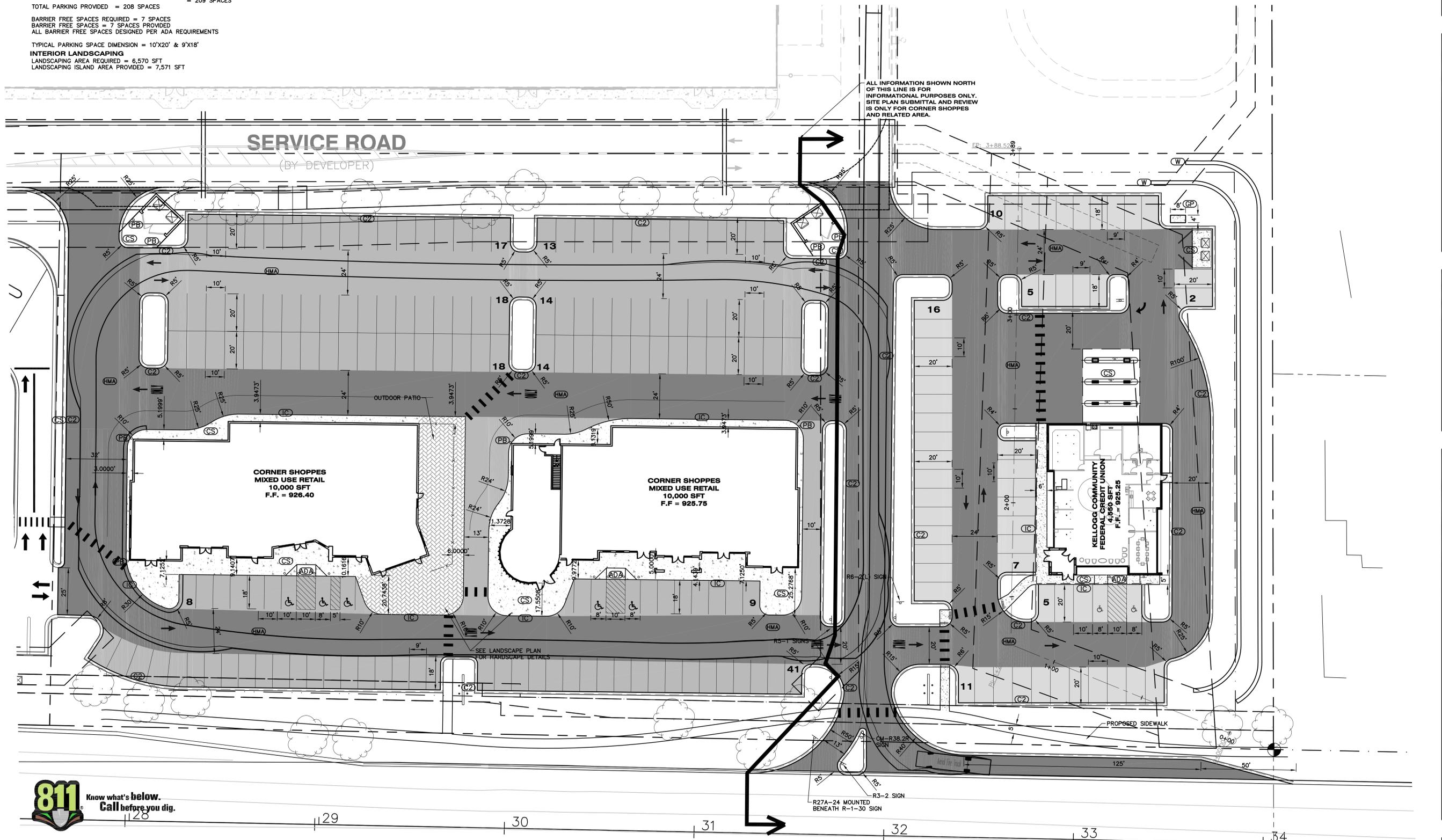
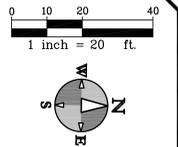
LANDSCAPING AREA REQUIRED = 6,570 SFT
LANDSCAPING ISLAND AREA PROVIDED = 7,571 SFT

LEGEND

- [Symbol] LIGHT DUTY HMA PAVEMENT
- [Symbol] HEAVY DUTY HMA PAVEMENT
- [Symbol] CONCRETE
- [Symbol] HARDSCAPE
- [Symbol] HMA PAVEMENT
- [Symbol] C2 CURB AND GUTTER
- [Symbol] CONCRETE SURFACE
- [Symbol] INTEGRAL CURB WALK
- [Symbol] PARKING STRIPING
- [Symbol] WALL
- [Symbol] ADA RAMP SEE DETAIL
- [Symbol] PIPE BOLLARD SEE DETAIL
- [Symbol] SIDEWALK RAMP SEE DETAIL
- [Symbol] CONCRETE GENERATOR PAD

NOTES

1. ALL DIMENSIONS SHOWN ARE TO THE EDGE OF METAL.
2. PROVIDE CURB CUTS/RAMPS AT ALL BARRIER FREE ACCESS POINTS.
3. PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND MICHIGAN BARRIER FREE CODE AND FIELD AND STREAM CRITERIA ATTACHED.
4. MATCH EXISTING CURB & GUTTER SECTIONS WHEN CONNECTING TO THEM.
5. EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2003 EDITION AND FIELD AND STREAM CRITERIA.
6. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
7. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
8. ALL EXTERIOR CONCRETE SHALL BE 4000PSI, AIR ENTRAINED, LIMESTONE AGGREGATE, BROOM FINISHED, CURING SEAL.
9. ANY BITUMINOUS OR CONCRETE PAVEMENT, SANITARY SEWER, SANITARY SEWER SERVICE LEADS, OR STORM SEWER, WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.



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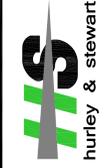


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Job No. 15-058D P.M. DIT. 01/02/16
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**SITE LAYOUT PLAN
CORNER SHoppes
AVB**

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Project:
Client:
02/04/16
Sheet

C-2

UTILITY NOTES

1. PLACE SANITARY CLEANOUT EVERY 100' AND/OR AT BENDS ON ALL 6" SANITARY SEWER LEADS.
2. ALL STRUCTURE CASTINGS TO BE EAST JORDAN IRON WORKS OR APPROVED EQUAL. SEE STRUCTURE TABLE FOR SPECIFIC CASTING AT EACH STRUCTURE.
3. COORDINATE ALL UTILITY LOCATIONS AND ELEVATIONS WITH MECHANICAL DRAWINGS AND BUILDING CONTRACTOR PRIOR TO INSTALLATION.
4. REMOVE SEDIMENT FROM ALL STRUCTURES ONCE PAVING IS COMPLETE AND REMOVE SILT SACKS.
5. SITE CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL UTILITIES TO 5' FROM BUILDING WALL.
6. THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
7. CONSTRUCT, CERTIFY, AND TEST ALL WATER AND SANITARY SEWER TO OSHTOMO TOWNSHIP AND CITY OF KALAMAZOO STANDARDS.
8. VERIFY ALL UTILITY CONNECTION POINTS PRIOR TO COMMENCING CONSTRUCTION.
9. VERIFY NUMBER OF FITTINGS PRIOR TO ORDERING. TOTALS DO NOT INCLUDE VERTICAL DEFLECTIONS THAT MAY BE NEEDED.
10. PROVIDE 18" WATER MAIN SEPARATION WHEN CROSSING OTHER UTILITIES. DEFLECT UNDER OTHER UTILITIES W/O USING FITTINGS WHENEVER POSSIBLE.

STORM SEWER STRUCTURE SCHEDULE

STR. #	RIM EL.	DIAM.	CASTING	PIPES IN:	PIPES OUT
CB #1A	923.04	4'	5105 M1	12" N: 918.21	12" SE: 918.21
CB #2A	923.37	4'	5105 M1 T1	12" NE: 918.21	12" S: 918.21
CB #4B	923.38	4'	Standard	24" N: 918.66 24" E: 918.66	24" SW: 918.66
CB #9A	925.31	4'	5105 M1	12" SE: 918.21	12" W: 918.21
CB #11A	923.71	4'	5105 M1	12" S: 918.21	12" NE: 918.21
CCB-5B	923.24	4'	7045 M1 T1	24" E: 918.66	24" S: 918.66
CCB #1B	923.59	4'	7045 M1 T1	24" NE: 918.66	24" W: 918.66
CCB #2B	923.32	4'	7045 M1 T1	24" NW: 918.66	24" SE: 918.66
CCB #3B	923.74	4'	7045 M1 T1	24" W: 918.66	24" SE: 918.66
CCB #4A	924.90	4'	7045 M1 T1	12" E: 918.21	12" W: 918.21
CCB #5A	924.87	4'	7045 M1 T1	12" SE: 918.21	12" W: 921.25

STORM SEWER STRUCTURE SCHEDULE

STR. #	RIM EL.	DIAM.	CASTING	PIPES IN:	PIPES OUT
CCB #8A	925.40	4'	5105 M1	12" E: 918.21	12" SW: 918.21
CCB #10A	924.09	4'	7045 M1 T1	12" NW: 918.21	12" W: 918.21
CCB #12A	925.55	4'	7045 M1 T1	12" E: 918.21	12" N: 918.21
CCB #13A	926.02	2'	7045 M1 T1		12" W: 918.21
CCB #14A	923.88	4'	7045 M1 T1		12" NW: 918.21
CCB #19B	923.00	4'	7045 M1 T1	24" SE: 918.66	
MH #3A	924.11	4'	1040 A	12" E: 918.21	12" SW: 918.21
MH #7B	924.28	4'	1040 A	12" E: 918.66	12" W: 918.66
OS A *	925.38	4'	1040 A	12" SW: 918.21 12" NW: 918.21 12" NE: 918.21	12" W: 918.21
OS B *	925.50	6'	1040 A	24" NE: 918.66	24" NW: 918.66 12" W: 918.66

* OUTLET CONTROL STRUCTURE (SEE DETAIL)

SANITARY SEWER STRUCTURE SCHEDULE

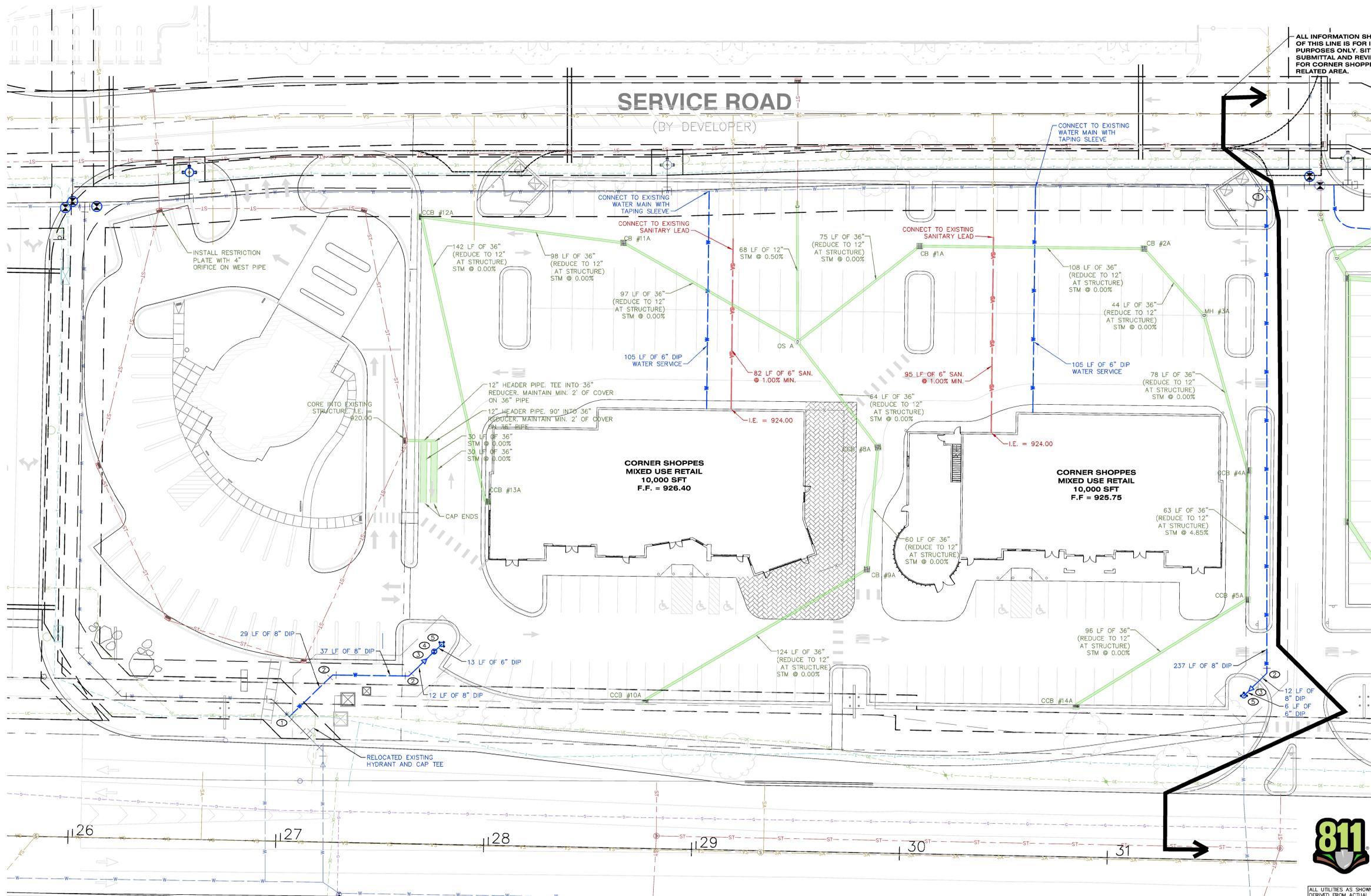
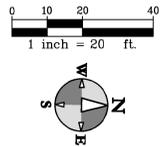
STR. #	RIM EL.	DIAM.	CASTING	PIPES IN:	PIPES OUT
SMH #15B	924.47	4'	1045 A	8" S: 910.42	8" E: 910.90
SMH #17B	924.15	4'	1045 A	8" W: 911.00	8" N: 910.90
SMH #18B	924.01	4'	1045 A	8" S: 910.90	8" E: 912.00

WATER MAIN FITTING SCHEDULE

FITTING NUMBER	DESCRIPTION	TOTAL THIS SHEET
1	8"x8"x8" TAP SLEEVE & VALVE	2
2	8" 45° BEND	3
3	8"x6" REDUCER	2
4	8" GATE VALVE	1
5	HYDRANT ASSEMBLY	2

NOTE: METER LOCATIONS ARE APPROXIMATE AND SHOULD BE VERIFIED WITH CITY OF PORTAGE.
LEGEND

WATER MAIN DEFLECTION, PROVIDE 18" SEPARATION. NOTE: FITTINGS FOR WATER MAIN DEFLECTIONS ARE NOT SHOWN IN TABLE.



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UTILITY PLAN
CORNER SHOPPES
AVB

Sheet Title:
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Client:
02/04/16
Sheet

C-3

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

KEY	DETAIL	CHARACTERISTICS
6	Seeding with Mulch and/or Matting	Facilitates establishment of vegetative cover. Effective for drainage areas with low velocity. Easily placed in small quantities by experienced personnel. Should include prepared topsoil bed.
15	Paving	Protects areas which cannot otherwise be protected, but increases runoff volume and velocity. Irregular surface will help slow velocity.
16	Curb and Gutter	Keeps high velocity runoff on paved areas from leaving paved surface. Collects and conducts runoff to enclosed drainage system or prepared drainage way.
35	Storm Sewer	System removes collected runoff from site, particularly from paved areas. Can accept large concentrations of runoff. Conducts runoff to municipal sewer system or stabilized out fall location. Use catch basins to collect sediment.
36	Catch Basin, Drain Inlet	Collects high velocity concentrated runoff. May use filter cloth over inlet.
54	Geotextile Silt Fence	Use geotextile and posts or poles. May be constructed for stabilization. Easy to construct and locate as necessary.

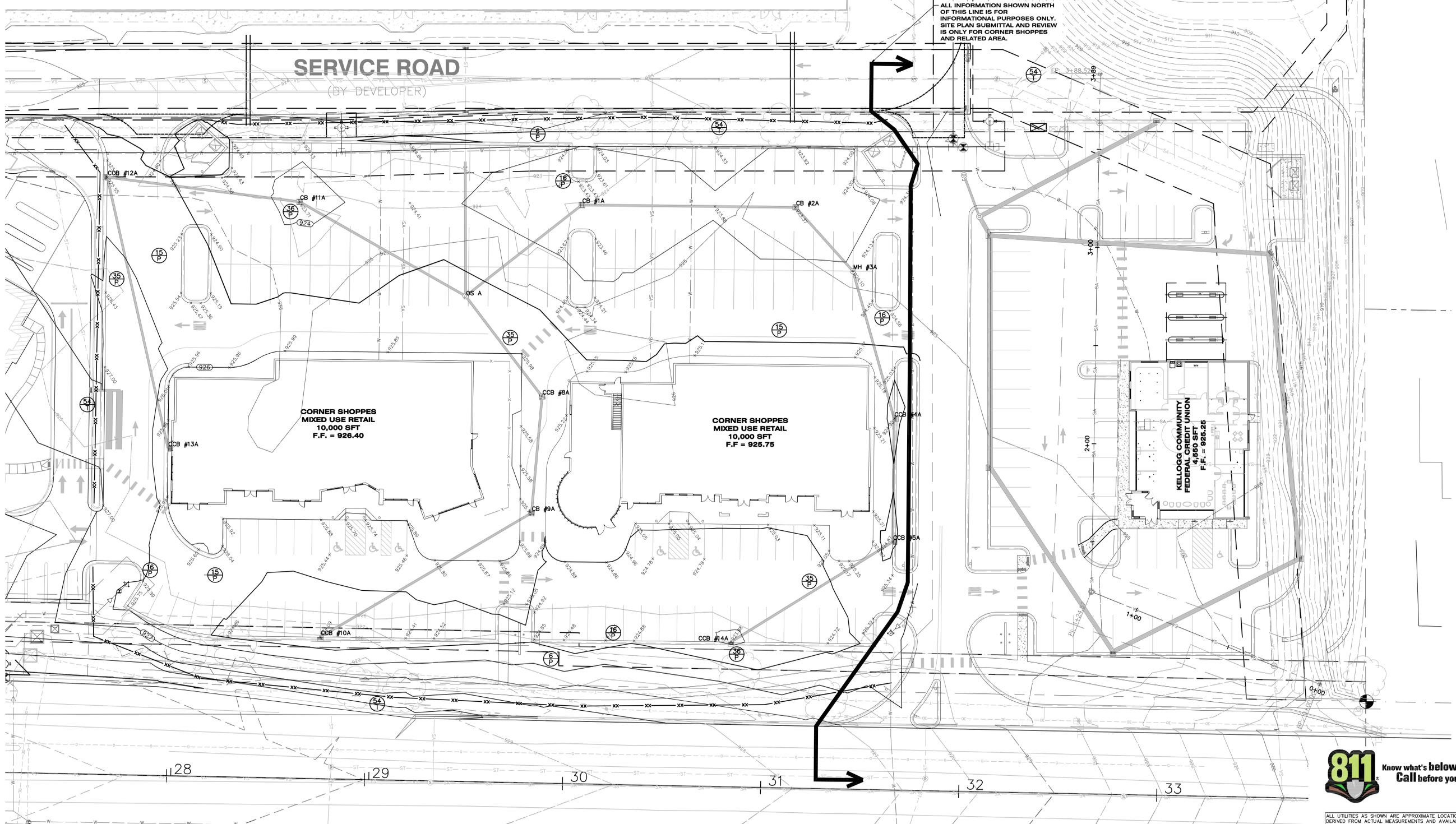
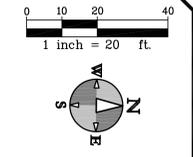
⊗ TEMPORARY MEASURE
⊙ PERMANENT MEASURE

SESC NOTES

- ALL WORK WILL COMPLY WITH THE PROVISIONS OF THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (PA 347 OF 1972 AS AMENDED) ADMINISTERED BY KALAMAZOO COUNTY.
- AVOID UNNECESSARY DISTURBING OR REMOVING EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE AREAS ACT AS SEDIMENT FILTERS.
- ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEANUP AND APPROVAL. PERMANENT SOIL EROSION CONTROLS ARE REQUIRED WITHIN 5 DAYS OF ESTABLISHING FINAL GRADE.
- NO SITE WORK SHALL BEGIN UNTIL THE SILT FENCE IS INSTALLED.
- ALL SOIL PILES SHALL BE SURROUNDED BY SILT FENCE IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 7 DAYS. TOPSOIL PILES SHALL BE SEEDED IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 20 DAYS. SPOIL PILES SHALL NOT BE PLACED WITHIN 50' FROM ANY TEMPORARY OR PERMANENT WATERCOURSE.
- THE CONTRACTOR SHALL COMPLY WITH THE WEEKLY RECOMMENDATIONS OF THE CERTIFIED STORM WATER OPERATOR.
- ALL INLETS IN PAVED AREAS SHALL HAVE SILT SAVER SEDIMENTATION REDUCERS DURING CONSTRUCTION.
- SEE LANDSCAPE PLANS FOR FINAL GRADING AND TREATMENT ON LANDSCAPED AREAS.
- PLACE TRACK MATS AT ALL CONSTRUCTION ENTRANCES TO REDUCE MATERIAL TRACKED OFF SITE. TRACK MATS SHALL BE 15' X 50' CONSTRUCTED OF 2-6" CRUSHED CONCRETE OR ANGULAR STONE. MAINTAIN AND REPLACE AS NEEDED TO PREVENT SOIL TRANSFER OFF SITE.

GRADING NOTES

- MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN. MATCH AT 1 ON 3 IF NOT LABELED.
- THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) TOP OF CURB AND TOP OF FINISHED SURFACE UNLESS OTHERWISE NOTED.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT.
- ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
- REMOVE AND REPLACE WITH CONTROLLED FILL ANY AREAS THAT HAVE BEEN SOFTENED BY RAINS, FREEZING, CONSTRUCTION EQUIPMENT, ETC.
- ALL REQUIRED FILL FOR THIS PROJECT SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER OR CLASS II GRANULAR MATERIAL FROM BORROW AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL GRANULAR FILL UNDER THE INFLUENCE OF THE ROADWAY AND PROCESSED ROAD GRAVEL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- ALL COMPACTION SHALL BE ACCOMPLISHED BY PLACING THE FILL IN 12" LOOSE LIFTS AND MECHANICALLY COMPACTING EACH LIFT TO AT LEAST THE SPECIFIED MINIMUM DRY DENSITY. FIELD DENSITY TESTS SHOULD BE PERFORMED ON EACH LIFT AS NECESSARY TO ENSURE THAT ADEQUATE
- MOISTURE CONDITIONS AND COMPACTION ARE BEING ACHIEVED. SITE CONTRACTOR SHALL REMOVE AND STOCKPILE ALL TOPSOIL AND BLACK ORGANIC SOILS ON-SITE TO BE USED IN THE RE-GRADING OF LANDSCAPE AREAS. THIS MATERIAL IS NOT TO BE USED FOR FILL OR PAVEMENT SUB-BASE. SEE BORROW PIT LOCATION.
- CONTRACTOR RESPONSIBLE FOR VERIFYING EARTHWORK CALCULATIONS PRIOR TO COMMENCING WORK. NO EXTRA EARTHWORK WILL BE PAID FOR ONCE EARTHWORK HAS BEGUN. ANY DISCREPANCIES WITH THE EARTHWORK CALCULATIONS SHALL BE REVIEWED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REVISION MAY OCCUR.
- THE ENTIRE STORM SYSTEM SHALL BE VISUALLY MONITORED MONTHLY AND INSPECTED SEMI-ANNUALLY WITH ALL SUMPS VACUUMED AS NEEDED AND BASIN BOTTOM SEDIMENT REMOVED.



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GRADING - SESC PLAN
CORNER SHOPPES
AVB

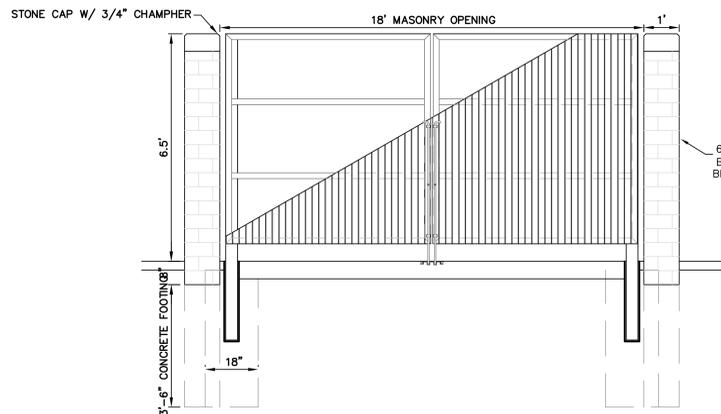
Job No. 15-058D P.M. --- Q1/QC 02/04/16
 ISSUED FOR REVISIONS: 02/04/16
 SITE PLAN - SUBMITTAL

AVB, LLC
 4200 W. CENTRE AVENUE
 PORTAGE, MI 49024
 269.323.2022

hurley & stewart, llc
 2800 south 11th street
 Kalamazoo, michigan 49009
 269.552.4960 fax 269.552.4961
 www.hurleystewart.com

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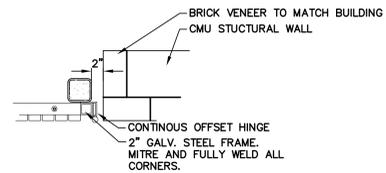
Sheet Title:
 Project:
 Client:
 02/04/16
 Sheet
C-4



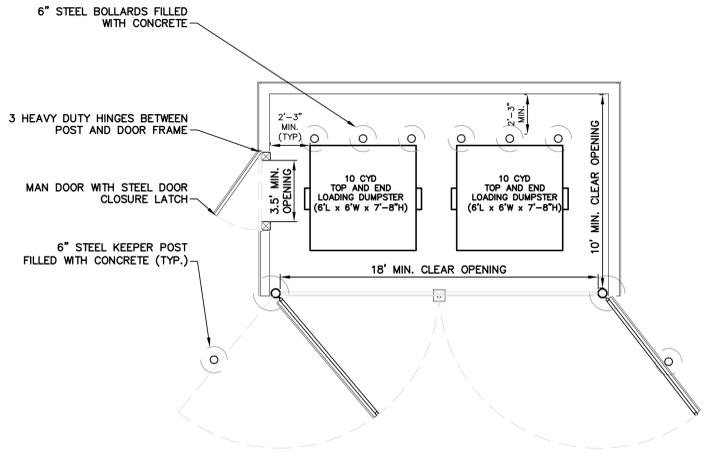
DUMPSTER ENCLOSURE SECTION

NOT TO SCALE

NOTE: DUMPSTER ENCLOSURE TO BE DESIGNED BY ARCHITECT

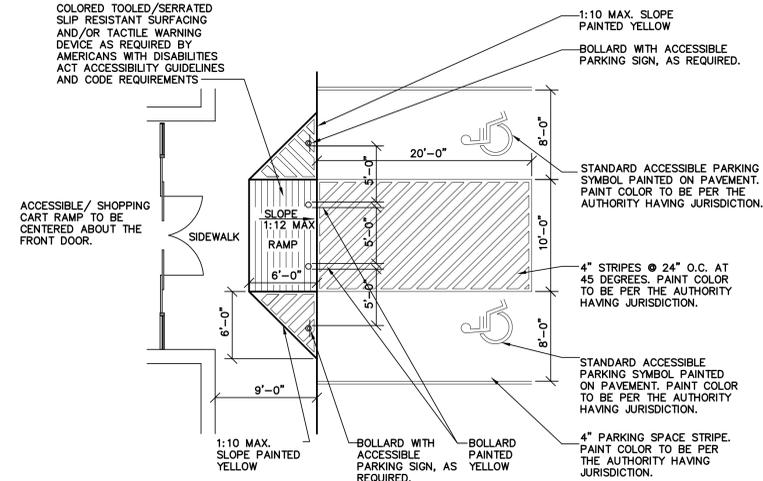


HINGE ENLARGEMENT



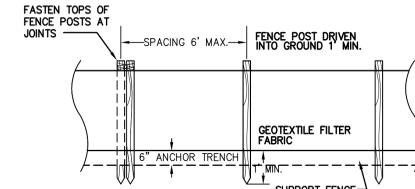
DOUBLE DUMPSTER ENCLOSURE PLAN

SCALE: 1"=4'-0"



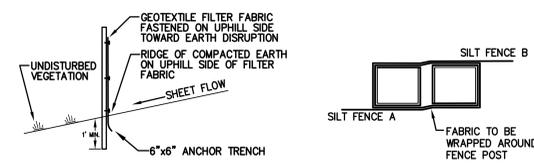
HANDICAP PARKING DETAIL

NO SCALE



FRONT VIEW

NOT TO SCALE

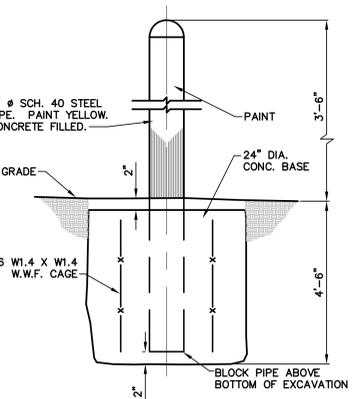


SECTION

NOT TO SCALE

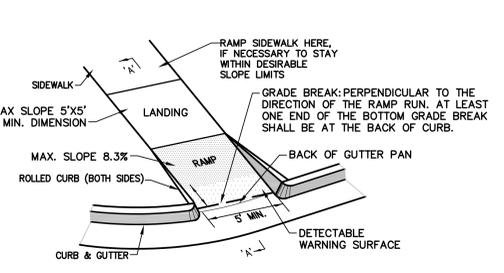
JOINT DETAIL

NOT TO SCALE

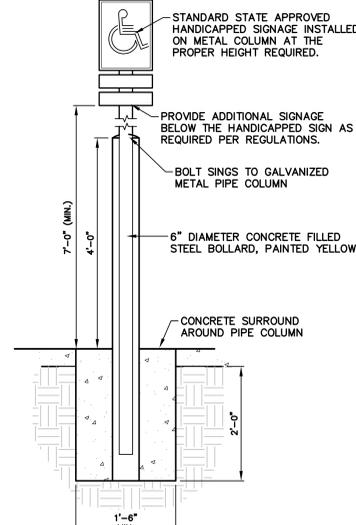


6\"/>

NO SCALE

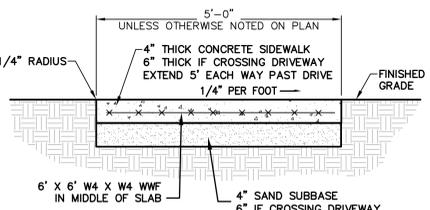


SIDEWALK RAMP TYPE R (ROLLED SIDES)

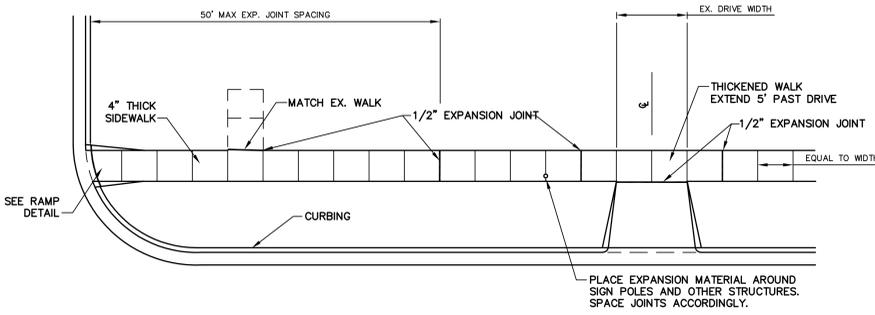


HANDICAP PARKING SIGN DETAIL

NOT TO SCALE



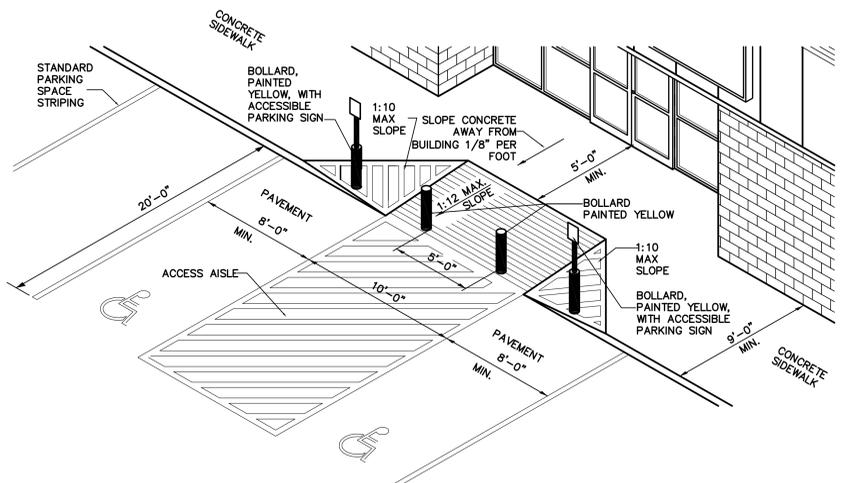
SIDEWALK SECTION



TYPICAL SIDEWALK JOINT LAYOUT

CONCRETE SIDEWALK DETAILS

NO SCALE

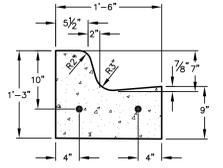


HANDICAP PARKING, ACCESS RAMP AND ACCESS AISLE DETAILS

N.T.S. (CANOPY OMITTED FOR CLARITY)

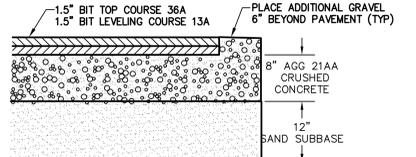
SILT FENCE DETAILS

NOT TO SCALE



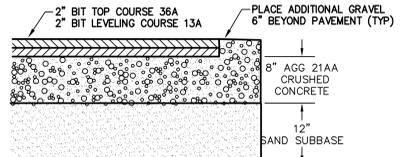
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NOT TO SCALE



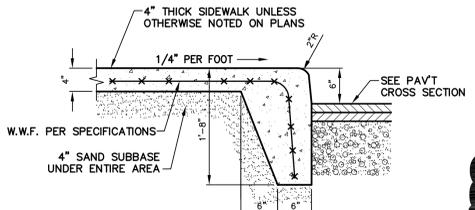
LIGHT DUTY PAVEMENT SECTION

NOT TO SCALE



HEAVY DUTY PAVEMENT SECTION

NOT TO SCALE



INTEGRAL SIDEWALK/CURB

NOT TO SCALE



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AVB, LLC
4200 W. CENTRE AVENUE
PORTAGE, MI 49024
269.323.2022



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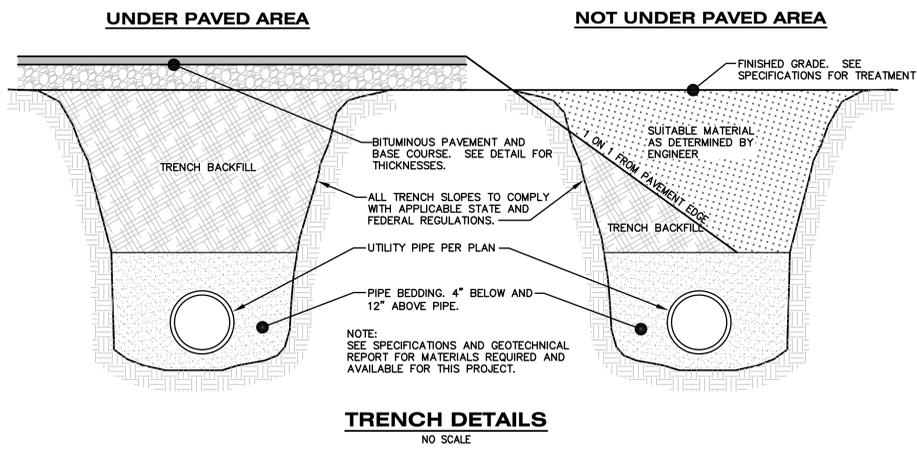
Job No. 15-1058D P.M. --- Q1/QC 02/04/16
ISSUED FOR REVISIONS: 02/04/16
J. STEWART, SUBMITTAL

DETAILS
CORNER SHOPPES
AVB

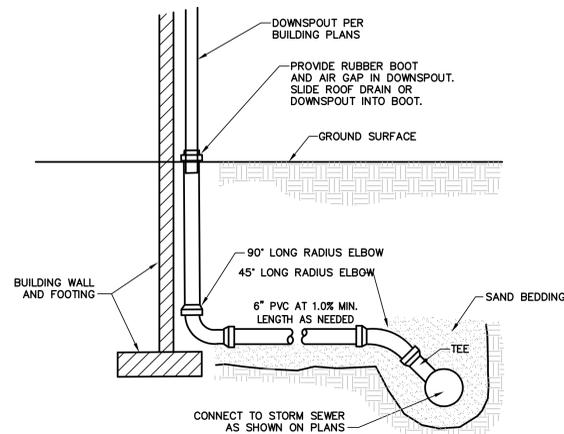
Sheet Title:
Project:
Client:
02/04/16
Sheet

C-5

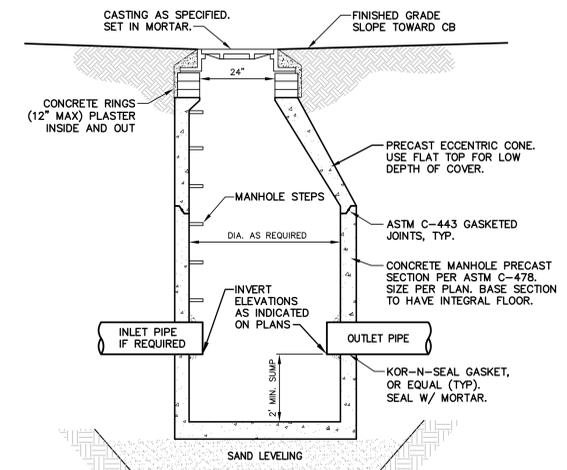
DRAWING LOCATION: H:\15-0584\0200\Draws\870_FINAL_DRAWINGS\15-0584_Draws\15-0584-1-Detail.dwg, LAST SAVED BY: AVB, ON: 2/23/2024



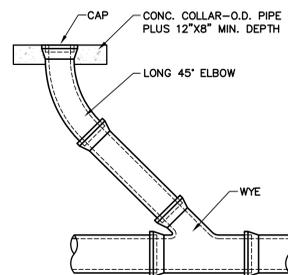
TRENCH DETAILS
NO SCALE



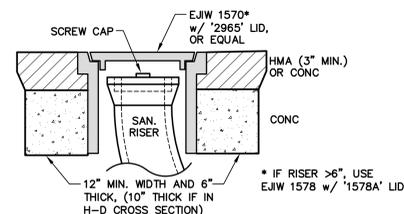
ROOF LEAD/ DOWNSPOUT DETAIL
NO SCALE



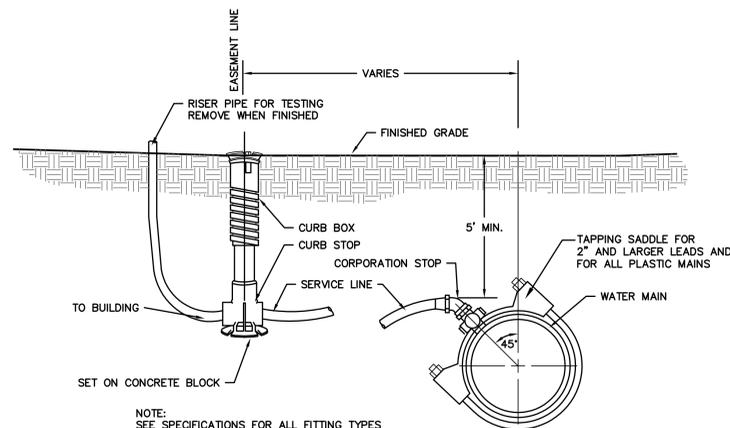
CATCH BASIN DETAIL
NO SCALE



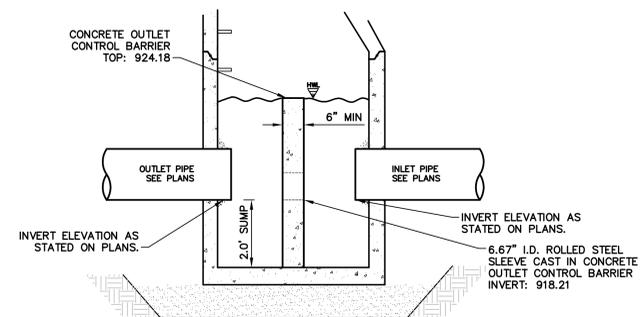
CLEANOUT DETAIL
NO SCALE



CLEANOUT IN PAVEMENT/CONC AREA
NO SCALE



WATER SERVICE DETAIL
NO SCALE



OUTLET CONTROL STRUCTURE OS A
NO SCALE

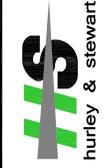


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FIELD WORK PERFORMED BY:
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269.323.2022



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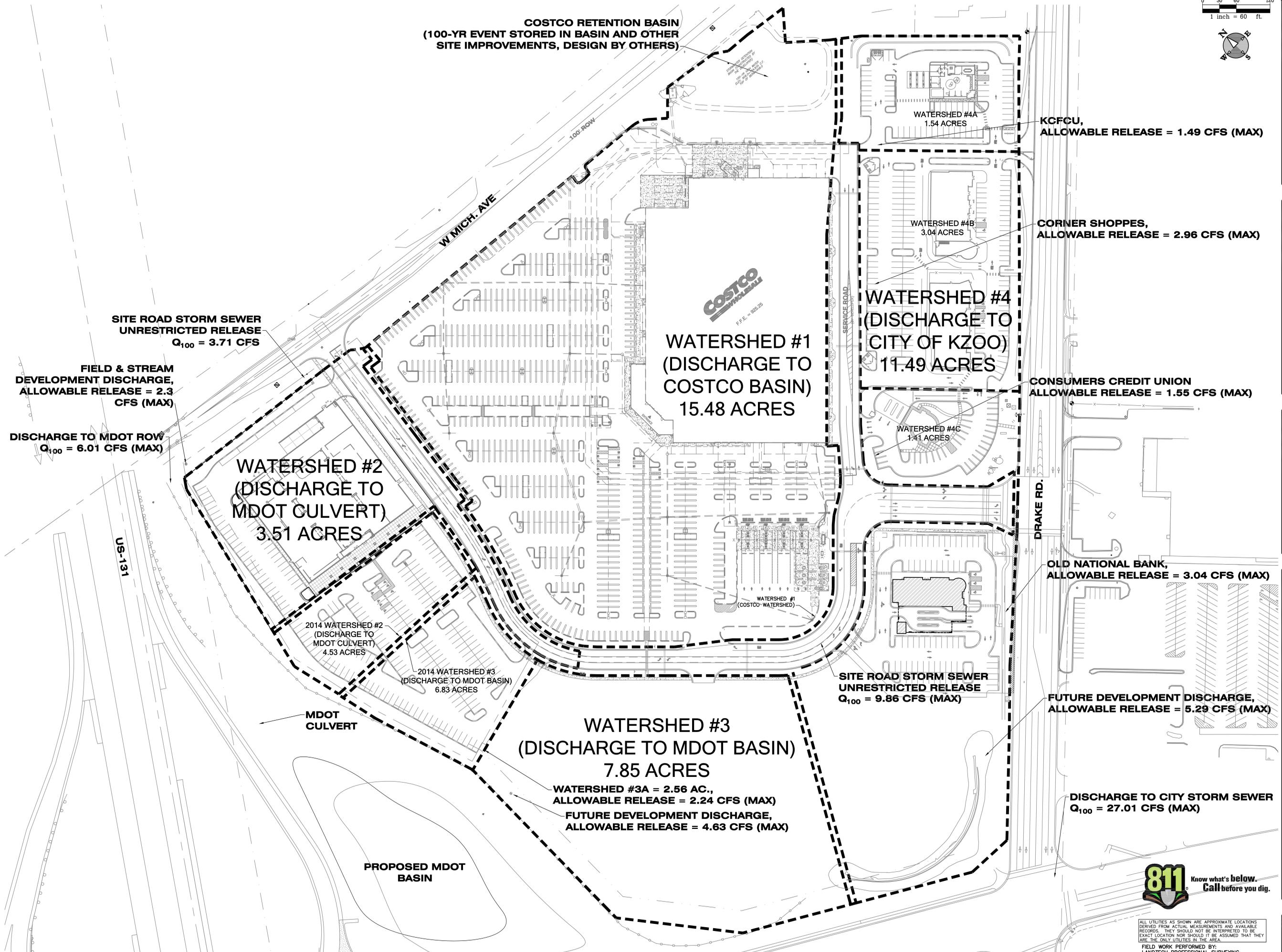
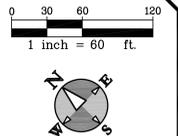


Job No. 15-0584 P.M. Date: 02/04/16
ISSUED FOR REVISIONS: 02/04/16
J. SITE PLAN - SUBMITTAL

DETAILS
CORNER SHOPPES
AVB

Sheet Title:
Project:
Client:
02/04/16
Sheet
C-6

**COSTCO RETENTION BASIN
(100-YR EVENT STORED IN BASIN AND OTHER
SITE IMPROVEMENTS, DESIGN BY OTHERS)**



**SITE ROAD STORM SEWER
UNRESTRICTED RELEASE
 $Q_{100} = 3.71$ CFS**

**FIELD & STREAM
DEVELOPMENT DISCHARGE,
ALLOWABLE RELEASE = 2.3
CFS (MAX)**

**DISCHARGE TO MDOT ROW
 $Q_{100} = 6.01$ CFS (MAX)**

**WATERSHED #2
(DISCHARGE TO
MDOT CULVERT)
3.51 ACRES**

2014 WATERSHED #2
(DISCHARGE TO
MDOT CULVERT)
4.53 ACRES

2014 WATERSHED #3
(DISCHARGE TO MDOT BASIN)
6.83 ACRES

MDOT
CULVERT

**WATERSHED #3
(DISCHARGE TO MDOT BASIN)
7.85 ACRES**

WATERSHED #3A = 2.56 AC.,
ALLOWABLE RELEASE = 2.24 CFS (MAX)

FUTURE DEVELOPMENT DISCHARGE,
ALLOWABLE RELEASE = 4.63 CFS (MAX)

PROPOSED MDOT
BASIN

**WATERSHED #1
(DISCHARGE TO
COSTCO BASIN)
15.48 ACRES**



**WATERSHED #4
(DISCHARGE TO
CITY OF KZOO)
11.49 ACRES**

WATERSHED #4C
1.41 ACRES

WATERSHED #4A
1.54 ACRES

WATERSHED #4B
3.04 ACRES

**SITE ROAD STORM SEWER
UNRESTRICTED RELEASE
 $Q_{100} = 9.86$ CFS (MAX)**

**KCFCU,
ALLOWABLE RELEASE = 1.49 CFS (MAX)**

**CORNER SHOPPES,
ALLOWABLE RELEASE = 2.96 CFS (MAX)**

**CONSUMERS CREDIT UNION
ALLOWABLE RELEASE = 1.55 CFS (MAX)**

**OLD NATIONAL BANK,
ALLOWABLE RELEASE = 3.04 CFS (MAX)**

**FUTURE DEVELOPMENT DISCHARGE,
ALLOWABLE RELEASE = 5.29 CFS (MAX)**

**DISCHARGE TO CITY STORM SEWER
 $Q_{100} = 27.01$ CFS (MAX)**



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RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE
EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY
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FIELD WORK PERFORMED BY:
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AVB, LLC
4200 W. CENTRE AVENUE
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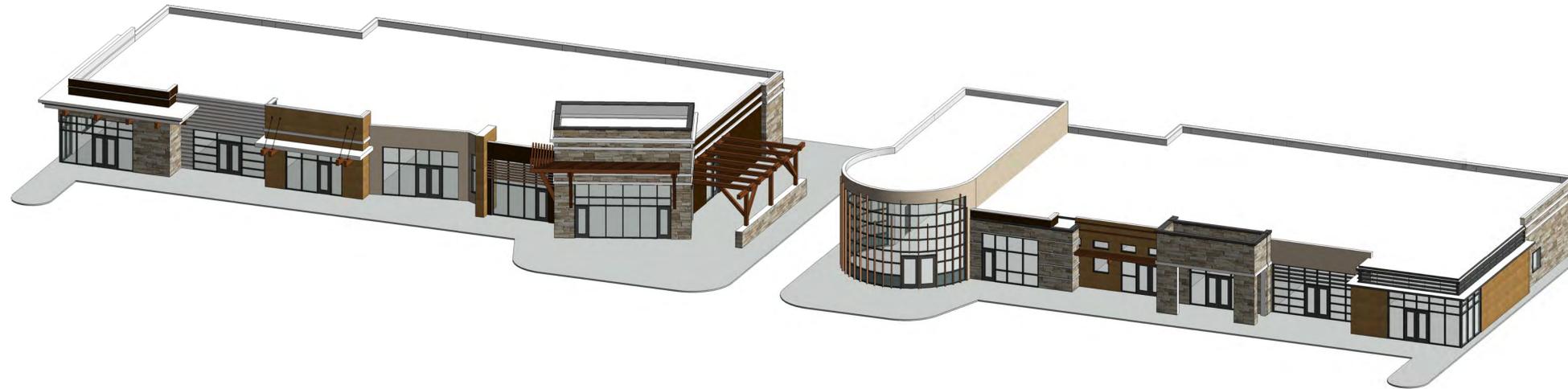


Job No. 15-058D P.M. Date: 01/02/16
ISSUED FOR REVISIONS: 02/04/16
1 SITE PLAN SUBMITTAL
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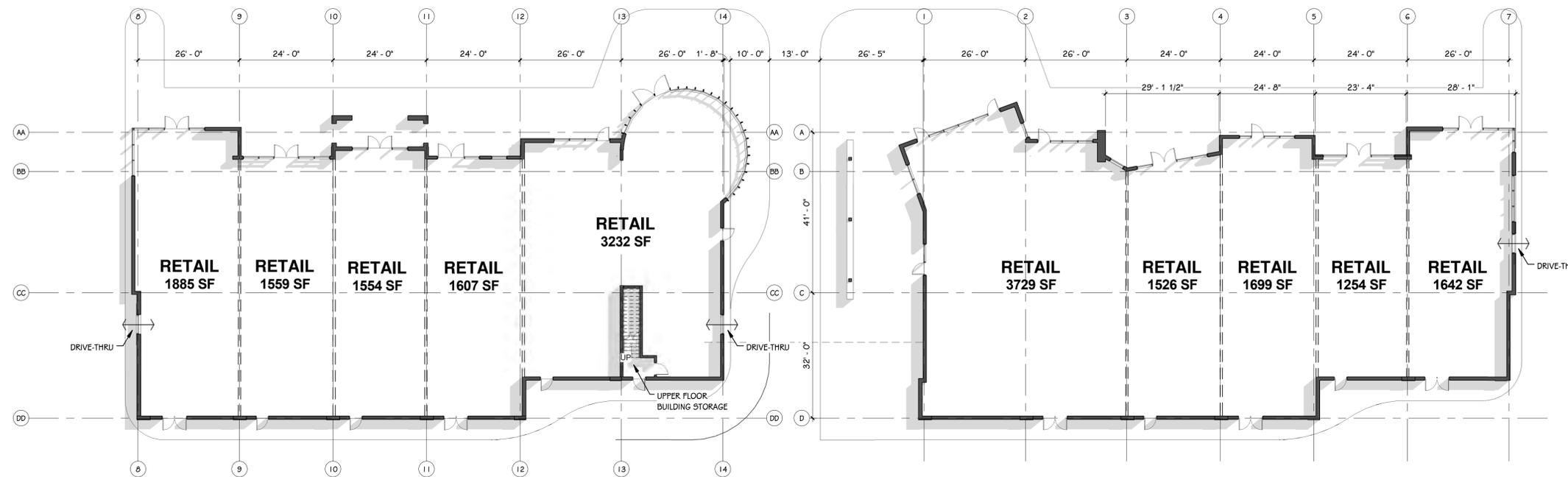
**OVERALL STORM WATER PLAN
CORNER SHOPPES
AVB**

Sheet Title:
Project:
Client:
02/04/16
Sheet

C-7



3D AXON



FIRST FLOOR PLAN CONCEPTS
 1/16" = 1'-0"
 SCALE: 0' - 1" = 16' - 0"
 0' 8' - 0" 16' - 0" 32' - 0"

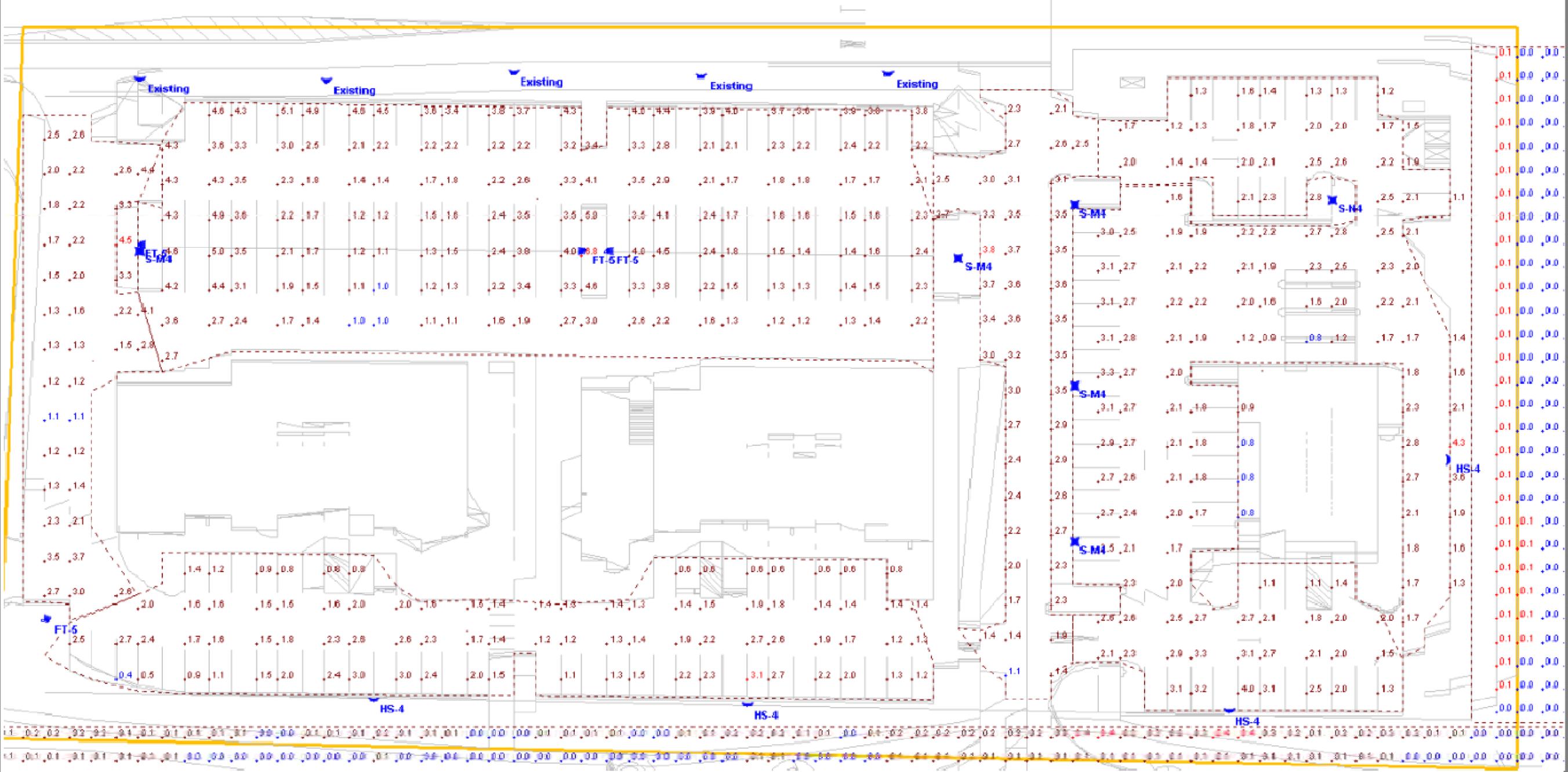
Description

Symbol	Label	QTY	Catalog Number	Description	Number Lamps	Lumens per Lamp	LLF	Wattage
	HS-4	4	GLEON-AE-04-LED-E1-SL3-HSS	GALLEON LED AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 4000K, 1A LIGHTSQUARES WITH 16 LEDS EACH AND TYPE III SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD	64	276.0431	1	213
	S-M4	5	GLEON-AE-04-LED-E1-5MQ	GALLEON LED AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 4000K, 1A LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V MEDIUM OPTICS	64	339.8274	1	213
	FT-5	4	GLEON-AE-05-LED-E1-T4FT	GALLEON LED AREA AND ROADWAY LUMINAIRE (5) 70 CRI, 4000K, 1A LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS	80	321.8526	1	264
	S-N4	1	GLEON-AE-04-LED-E1-5NQ	GALLEON LED AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 4000K, 1A LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V NARROW OPTICS	64	333.6761	1	213

Statistics

Symbol	Description	Avg	Max	Min	Max/Min	Avg/Min
+	Credit Union	2.1 fc	4.3 fc	0.8 fc	5.4:1	2.6:1
+	Drake Road	0.1 fc	0.4 fc	0.0 fc	N/A	N/A
+	East Lot	1.6 fc	3.1 fc	0.4 fc	7.8:1	4.0:1
+	North Drive	2.8 fc	3.8 fc	1.1 fc	3.5:1	2.5:1
+	North Spill	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
+	South Drive	2.2 fc	4.5 fc	1.1 fc	4.1:1	2.0:1
+	West Lot	2.7 fc	6.8 fc	1.0 fc	6.8:1	2.7:1

All fixtures at 30' height

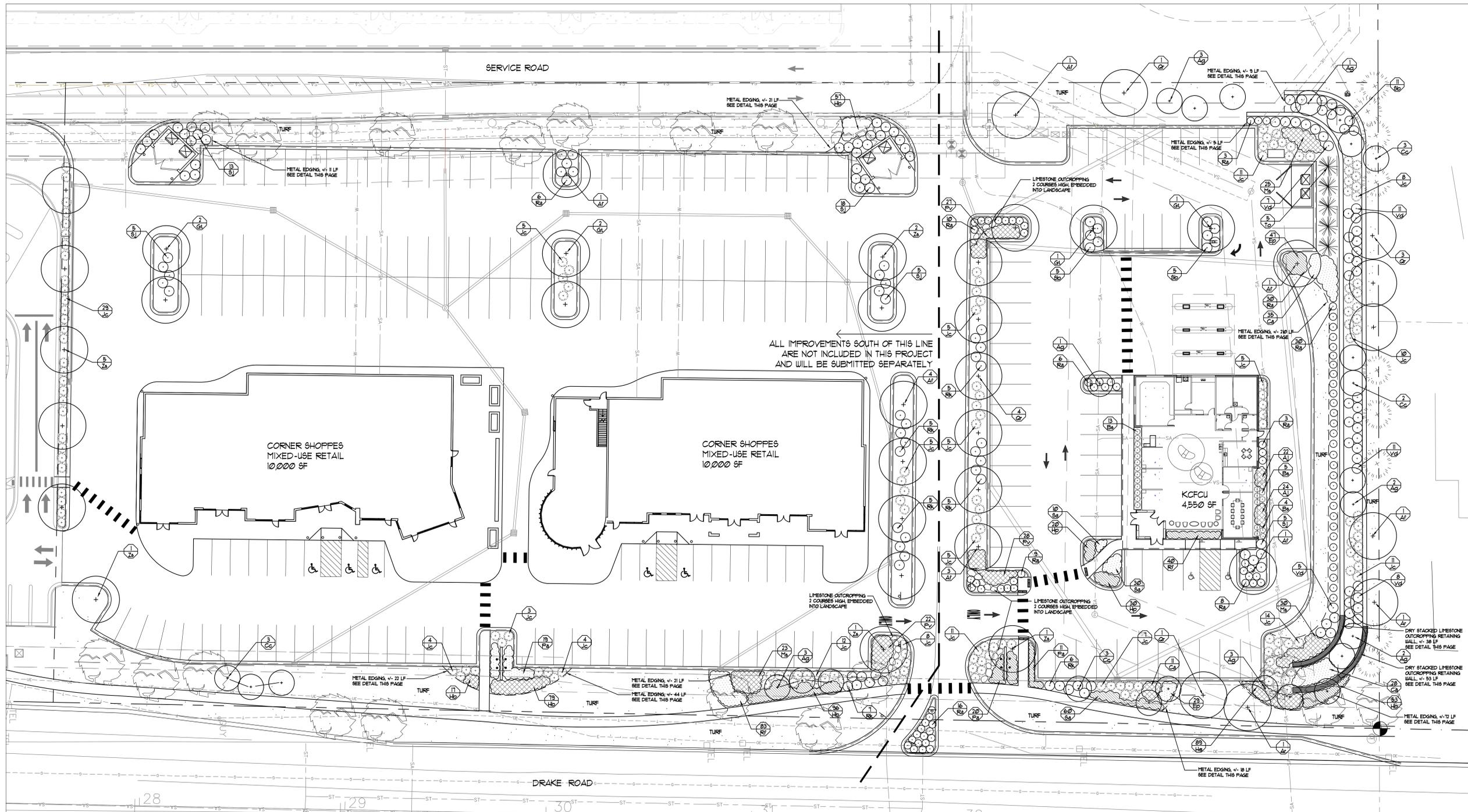


CIRCUIT ELECTRIC INC.
CONTRACTORS • ENGINEERS

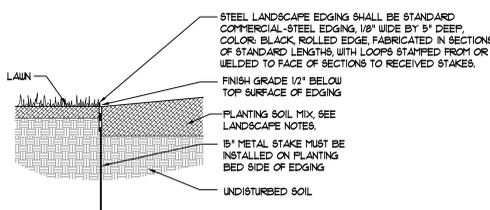
THIS DRAWING IS THE PROPERTY OF CIRCUIT ELECTRIC INC. AND IS NOT TO BE REUSED OR REPRODUCED WITHOUT THE EXPRESSED WRITTEN PERMISSION OF CIRCUIT ELECTRIC INC.

KCFCU & CORNER SHOPPES

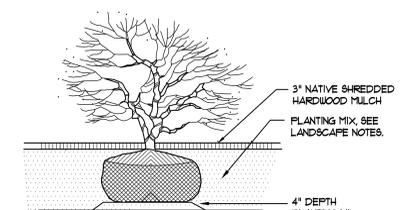
Designer
Date 1/26/2016
Scale Not to Scale
Drawing No. L-2
Summary



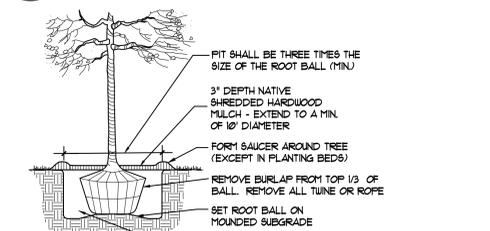
ALL IMPROVEMENTS SOUTH OF THIS LINE ARE NOT INCLUDED IN THIS PROJECT AND WILL BE SUBMITTED SEPARATELY



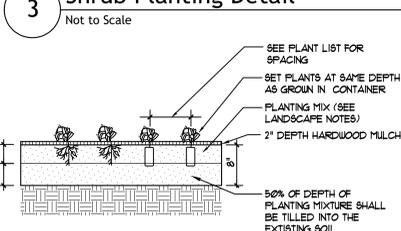
1 Metal Edging
Not to Scale



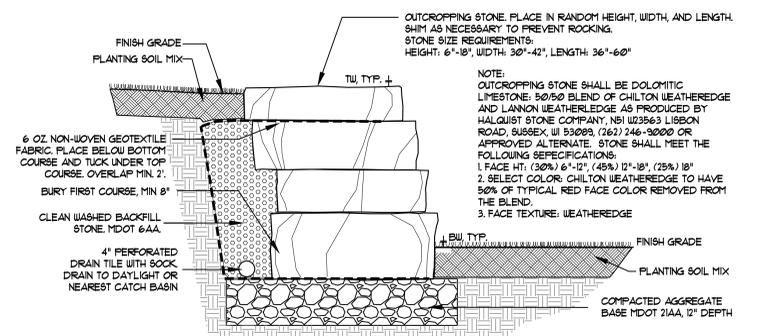
3 Shrub Planting Detail
Not to Scale



2 Tree Planting Detail
Not to Scale



4 Groundcover Planting Detail
Not to Scale



5 Dry Stacked Limestone Outcropping Retaining Wall
Not to Scale

LANDSCAPE NOTES:

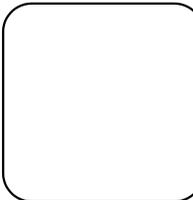
1. PLACE SHREDDED HARDWOOD MULCH TO A 3\"/>

LANDSCAPE LEGEND:

SYM	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOT	COM.
DECIDUOUS TREES	Ag	<i>Aster sp.</i>	12	10\"/>		



SCALE IN FEET
0 10 20



VIRIDIS
Design Group
373 North Burdick Street, Kalamazoo, Michigan 49007
(269) 978-5143 (voice) - (866) 683-5666 (fax)
viridis@viridg.com

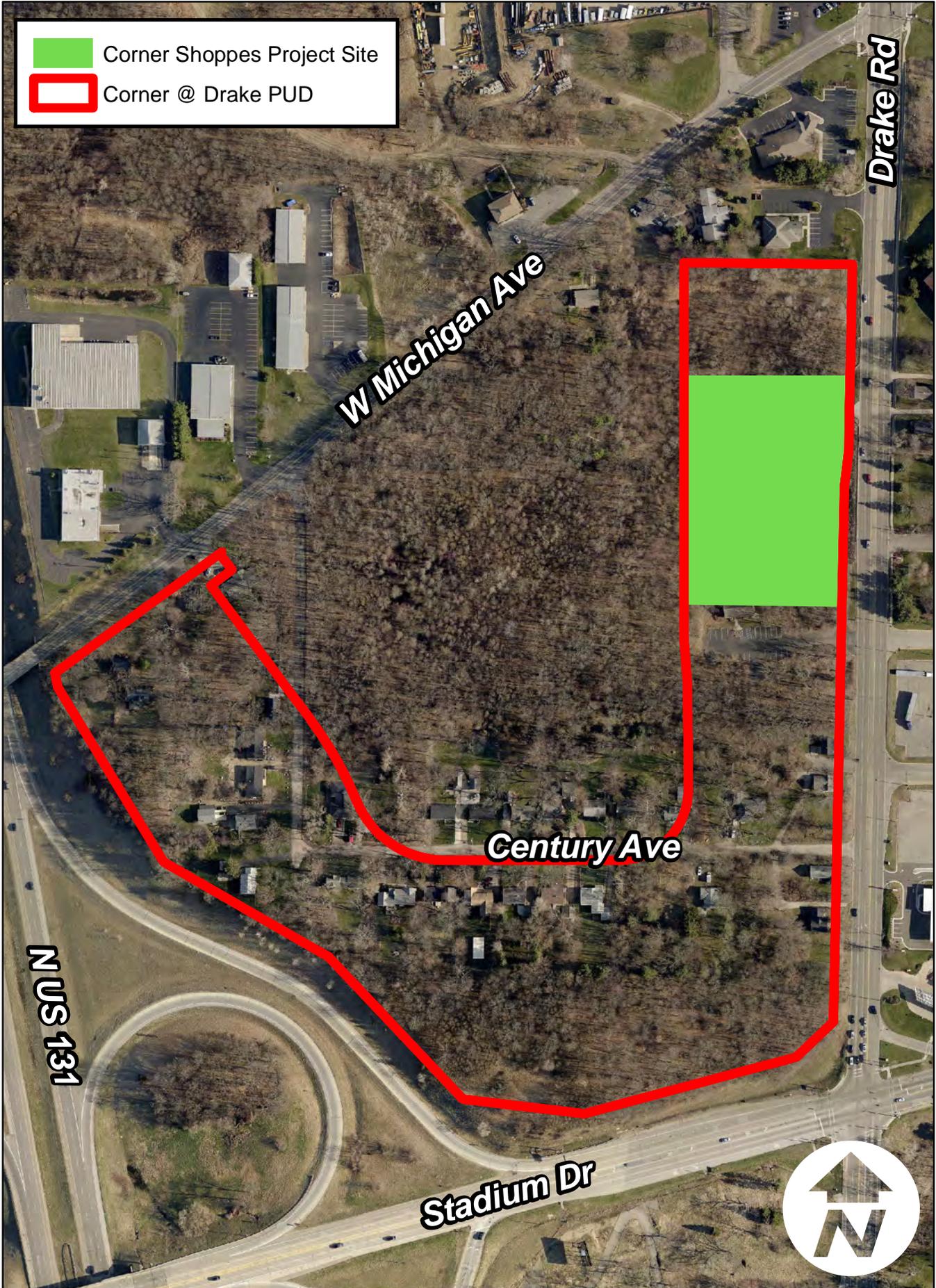
SITE LANDSCAPE PLAN
KFCU AND RETAIL SITE DEVELOPMENTS
OSHTEMO TOWNSHIP, MICHIGAN

Revisions

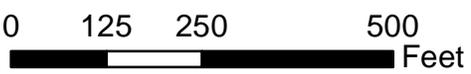
SITE PLAN SUBMITTAL	10/8/15
SITE PLAN SUBMITTAL	11/23/15
SITE PLAN SUBMITTAL	01/28/16

Sheet
L-1

Corner Shoppes @ Drake



 Corner Shoppes Project Site
 Corner @ Drake PUD



OSHTEMO FIRE DEPARTMENT SITE PLAN CONCERNS LIST

Applicant: Corner Shops, AVB.
Project: New Buildings.
Location: Century Street.
Date: March 2, 2016
Site Plan Date: February 24, 2016

Identified Concerns:

A 15 foot vertical clearance is required throughout the site and shall include all vegetation. This is mentioned at this time for consideration of plant growth in 10 – 15 years.

The access road shall be 24 foot minimum in width and maintained year round and shall support the live load of fire apparatus as mentioned in NFPA 2012. This is mentioned at this time for future consideration after the certificate of occupancy has been issued and it becomes the responsibility of the property owner during all weather conditions.

Fire lane signs shall be posted and shall read “FIRE LANE – NO STOPPING, STANDING OR LOADING” and shall be installed prior to any occupancy. Signs shall be of white background with red lettering. Signs shall be installed mounted on a post with sign facing the flow of traffic with the height of 6’ - 8” to the bottom of the sign. Signs shall be placed no more than 60’ on center. Please contact this office for placement locations, which shall also be shown on the site plan.

Approved access routes shall be required prior to and during construction at this site. Access routes shall be (24) feet in width and shall support the live load of the Fire department apparatus. Access routes shall extend to within one hundred fifty, (150) feet of all portions of the building or any of the exterior of the building.

Building identification shall be placed in a position that is plainly legible and visible from any street or road fronting the property. Those properties fronting more than one street or road shall identify the address by both number and street name on each side of the road frontage. The address numbers and street name shall contrast with their background. Numbers shall be a minimum of eighteen inches high and letters shall be a minimum of twelve inches high. At completion of the project the address shall be attached to the building.

All egress points from the building shall be connected by continuous means and terminate at a paved surface.

Fire alarms systems shall comply with NFPA 72 requirements.

Fire Sprinkler systems shall comply with NFPA 13 requirements.

If by any code adopted by Oshtemo Township or by the Owners choice, there is going to be a fire sprinkler system installed, a remote five inch fire department connection (FDC) shall be installed away from the building. The FDC shall be installed at forty eight inches in height and shall have locking Knox StorzGuard kit with thirty degree offset and locking cap installed. These are available on line at @ www.knoxbox.com.

A vertical sign with red reflective background, six inch white reflective lettering stating FDC shall also be required and shall be mounted on a pole 6'8" from grade to the bottom of the sign. This may be required in multiple directions.

Both buildings will be required to have one, (1) vault style fire department Knox key box installed. This is mentioned at this time so if a recessed style is desired it may be incorporated into the building plans. You may order a Series 4400 Key Box online @ www.knoxbox.com, as it may take 4-6 weeks for delivery of this lock box.

Prior to final occupancy, Fire extinguishers meeting the minimum rating of 2A10BC shall be installed at not more than 75 feet of travel distance from any point in the building.

Special note:

The Fire flow required for the two buildings are, south building 4,045 GPM and the north building 3,391 GPM. Given the amount of water needed more fire hydrants shall be required along the east side of the property.

This list shall not be considered as all inclusive as other requirements may be necessary when more information becomes available.

Should you have any questions regarding this matter, please feel free to contact me.

Jim Wiley
Assistant Fire Chief / Fire Marshal
Oshtemo Township Fire Department
P. 269.375.0487
F. 269.544.2085
jwiley@oshtemo.org



7275 W. MAIN STREET, KALAMAZOO, MI 49009
269-216-5220 Fax 269-375-7180 www.oshkosh.org

Memorandum

Date: March 2, 2016

To: Ben Clark, Zoning Administrator

From: Marc E. Elliott, P.E., Director of Public Works

Subject: The Corner Shoppes, The Corner@Drake, Site Plan Review

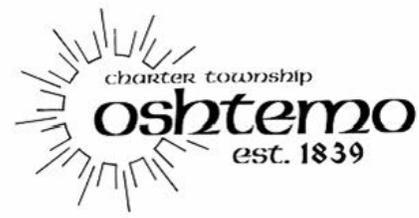
I have reviewed the amended plans originally dated February 4, 2016 for the referenced development and find that it should not receive final approval without submission of additional engineering details and/or corrections for engineering approval. As I noted earlier, it has become necessary to review the overall drainage design upstream from the storm water pollution control structure located at the southeast corner of the intersection of Century Avenue. The combined storm water flows need to be evaluated as a whole. The mutual dependence and interconnected nature of the storm water system requires submission of engineering details which substantially solves the collective drainage challenges facing further development north of Century Avenue.

The current submission makes considerable progress in meeting the complex drainage challenges and while I believe the design intent can be accomplished, the full engineering details remain incomplete. The proposal includes drainage retrofits to be installed over the currently constructed Consumers Credit Union (CCU) site. The details to implement this concept remain outstanding. The Township also needs to assure that the CCU retrofits are implemented before further development of remaining lands to the north are accepted. My specific comments follow:

1. The storm water system design interconnectedness is implicitly proven by the fact that the design calculations submitted for the Shoppes has included changes to the storm water design which was previously approved for the northerly adjacent (unbuilt) Kellogg Community Federal Credit Union (KCFCU). Since these project are now separate parcels, I am unsure how the site-plan review procedures should proceed forward to properly capture this change and assure proper implementation over the adjacent parcel.
2. The proposed retrofit at the southerly adjacent (built) CCU parcel should be required to be constructed concurrent with the Shoppes development, and completed as a condition of acceptance of any developments north of CCU.
3. The currently proposed storm system retrofit at CCU is unbuildable. Specifically, a new outlet control structure is proposed with an overflow weir at elevation. 926.6. This control point is more than a foot above the current top of casting in pavement.
4. The proposed design retrofit now includes partial flooding of the CCU pavement during extreme storm events. The depth and extent of this anticipated flooding requires further definition to properly evaluate the risk.
5. Flooding at CCU was not anticipated when originally approved. Furthermore, to now achieve the proposed level of extreme-event flooding over CCU, partial storage of the CCU runoff is being moved into underground storage structures located within the Shoppes parcel. This use will required a separate easement agreement between CCU and the Shoppes.

6. The final contour lines provided on sheet C-4 are confusing and in error. Since partial flooding for extreme events is now anticipated over the pavements of each parcels north of Century Avenue, confidence in final grading design is critical in order to assure spillage is properly contained and ultimately directed towards a safe overflow pathway before threatening the structures.
7. We note that outfall structure OS-A has now been designed to fit within the design limits. However I strongly recommend that the structure either be paired or installed with two access manholes to facilitate access into the two chambers. As proposed, the seven foot tall, structural dividing wall of this 4-foot diameter structure has less than a one-foot gap from structure top, making maintenance extremely difficult.
8. A State of Michigan permit to extend public water is require for the proposed water extensions to service the locations of public fire hydrants. A 20-foot wide easement for the new public water system is required.
9. The plans which I received for review were without a design professional's signature and seal.

March 2nd, 2016



Meeting Date: March 10th, 2016

To: Planning Commission

From: Ben Clark, Zoning Administrator

Owner: Gesmundo, LLC

Properties: 1900 South Drake, parcel number 05-25-240-008; 1700 South Drake Road, parcel number 05-25-240-008; 5215 Century Avenue, parcel number 05-25-240-010

Zoning: C: Local Business

Request: Special Exception Use to include the previously approved Consumers Credit Union (CCU), Kellogg Community Federal Credit Union (KCFCU), and Field & Stream into the recently established Corner @ Drake commercial planned unit development

Section(s): 60.420: Commercial planned unit development provisions

Project Name: CCU, KCFCU, and Field & Stream commercial PUD inclusion

REQUEST SUMMARY

At its February 11th, 2016 meeting, the Planning Commission granted approval to the concept plan presented for the Corner @ Drake commercial planned unit development, located at the northwest corner of Drake Road and Stadium Drive in Oshtemo. Per section 60.420 of the Zoning Ordinance, all subsequent projects located within the PUD must obtain Special Exception Use status from the Planning Commission. The three projects included in this request, CCU, KCFCU, and Field & Stream, were granted site plan approval by the Planning Commission *before* the PUD was in place, and must now be retroactively reviewed for compliance with the approved concept plan before they may be formally made a part of the larger development.

RECOMMENDATION

Given that the approved concept plan for the Corner @ Drake commercial PUD was created *after* CCU, KCFCU, and Field & Stream had already gone through site plan review, the developer, AVB, was able to ensure that all three pre-existing projects were accurately depicted on the document. This being said, Staff recommends that the Planning Commission approve their inclusion into the PUD, as they are in full compliance with the accepted concept plan and all other ordinance requirements.

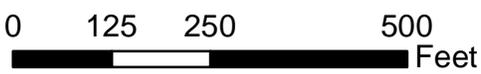
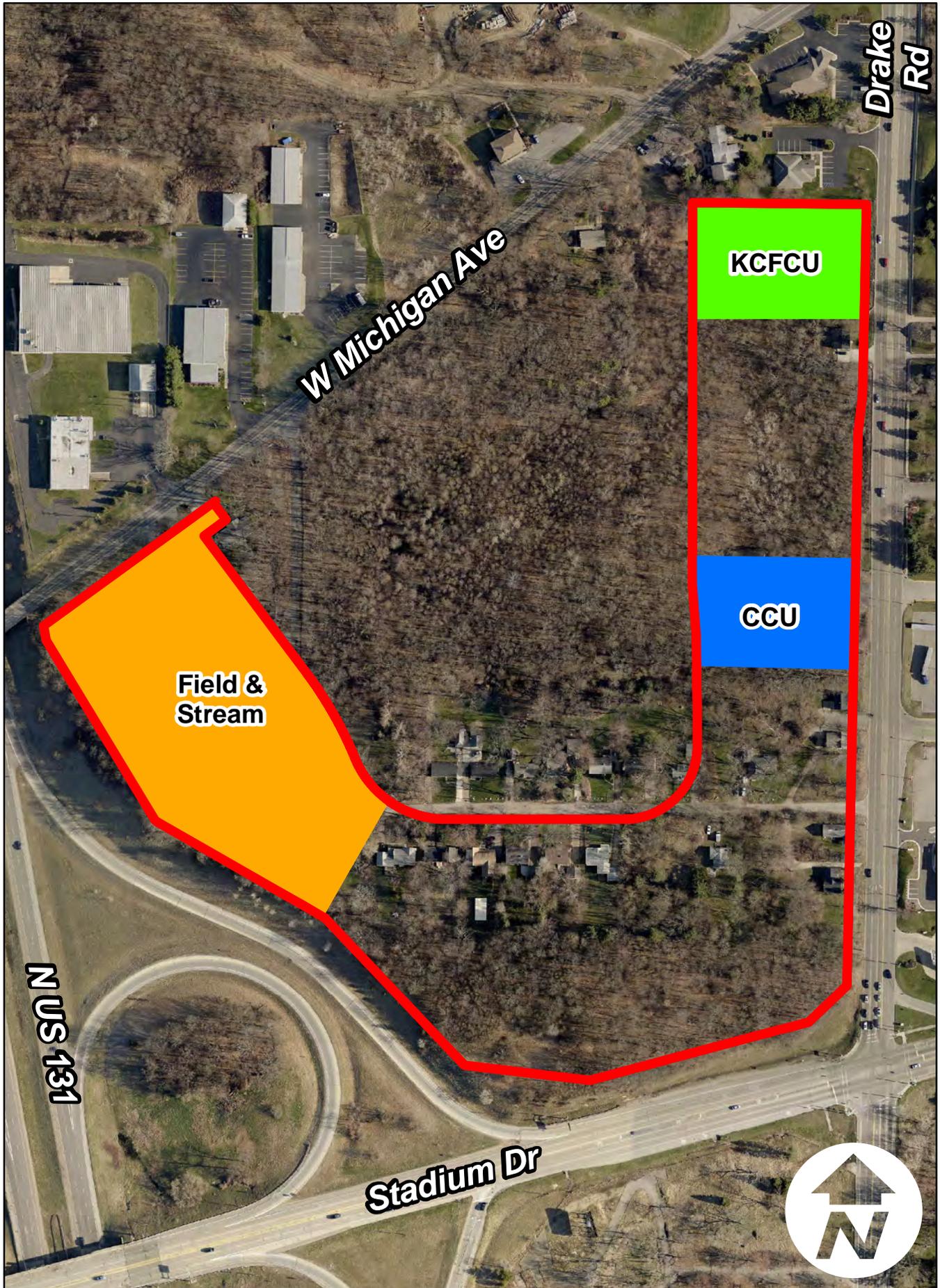
Respectfully Submitted,

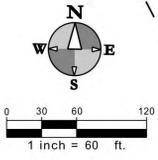
A handwritten signature in black ink that reads "Ben Clark".

Ben Clark
Zoning Administrator

Attachments: Aerial map
Approved Corner @ Drake PUD concept plan

CCU, KCFCU, and Field & Stream Locations





VICINITY MAP
NOT TO SCALE



952 TOTAL PARKING SPACES
238 SPACES (25%) ARE PROPOSED TO BE SMALLER THAN 10' X 20'
SITE MASS GRADING IS COMPLETED
OPEN SPACE REQUIRED 5% OF SITE = 1.1 ACRES
OPEN SPACE PROVIDED ON CURRENT PLAN = 4.40 ACRES
ENTIRE SITE IS SERVICED BY PUBLIC WATER AND PUBLIC SANITARY

PROPOSED PUD 21.94 ACRE DEVELOPMENT

THE CORNER@DRAKE





March 2, 2016

Meeting Date: March 10, 2016

To: Planning Commission

From: Julie Johnston, Planning Director

Applicant: Andrea Rogers, RetailComm dba Field & Stream

Owner: Gesmundo, LLC

Property: 5215 Century Avenue, Parcel #05-25-240-010

Zoning: C: Local Business, Commercial Planned Unit Development

Request: Special Exception Use permission to hold an outdoor grand opening event for Field & Stream on April 1st, 2nd and 3rd, 2016.

Section: Section 30.415: Temporary outdoor events lasting more than one day

Project Name: Field & Stream Grand Opening

OVERVIEW

Field & Stream, located at 5215 Century Avenue in the Corner@Drake Planned Unit Development, will be officially opening on April 1, 2016. The requested Special Exception Use is to allow for a three day outdoor event to celebrate the opening of the store. The event will include a total of four tents, two near the front of the building to provide coverage for patrons if queue lines are needed when the store opens and two in the parking lot for special events and/or celebrity appearances.

SUBJECT PROPERTY & LAYOUT

Located in the northwest corner of the Corner@Drake Planned Unit Development, the property has two access points to Century Avenue. East of the building is a large parking lot that contains approximately 246 spaces. The two 20' x 30' tents will be located in northwest corner of the parking area, which will alter drive lanes for the duration of the grand opening event. The remaining two 10' x 10' tents will be located on the sidewalk immediately adjacent to the building. The portable bathroom facility will also be on the sidewalk, at the northeast corner of the building. All setback requirements have been met with the placement of the tents at these locations.

STANDARDS FOR APPROVAL

Sections 30.221 & 30.415 of the Zoning Ordinance state the criteria that should be met if permission is to be granted for a temporary outdoor event:

A. Use is incidental to principal use of the property.

The grand opening event will be incidental to the main use on the property in both scale and duration. The tents will be used primarily for special events during the grand opening.

B. A site plan shall be submitted for administrative review indicating the following:

a. Traffic lanes and on-site parking.

The existing traffic flow scheme and parking facilities will be principally maintained. However, the placement of the larger tents at the northwest corner of the parking lot interrupts the drive-isle directly in front of the building. Staff will be recommending the applicant introduce some additional traffic guidance measures in order to ensure adequate circulation.

b. Fire lanes and emergency vehicle turning areas.

The necessary emergency vehicle access accommodations have been adequately identified by the Fire Marshal.

c. Restrooms provided (in building or portable facilities).

A portable facility is identified on the site plan.

d. Placement of vehicles, trailers, and all other equipment is away from adjoining residentially used properties and complies with all applicable setbacks.

The placement of the tents, as indicated on the site plan, is in compliance with these requirements.

e. All activity takes place on subject property.

All activities will be confined to the subject property.

C. The Fire Chief, or his designee, has approved the placement of vehicles, trailers, and all other equipment associated with the event.

The Fire Marshal has reviewed the site plan and has no issues with the proposed layout. However, a request was made for tent flame proof certificates and that at least one fire extinguisher be located in each tent. The certificate has been provided and the applicant has indicated they will have the necessary extinguishers.

D. All signs directed off-site must receive a temporary sign permit and comply with all applicable sign ordinances.

A temporary sign permit application has been submitted for the requested temporary sign.

E. Property owner must approve and acknowledge the use of the property for the event.

Written permission from the property owner has been obtained by the Township.

ADDITIONAL CONSIDERATIONS

Section 60.100 of the Zoning Ordinance provides some general guidelines for the reviewing body to consider when deliberating a Special Exception Use request.

- **Is the proposed use compatible with the other uses expressly permitted within the C: Local Business district?**
 - As a grand opening event to a use already approved by the Planning Commission within the Corner@Drake Commercial Planned Unit Development, staff believes the request is compatible.
- **Will the proposed use be detrimental or injurious to the use or development of adjacent properties or to the general public?**
 - Staff does not feel that the proposed use will be detrimental or injurious to adjacent properties. The grand opening event will only be for a three day period and any increase in traffic on the Corner@Drake site will not adversely impact any other nearby properties.
- **Will the proposed use promote the public health, safety, and welfare of the community?**
 - Staff does not anticipate that this use will compromise the public health, safety, and welfare of the community.
- **Will the proposed use encourage the use of the land in accordance with its character and adaptability?**
 - As a temporary event, it is highly unlikely that this request will have any lasting impact on the land's character.

RECOMMENDATION

Staff recommends that the Planning Commission approve this Special Exception Use request. If the Planning Commission is inclined to grant permission, Staff would suggest the following conditions of approval:

1. A temporary drive isle should be created between the northern drive isle and the next available drive isle to the south to avoid vehicular traffic getting trapped at the location of the tents in the northwest corner of the parking lot. Four parking spaces close to the tents between the two drive isles should be temporarily posted as "No Parking" to allow cars the ability to move to the next drive isle. Four parking spaces would allow for a 20 foot drive isle, allowing two-way traffic movements.
2. At least one fire extinguisher rated a minimum of 2A 10 BC must be in each tent.

Respectfully Submitted,



Julie Johnston
Planning Director

Attachments: Application
 Site plan
 Tent Flame Proof Certificate
 Fire Marshal email



7275 W. Main Street, Kalamazoo, Michigan 49009-9334
 Phone: 269-216-5223 Fax: 269-375-7180

PLEASE PRINT

PROJECT NAME & ADDRESS Field & Stream Grand Opening / 5215 Century Ave.
Kalamazoo, MI 49006

PLANNING & ZONING APPLICATION

Applicant Name : Andrea Rogers

Company retailcomm dba Field & Stream Oshtemo Charter Township
Grand Opening Team 7275 W MAIN ST

Address 4700 Mall Rd. KALAMAZOO, MI 49009
Dallas, TX 75244 Phone : 269-375-4260
 OSHTEMO TOWNSHIP.ORG

E-mail andrear@retailcomm.com

Telephone 972-284-0035 Fax _____

Interest in Property _____

Received From: ROGERS
 Date: 02/18/2016 Time: 11:41:29 AM
 Receipt 122764
 Cashier LINDAI

OWNER*:

Name Gesmundo, LLC

Address 4200 W. CENTRE AVE.

PORTAGE, MI 49024

Email caardema@webinc.com

Phone & Fax 269-323-2002 269-323-2184

ITEM REFERENCE	AMOUNT
1085 SPECIAL EXCEPTION USE	
SPECIAL EXCEPTION USE	\$300.00
1080 SIGN PERMIT/DEVIATION	
SIGN PERMIT	\$25.00
TOTAL	\$325.00
CHECK 2141110	\$325.00
Total Tendered:	\$325.00

NATURE OF THE REQUEST: (Please check the appropriate item(s))

- Planning Eserow-1042
- Site Plan Review-1088
- Administrative Site Plan Review-1086
- Special Exception Use-1085
- Zoning Variance-1092
- Site Condominium-1084
- Accessory Building Review-1083
- L
- S
- F
- I
- J
- Sign Deviation-1080
- Other: _____

Change: \$0.00

BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary):

hosting a
3-day Grand Opening celebration (April 1, 2, 3). We will have
(2) 20x30' tents on property through the weekend. They
will be enclosed. Also (2) 10x10' tents up on the sidewalk.

LEGAL DESCRIPTION OF PROPERTY (Use Attachments if Necessary):

see attachment.

PARCEL NUMBER: 3905-

ADDRESS OF PROPERTY: 5215 Century Ave. Kalamazoo, MI 49006

PRESENT USE OF THE PROPERTY:

PRESENT ZONING SIZE OF PROPERTY

NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:

Name(s)

Address(es)

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshtemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.

Owner's Signature (* If different from Applicant)

2/12/16

Date

Applicant's Signature

2/11/16

Date

- Copies to:
Planning -1
Applicant -1
Clerk -1
Deputy Clerk -1
Attorney-1
Assessor -1
Planning Secretary - Original

PLEASE ATTACH ALL REQUIRED DOCUMENTS

From: [Jim Wiley](#)
To: [Ben Clark](#)
Subject: Field and Stream.
Date: Wednesday, February 17, 2016 10:39:34 AM

Ben,

Regarding Field and Stream, I will need Tent Flame Proof Certificates from them and they will need to have at least one Fire Extinguisher rated at a minimum of 2A 10 BC within the tents.

I hope this helps.

Jim Wiley
Assistant Fire Chief
Oshtemo Township Fire Department
7275 W.Main
Kalamazoo, MI 49009
P. 269.375.0487 Ext. 5247



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March 2, 2016

Mtg Date: March 10, 2016
To: Planning Commission
From: Julie Johnston, AICP
Subject: Adam Garland Construction Special Exception Use

The Planning Department completed a review of the applicant's site plan and elevation drawings and found some changes that were required based on Zoning Ordinance regulations. On February 12, 2016, a memo was provided to the applicant by mail and email and to his agent by mail. To date, we have not received a revised site plan or elevation drawings for the Adam Garland Construction Special Exception Use and Site Plan Review request. At this time, the public hearing for this agenda item will need to be postponed until such time that applicant provides the revised documents.

February 29, 2016



Meeting Date: March 10, 2016

To: Planning Commission

From: Julie Johnston, Planning Director

Applicant: Thomas M. Amon
Warner, Norcross & Judd LLP

Owner: West Main Properties, LLC

Property: 8500 West Main Street
Parcel No. 05-16-180-047 and 05-16-255-014

Zoning: RR: Rural Residential District
C: Local Business District

Request: To rezone both parcels to C: Local Business District

Section(s): Section 20.000—RR: Rural Residential District
Section 30.000 – C: Local Business District

OVERVIEW

The applicant, West Main Properties, LLC, is requesting a rezoning of the RR: Rural Residential portion of their property to C: Local Business District to allow for the expansion of Leaders Marine located at 8500 West Main Street. The parcels in question are currently zoned C: Local Business from West Main Street north 660 feet and then RR: Rural Residential for the remainder of the property, which is approximately 500 feet for parcel 05-16-180-047 and 1,875 feet for parcel 05-16-255-014.

SUBJECT PROPERTY

The two subject parcels total approximately 30 acres. Parcel 05-16-180-047 is roughly 17 acres and is more square in shape, while parcel 05-16-255-014 is almost 13 acres and is a long narrow parcel. Please see the attached Zoning Map for a visual depiction of the subject site.

The property has four existing buildings: the main retail showroom that also includes offices, storage, a place for deliveries and service; a building for pre-owned sales; and two storage buildings. There is also outside storage of boats and trailers on the site. The request for the rezoning is to allow the storage buildings to be relocated and for the expansion of the outside boat/trailer storage area. Making these adjustments to the site would allow room for new construction, which may include a warehouse and an expansion of the existing showroom. The requested use of the site, retail sales and indoor and outdoor storage, is not allowed in that portion of the property zoned RR: Rural Residential.

The history of the site is fairly involved, with a variety of previous requests that detail the success of the business as it expanded over time, as follows:

- 1986 – Special Exception Use and site plan approval for showroom, offices and outdoor display
- 1986 – Special Exception Use/site plan amendment for expansion to the showroom and the offices
- 1988 – Site plan amendment for 5,600 square foot storage building
- 1989 – Site plan amendment for a 4,200 square foot storage building
- 1992 – Site plan amendment for an 11,760 square foot addition to a storage building
- 1994 – Special Exception Use/site plan approved for an expansion to the outdoor display
- 1995 – Special Exception Use/site plan approval for expansion to the outdoor display and parking lot
- 1997 - Special Exception Use/site plan approval for expansion to the outdoor display and parking lot and for an additional access drive on West Main Street.
- 1998 – Special Exception Use/site plan amendment for a 30,000 square foot showroom, sales and service, and office building on the east side of the property (never constructed)
- 2002 – Special Exception Use/site plan approval for the construction of a 38,850 square foot showroom and office (current configuration of the site)

SURROUNDING PROPERTIES

Immediately west of the subject properties are other commercial business, T-Shirt Printing Plus and Halli's Autocare and Sales, both zoned C: Local Business. To the east of the subject property is a nonresidential use and a single family home, both zoned Local Business. Continuing east is a very large parcel where Hadley's Tree Service is located. This property is not zoned C: Local Business but RR: Rural Residential, which indicates the use has grandfather status on the property. Adjacent to Hadley's Tree Service is another single family home zoned RR: Rural Residential and then D & R Sports, which is C: Local Business.

To the south of the site, west of Almena Drive, is the Marathon Gas Station, a vacant lot and a grouping of buildings that appear to be vacant. All of these properties are zoned C: Local Business. East of Almena Drive is a vacant parcel, Kazoopy's Pizzas and Grinders, and M & M Tire Service also zoned C: Local Business. East of M & M Tire Service, the properties are zoned RR: Rural Residential. Finally, to the north of the subject site are relatively larger parcels zoned RR: Rural Residential.

HISTORICAL REZONINGS

From a review of the Planning Department records, two C: Local Business rezonings have occurred in the immediate area over the past 16 years. In March of 2005, the Planning Commission approved a request by D & R Sports (east of the subject site) to rezone a portion of their property from RR: Rural Residential to C: Local Business. This request was similar to the application before the Planning Commission, where only a portion of the subject site was zoned for commercial activity. The front 660 feet of the property was zoned C: Local Business, with the remaining 557 feet zoned Rural Residential. D & R Sports requested 440 feet of this 557 be rezoned to C: Local Business. The residual 117 feet was to remain RR to act as a buffer to the RR District properties to the north. At the time of this rezoning, the Leaders Marine property was considered and a similar buffer was discussed. Please see the attached Planning Commission minutes from this rezoning.

The second rezoning to occur was in 2008 at Halli's Autocare and Sales, located at the northeast corner of West Main and 5th Street and the last commercially zoned property in this commercial node. This parcel

also had dual zoning where the first 177 feet of the parcel was zoned C: Local Business and the rear 208 feet was zoned RR: Rural Residential. The Planning Commission approved a rezoning to C: Local Business for the entire parcel, which has a depth from West Main Street significantly less than the adjacent parcels to the east (T-Shirt Printing Plus and Leaders Marine).

MASTER PLAN

The Future Land Use Map for this area shows Rural Residential with a Neighborhood Commercial Node where Almendra Drive intersects with West Main Street. The Master Plan indicates that these nodes have a medium development density (between regional market and local commercial development). The following language is utilized in the Plan:

As was done on the 1993 Land Use Plan, Neighborhood Commercial nodes have been illustrated on the Future Land Use Map. Rather than indicating specific sites, the Future Land Use Map identifies general locations where neighborhood related business and services may be established. These uses will be compatible with nearby residential development. Approval of specific properties proposed for this land use and/or designation of additional neighborhood commercial areas on the Future Land Use Map will be governed by the Location Standards for Neighborhood Centers.

DESIRED FUTURE DEVELOPMENT PATTERN Neighborhood Centers should meet the following location standards:

- 1. Be located on an arterial or a major collector street, or on a minor collector street in close proximity to an intersection with an arterial street.*
- 2. Be located a minimum of one mile from existing/planned neighborhood commercial centers as reflected on the future land use map.*
- 3. Be located in close proximity to and designated to primarily serve nearby residential neighborhoods.*
- 4. Be compatible with adjacent land uses in building site scale.*
- 5. Utilize access management techniques in accordance with the Access Management Plan.*

Based on this information, the large scale rezoning of the subject parcel to C: Local Business does not meet the intent of the Master Plan. Medium density development that would be compatible with nearby residential uses does not generally require large parcels of land to accommodate development. For example, Kazoopy's, located to the south of this site, would be the type of development expected in a Neighborhood Commercial Node. Their property totals 1.22 acres.

CONSIDERATIONS

The Zoning Enabling Act, which allows Townships to zone property, does not provide any required standards that a Planning Commission must consider when reviewing a rezoning request. However, there are some generally recognized factors that should be deliberated before a rezoning decision is made. These considerations are as follows:

1. Master Plan Designation

As stated, the expansion of commercial zoning at this location does not truly meet the intent of the Future Land Use Plan. The Neighborhood Commercial Node is designated for neighborhood related businesses and services that are compatible with residential development.

The difficulty with this future land use designation is that it does not take into account the existing commercial uses in this area, some of which would be considered regional uses. While the Master Plan is intended to focus on the type of future land use pattern the community would like to see in a particular area, the reality of existing uses must be considered, especially if the expansion of these uses is to be permitted. In addition, the Future Land Use Map does not clearly define the boundaries of the Neighborhood Commercial Node.

Through the Future Land Use Map, the Oshtemo community has designated this area as commercial. The decision is whether an expansion of commercial zoning to this degree is compatible with the intent of a Neighborhood Commercial Node.

2. Consistency of the Zoning Classification in the General Area

From the review of existing zoning in the area, we find that parcels immediately adjacent to the site to the east, west and south are zoned C: Local Business. However, there are also parcels to the west of the subject site that are zoned RR: Rural Residential. Also, the parcels to the north are zoned RR. The scale of the rezoning request is larger than the existing commercial zoning boundaries found in the area.

Commercial developments have been located in this area of the Township for many years. However, the size and scale of some of the commercial zoning has changed over time. While no rezoning requests are very recent in this area, the D & R Sports property where an expansion of the Local Business District was approved, must be considered. Originally, D & R Sports had commercial zoning that had a depth of 660 feet from West Main Street, the same as the subject site. They were approved for an additional 440 feet of commercial zoning, for a total of 1,100 feet from West Main Street. In that rezoning, the applicant requested that the remaining 117 feet remain as RR: Rural Residential to provide a buffer to adjacent properties.

3. Consistency and Compatibility with General Land Use Patterns in the Area

The general land use pattern for this area is low density residential. Moving east from the site, patterns of both residential and commercial become more dense. Moving west, the rural pattern of the Township solidifies and low density residential is predominant, with little to no commercial uses. Again, the scale of the rezoning request at this location is not compatible with the general land use patterns in the area.

4. Utilities and Infrastructure

Utilities and infrastructure are often considered in a request for rezoning to ensure that public facilities can service any possible development that would occur on the site. As this is an area where commercial zoning already exists, the impact to the public systems should be minimal.

Public water is available to the site and the requested expansion of the zoning designation would not impact this system.

With the increase in the commercial district, we would expect a rise in traffic to the site. However, there should be minimal impact to the capacity of West Main Street where curb cuts already exist.

5. Reasonable Use under Current Zoning Classification

Under the current zoning classifications, the applicant has reasonable use of the land. The zoning classifications provide value to the properties and no conditions have changed in the area to warrant major modifications to either the Future Land Use Map or zoning designations.

However, the requested rezoning is to allow an existing business within the community to expand. Providing opportunities for this to occur at their existing location is a reasonable request.

6. Effects on Surrounding Property

The requested rezoning would alter the boundary of the commercial zoning from 660 feet from West Main Street to a maximum of 2,500 feet from the right-of-way. This would impact both Rural Residential and Agricultural zoned properties a considerable distance from West Main Street, where an expectation of a rural environment exists, both because of existing land use patterns and the Future Land Use Map. While the existing business on the site may have minimal impact on the adjacent properties, rezoning these entire parcels to C: Local Business would allow any use within the district to develop on the site. The scale of commercial activity that could develop there would have a significant impact on adjacent properties.

RECOMMENDATION

The Planning Commission has three possible options when considering this request, as follows:

1. Recommend approval to the Township Board.
2. Recommend a portion of the site be rezoned.
3. Deny the request.

Based on the considerations noted above, staff would recommend that the Planning Commission consider rezoning a section of the subject site. Similar to the D & R rezoning, a portion of the property could be rezoned to commercial that would allow for the expansion of the existing business but would provide protection for the adjacent property owners.

Our recommendation would be to allow the C: Local Business District to extend to the north an additional 440 feet for a total of 1,100 feet and to the west a total of 876 feet from the eastern property line. Please see the attached map for the visual depiction of the recommendation. This proposal would provide a border of RR: Rural Residential property to north and west, providing a buffer to the adjacent residential uses from the encroachment of commercial development.

Respectfully submitted,

A handwritten signature in blue ink that reads "Julie Johnston". The signature is written in a cursive, flowing style.

Julie Johnston, AICP
Planning Director

Attachments: Application with Applicant Letter
Existing Zoning Map with Rezoning Request
Future Land Use Map
Minutes from D & R Sports Rezoning
Staff Recommendation Map



7275 W. Main Street, Kalamazoo, Michigan 49009-9334
Phone: 269-216-5223 Fax: 269-375-7180

PLEASE PRINT

PROJECT NAME & ADDRESS Leaders RPM / 8500 W. Main Street

PLANNING & ZONING APPLICATION

Applicant Name : West Main Properties, LLC
Company C/O Thomas M. Amon
Warner Norcross & Judd LLP
Address 900 Fifth Third Center
111 Lyon Street, NW
Grand Rapids, MI 49503
E-mail tamon@wnj.com
Telephone 616-752-2727 Fax 616-222-2727
Interest in Property Owner

THIS
SPACE
FOR
TOWNSHIP
USE
ONLY

OWNER*:

Name West Main Properties, LLC
Address 8500 W. Main Street Fee Amount _____
Kalamazoo, MI 49009 Escrow Amount _____
Email _____
Phone & Fax 866-572-1051

NATURE OF THE REQUEST: (Please check the appropriate item(s))

- | | |
|---|---|
| <input type="checkbox"/> Planning Escrow-1042 | <input type="checkbox"/> Land Division-1090 |
| <input type="checkbox"/> Site Plan Review-1088 | <input type="checkbox"/> Subdivision Plat Review-1089 |
| <input type="checkbox"/> Administrative Site Plan Review-1086 | <input checked="" type="checkbox"/> Rezoning-1091 |
| <input type="checkbox"/> Special Exception Use-1085 | <input type="checkbox"/> Interpretation-1082 |
| <input type="checkbox"/> Zoning Variance-1092 | <input type="checkbox"/> Text Amendment-1081 |
| <input type="checkbox"/> Site Condominium-1084 | <input type="checkbox"/> Sign Deviation-1080 |
| <input type="checkbox"/> Accessory Building Review-1083 | <input type="checkbox"/> Other: _____ |

BRIEFLY DESCRIBE YOUR REQUEST (Use Attachments if Necessary): See attached letter

LEGAL DESCRIPTION OF PROPERTY *(Use Attachments if Necessary):*

See enclosed survey. Property is described as Parcels A, B and C.

PARCEL NUMBER: 3905- 05-16-180-047 & 3905-05-16-255-014

ADDRESS OF PROPERTY: 8500 W. Main Street, Kalamazoo, MI 49009

PRESENT USE OF THE PROPERTY: Commercial recreation/power sports/marine dealer & service

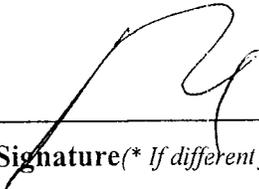
PRESENT ZONING 201 & 202 SIZE OF PROPERTY 30.38 acres

**NAME(S) & ADDRESS(ES) OF ALL OTHER PERSONS, CORPORATIONS, OR FIRMS
HAVING A LEGAL OR EQUITABLE INTEREST IN THE PROPERTY:**

Name(s)	Address(es)
<u>Leaders, Inc.</u>	<u>8500 W. Main Street, Kalamazoo, MI 49009</u>

SIGNATURES

I (we) the undersigned certify that the information contained on this application form and the required documents attached hereto are to the best of my (our) knowledge true and accurate. I (we) acknowledge that we have received the Township's Disclaimer Regarding Sewer and Water Infrastructure. By submitting this Planning & Zoning Application, I (we) grant permission for Oshtemo Township officials and agents to enter the subject property of the application as part of completing the reviews necessary to process the application.



Owner's Signature (* If different from Applicant)

2/1/16

Date

Applicant's Signature

Date

- Copies to:
- Planning -1
- Applicant -1
- Clerk -1
- Attorney-1
- Assessor -1
- Planning Secretary - Original

PLEASE ATTACH ALL REQUIRED DOCUMENTS

February 1, 2016

Oshtemo Charter Township
c/o Ben Clark, Zoning Administrator
7275 W. Main Street
Kalamazoo, Michigan 49009-9334

Re: **Rezoning Request – 8500 W. Main Street, Kalamazoo, Michigan
Parcel ID Nos. 05-16-180-047 & 05-16-255-014**

Dear Mr. Clark:

On behalf of West Main Properties, LLC (“**West Main**”), I have enclosed with this letter a rezoning application for above-referenced parcels, along with a check in the amount of \$2,000 for the rezoning request fee. I have also enclosed for the Township’s review (1) a survey that includes a legal description of the property (identified as parcels A, B, and C thereon, and herein referred to as the “**Property**”); and (2) a Master Site Development Plan. This application is further supporting by the narrative statement below.

Narrative Statement in Support of Rezoning Request

The applicant’s Property has the unusual distinction of being designated with mixed zoning classifications: the southern portion of the Property is zoned Commercial, while the northern portion is zoned Rural Residential. Applicant respectfully requests that the Township rezone the entire Property as Commercial, so that it is subject to one, uniform zoning designation.

Applicant’s Property is currently occupied and used by Leaders, Inc., which is also known as Leaders RPM (and formerly known as Leaders Marine) (“**Leaders**”). Leaders buys, sells, rents, and services marine, powersports, and recreational vehicles, including boats, personal water craft, motors, off-road utility vehicles, snowmobiles, and motorcycles. Leaders has operated the store and service department at its 8500 W. Main location for the past several decades.

For unknown reasons, portions of the Property have been separately zoned, as both Commercial and as Rural Residential. Leaders’ existing operations are located on the southern portion of the Property, in the Commercially-zoned area. Currently, Leaders operates a storage/staging area in the northwest corner of the southern half of the property. The existing storage buildings are located on a hill, which has resulted in the operations on the Property being cramped and inefficient.

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Accordingly, Leaders would like to modify its existing site plan to accommodate a relocated storage building and staging area. *See* enclosed Master Site Development Plan. The proposed boat staging area would extend north, overlapping a portion of the Property that is currently zoned Rural Residential. The more open staging area will enable Leaders' service department to retrieve its customers' boats in a quick, safe and efficient manner, and better serve local residents.

Leaders does not know why its Property was given mixed zoning designations, but believes it may have been an oversight on the part of the Township in the zoning process, since zoning designations typically track property boundaries. The Property is situated along Main Street, with commercial uses to the east and to the west of the Property. The properties to the East of applicant's Property have existing commercial uses that extend northward at least as far as (if not further than) the boat staging area proposed by Applicant.

The existing zoning on applicant's Property creates two separate standards that applicant cannot simultaneously comply with, and effectively renders half of the Property unusable. Rezoning the entire Property to Commercial is an appropriate, common sense way to serve the public interest, and is necessary to comply with the Zoning Enabling Act's command that zoning regulations must be uniform and fairly applied. *See* MCL 125.3201. As a zoning matter, the rezoning will avoid rendering a significant portion of applicant's Property unusable, and on a practical level, it will enable Leaders to relocate its existing boat staging area and modify its existing operations in a manner that will promote efficiency, safety, and the best service for its customers.

Accordingly, Leaders respectfully requests that the Township grant its requests to rezone the entirety of the above-referenced parcels to "C" Commercial. Please have this rezoning request be placed on the Planning Commission's calendar for its meeting to be held on March 10, 2016. If you require any further information or have any questions, please do not hesitate to contact me at (616) 752-2727 or Scott Musser of Delta Design Systems, at (269) 353-7800.

Sincerely,



Thomas M. Amon

TMA/cjm
Enclosures
1333829

West Main Properties, LLC Rezoning Request

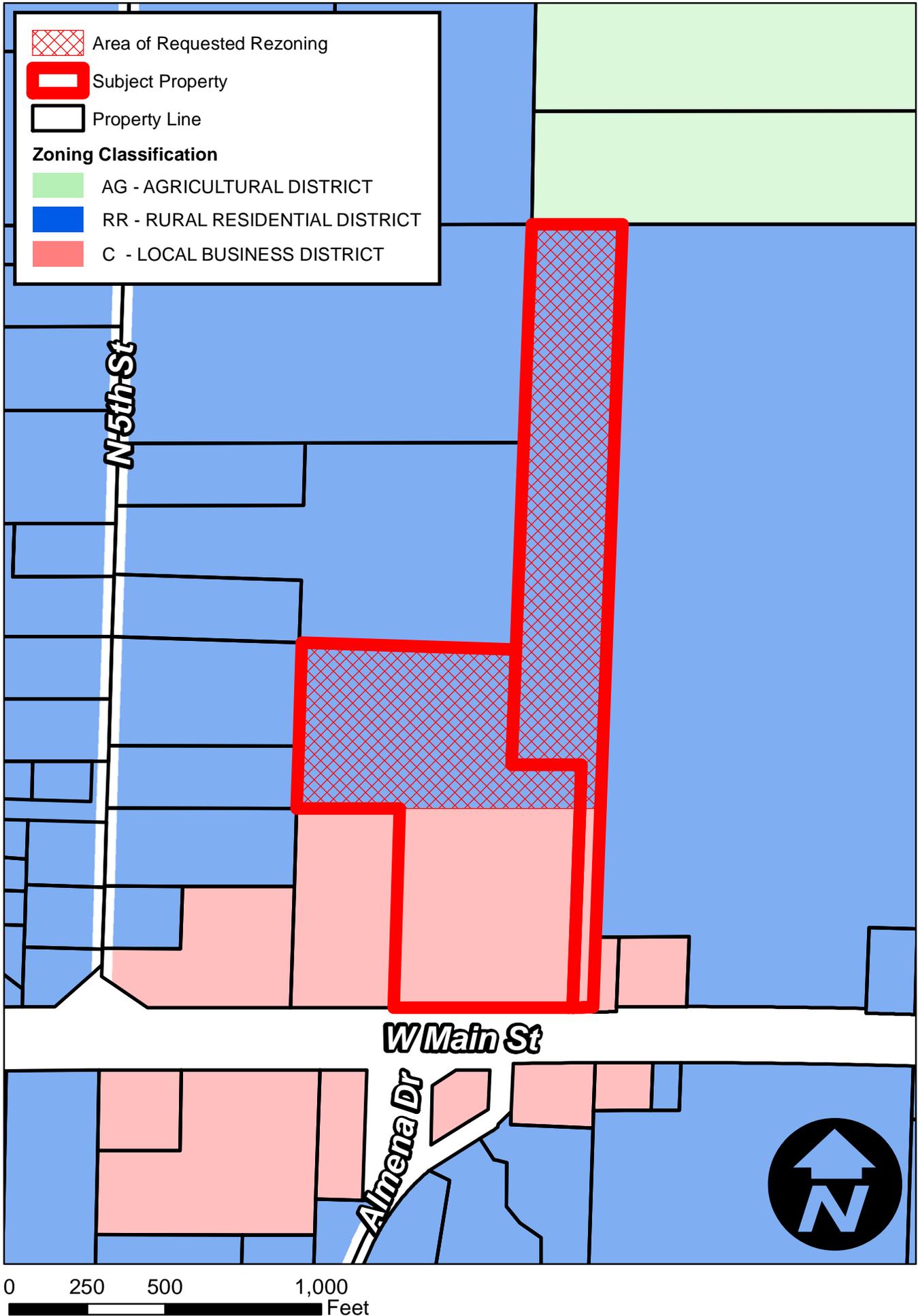


FIGURE 8.1

Future Land Use

Oshtemo Charter Township, Kalamazoo County, Michigan

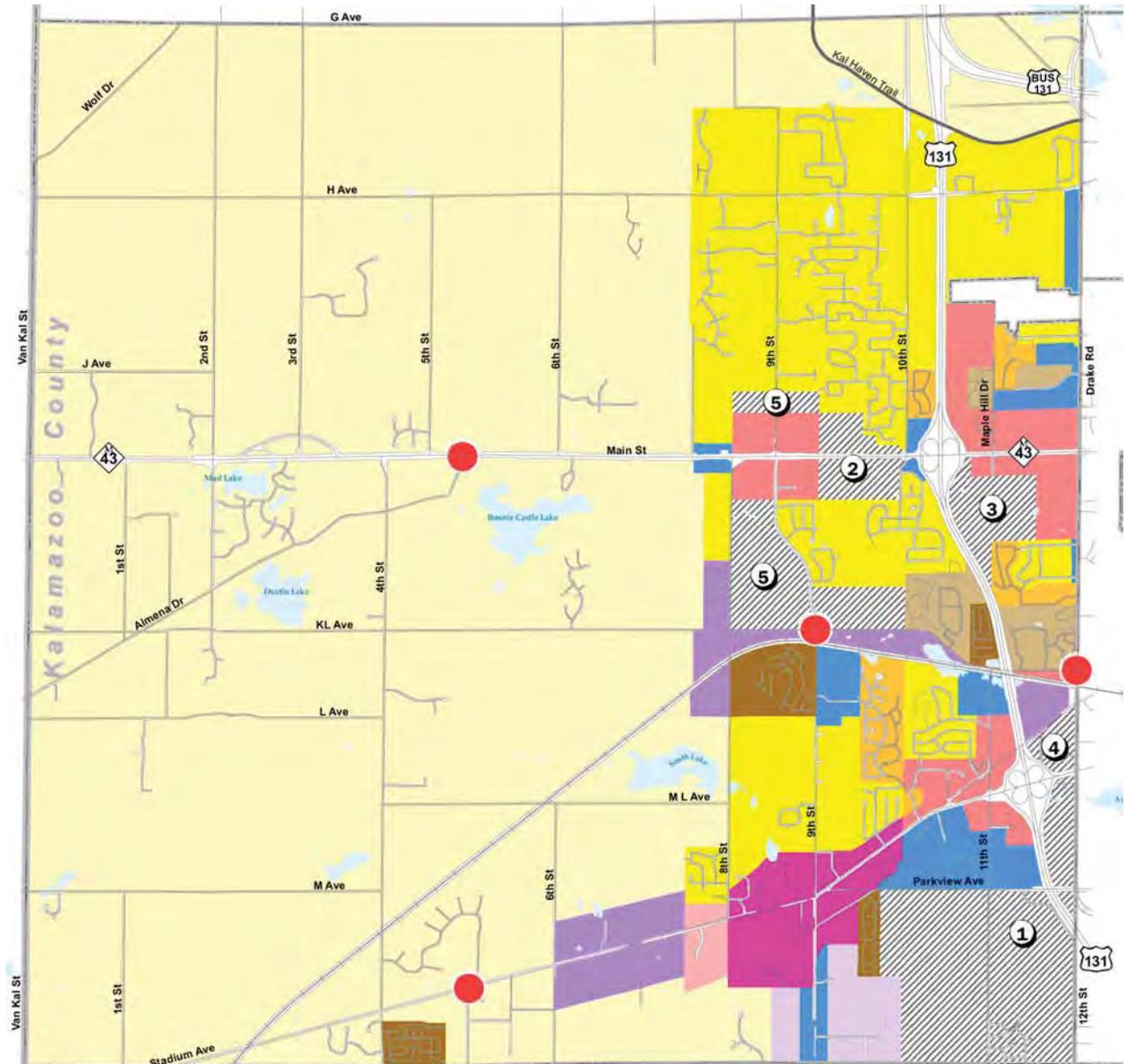
LEGEND

- Rural Residential
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Manufactured Residential
- Transitional Mixed Use
- Local Commercial
- General Commercial
- Village Commercial
- Research Office
- General Industrial
- Sub Area
- Neighborhood Commercial Nodes

Sub-Areas

- ① Genesee Prairie
- ② West Main Street
- ③ Maple Hill Drive South
- ④ Century Highfield
- ⑤ 9th Street

Base map Source: MiGCI v6b & v7b
 Data Source: Oshtemo Township, 2008;
 McKenna Associates, 2012



OSHTEMO CHARTER TOWNSHIP
PLANNING COMMISSION

March 10, 2005

Agenda

VAN DAM (D & R SPORTS CENTER) - REZONING REQUEST - PUBLIC HEARING - 8178 AND 8128 WEST MAIN STREET - (PARCEL NOS. 3905-16-280-012 AND 3905-16-280-015)

PRIVATE STREETS - WORK ITEM

A meeting was conducted by the Oshtemo Charter Township Planning Commission on Thursday, March 10, 2005, commencing at approximately 7:00 p.m. at the Oshtemo Charter Township Hall.

MEMBERS PRESENT: James Turcott, Chairman
Deborah L. Everett
Lee Larson
Mike Smith
Fred Gould
Terry Schley

MEMBERS ABSENT: Kathleen Garland-Rike

Also present were Jodi Stefforia, Planning Director; James W. Porter, Township Attorney; and approximately four other interested persons.

CALL TO ORDER

The meeting was called to order at 7:00 p.m.

AGENDA

The Chairman asked if there were any changes to the Agenda. Ms. Stefforia said that she would provide the Commission with an update under "Other Business", but had no proposed changes to the Agenda. Ms. Everett made a motion to approve the Agenda as submitted. Mr. Gould seconded the motion. The Chairman called for a vote on the motion, and the motion passed unanimously.

MINUTES

The Chairman indicated that the next item on the Agenda was approval of the minutes of February 10, 2005. Mr. Larson made a motion to approve the minutes as submitted. The motion was seconded by Mr. Schley. The Chairman called for discussion, and hearing none, called for a vote on the motion. The motion passed unanimously.

VAN DAM (D & R SPORTS CENTER) - REZONING REQUEST - PUBLIC HEARING - 8178 AND 8128 WEST MAIN STREET - (PARCEL NOS. 3905-16-280-012 AND 3905-16-280-015)

The Chairman said the next item for consideration was the public hearing on D & R Sports Center's request to rezone the rear of two abutting parcels from "RR" Rural Residential to "C" Local Business District, leaving the northern 117 feet in "RR" Rural Residential as a buffer. He said the subject properties were located at 8178 and 8128 West Main Street, Parcel Nos. 3905-16-280-012 and 3905-16-280-015. The Chairman asked for a report from the Planning Department.

Ms. Stefforia presented her report dated March 10, 2005, which is incorporated herein by reference. She explained to the Planning Commission that Randy Van Dam, owner of D & R Sports Center, was requesting the rezoning of a portion of two of his properties from "RR" Rural Residential to "C" Local Business District. She said the subject properties were in two different zoning districts, with the front 660 feet of both properties zoned "C" Local Business District and the rear 557 feet of the western parcel and 140 feet of the eastern parcel being zoned "RR" Rural Residential District.

Ms. Stefforia said that D & R Sports Center is located on the western parcel, which received formal site plan approval in 1985. She said outdoor display was added in 1987 as a special exception use and expanded in 1988 and 1994. She said that the subject properties have been zoned "C" Local Business since 1973. Ms. Stefforia then provided an analysis of the surrounding property. She said to the north and east was "AG" Agricultural and to the south and west was "RR" Rural Residential.

Ms. Stefforia then took the Commissioners through the criteria for rezoning. Ms. Stefforia first asked whether the proposed zoning was supported by the Master Land Use Plan. She said neither the current zoning nor the proposed rezoning were consistent with the Master Land Use Plan. However, she did note certain excerpts from Chapter 5 of the Master Land Use Plan which referenced the right of such activities to continue in their present locations, but that future rezoning decisions would discourage continuation of the establishment of "scattered, unplanned business locations."

However, given the current zoning and the number of commercial businesses in the area, Ms. Stefforia asked the Commission whether this particular stretch of West Main Street (which is made up of several businesses zoned commercial), could be considered a "scattered" development. She also pointed out that in 2002 the Township had approved commercial rezoning of the eastern half of a small property on the south side of the road in the immediate vicinity.

Ms. Stefforia next asked whether the proposed rezoning would severely impact traffic, public facilities and the natural characteristics of the surrounding area or significantly change population density. Ms. Stefforia said that, given the capacity of West Main Street, the existing traffic, and existing characteristics of the area, the rezoning would not be detrimental.

Ms. Stefforia then asked the Planning Commission whether the proposed rezoning would constitute a spot zone granting a special privilege to one land owner not available to others. Ms. Stefforia noted that half the property in the area was zoned "C" Local Business District and that there were other Local Business District properties to the west and southwest across West Main Street. She concluded that the rezoning would not be considered a spot zone if

approved.

Ms. Stefforia asked whether the proposed rezoning was contrary to the established land use pattern. Ms. Stefforia said, given the established land use pattern in the area, which contained a mixture of uses, she did not believe that the rezoning would be contrary to the existing land use in the area.

Ms. Stefforia questioned whether the proposed rezoning, if approved, would stimulate similar rezoning requests in the vicinity. She said, while it was possible that property owners with some limited commercial zoning might seek rezoning of the balance of their properties, that could occur regardless of whether the present request was approved or not. She also noted that there were limited parcels in this area which are similarly situated and that each request would have to be considered on a case-by-case basis.

Ms. Stefforia asked the Planning Commission if there had been a change in conditions which would support the proposed rezoning. She then noted that there was a recent expansion at Leader's Marine and opined as to whether this could be considered a change in conditions supporting the rezoning. She said, similarly, that a multi-tenant commercial building next to Leader's had been completed in recent years. She then added it was unlikely that any commercial property in this West Main Street location would be used in a manner other than for business. Therefore, she thought that the Planning Commission should consider the rezoning of some of the rear acreage, given the fact that it has been zoned commercial for more than 30 years and not likely to ever come into compliance with the Master Land Use Plan.

Lastly, Ms. Stefforia asked the Planning Commission to consider whether there were adequate sites available elsewhere to accommodate the proposed use. Ms. Stefforia noted that there were not many, if any, commercial properties available in the Township that would satisfy the building and outdoor display needs of the applicant.

The Chairman asked if the Planning Commissioners had any questions of Ms. Stefforia. Hearing none, the Chairman asked to hear from the applicant, Randy Van Dam.

Mr. Van Dam introduced himself to the Planning Commission. He began by explaining that he had met with one of his closest neighbors, the Applegates, and discussed with them the proposed buffer of 117 feet. He said he had not arrived at that figure based on any specific formula. Therefore, he said he would like to request that the buffer area be expanded to 200 feet so as to be more compatible with his neighbors to the north and east. Mr. Van Dam explained that the property had been commercial since 1973, and that while he was not requesting any increase in his frontage, he did need additional display area for his boats.

The Chairman asked if there was any comments from the audience. Mrs. Amy Applegate explained to the Commission that she owns the property surrounding the subject property. She said, while she would like to keep the property Rural Residential, she was, at the same time, realistic and appreciated Mr. Van Dam's offer for an increase in the buffer area. She said she thought such a buffer was necessary due to the fact that her property is higher in elevation than the D & R Sports Center property, and that they could see much of which occurred on the subject property. She said if the subject property remained boat storage, she thought that would be far superior than seeing additional buildings built on site and necessary to provide additional protection for her property.

The Chairman asked if there was anything further from the public, and hearing none, closed the public portion of the meeting and called for deliberations among the Planning Commission members. The Chairman said that Ms. Stefforia had taken the Commission through the items they needed to consider and asked if the Commission wanted to discuss those items one by one. Ms. Everett indicated that she did want to discuss each item. The Chairman said they would proceed accordingly.

Item 1. The Chairman asked the question of whether the proposed rezoning was supported by the Master Land Use Plan. The Chairman then noted that the Planning Commission had agreed not to open up the Master Land Use Plan at this time, but consider each rezoning on a case-by-case basis. The Planning Commissioners agreed.

Item 2. The Chairman asked whether the rezoning would severely impact traffic, public facilities or the natural characteristics of the surrounding area. The Chairman said that he agreed with the Planning Director's comments as set forth in her report. The Planning Commission members agreed.

Item 3. The Chairman asked whether the proposed rezoning would constitute a spot zone. The Chairman said he did not believe this would constitute a spot zone. The Planning Commission members agreed.

Item 4. The Chairman said that the fourth item was whether the proposed rezoning was contrary to the established land use pattern. It was the consensus of the Planning Commission members that the proposed rezoning was consistent with the mix of uses in the area.

Item 5. The Chairman asked, if the rezoning was approved, whether it would stimulate similar rezoning requests and whether it would constitute a precedent. Attorney Porter said, to the extent that there are similarly-situated properties, the approval of this request would likely constitute a precedent. He did note, however, that if the Planning Commission could distinguish other properties from the subject property, they would likely only have to allow commercial rezoning within the current confines of the existing commercial area. He said he thought their greatest strength was in not allowing the commercial to move further east or further west, but within those confines, he thought that the change could provide a precedent for similarly-situated properties.

Mr. Smith said he thought it would be naive to think that other properties in the area would not want to rezone to commercial. He said he thought the best that they could do is deal with it and establish buffers similar to the one proposed by the applicant.

Mr. Schley said he thought they would have to look at this area in the future under the Township Master Land Use Plan. He said he thought the best that the Planning Commission could do would be to treat this as a node of commercial property which was already quite well defined.

Ms. Everett said her concern was that the citizens did not want to see West Main Street turn into another Westnedge. She said, while there was not a large number of people from the public at this hearing, she still thought that the citizens had expressed an intent to limit the commercial zoning further out on West Main. She said that, while she did not believe the Planning Commission could take a hard line on this, they could look at each case individually and at least keep it to a commercial node as suggested by Mr. Schley.

The Chairman said what he did not want to see in the area was a bunch of strip malls dotting the landscape.

Mr. Larson said he thought there was some principle upon which they had limited the commercial zoning to 660 feet. While he could not recall what that was, he thought it was important at the time and thought that rezoning to a greater depth would prompt other commercial owners in the area to request a similar rezoning.

The Chairman asked what the Overlay Zone was. Ms. Stefforia said the depth is 880 feet.

Mr. Gould asked if the Applegates requested rezoning whether they should be rezoned to "C" Local Business District. Attorney Porter noted that it would depend on whether or not they saw the D & R property as the east end of the commercial node in the area.

Lynne Applegate introduced herself to the Commission and reminded the Planning Commission that their land was higher than the D & R property, and they, again, would like to see a substantial buffer put in place in order to deal with the disparity in topography. Mr. Van Dam said that was why he was willing to extend the buffer to 200 feet and that he was planning on putting in a berm with some plantings.

Ms. Everett asked, if only a part of the Hanley property was rezoned and the rear portion left in Rural Residential, whether that would constitute a taking. Attorney Porter said it would not constitute a taking if enough land was left on the rear portion of the property to actually be developed as Rural Residential.

Mr. Schley said he thought there was a sufficient rationale to base the east/west limits of the commercial node, as he saw it. However, he said the more difficult issue is defining the north/south parameters of the commercial area. He said he thought it would be difficult to allow one property owner to develop further into their property, while denying the same consideration to an adjoining property owner.

Ms. Stefforia said perhaps they could distinguish the property based upon the length of time that one party had used their property for commercial versus a neighboring property. In addition, Ms. Stefforia added that the Hanleys' use was not a commercial use unlike the other operations in the vicinity.

Mrs. Applegate asked the Planning Commission if Leader's Marine could extend their business. Ms. Stefforia said they certainly would be entitled to make that request. Ms. Everett pointed out that, if they did, the Commission would likely require a buffer similar to that imposed on D & R Sports. She also noted that a portion of that property is closer to many more residents than the D & R property.

Item 6. The Chairman asked if there had been a change in conditions in the surrounding area which would support the zoning. The Chairman said that he thought the change in Leader's property, as well as the property on the south side of M-43 were relevant considerations. The Commission concurred.

Item 7. The Chairman asked if there were adequate sites properly zoned or available elsewhere to accommodate the proposed use. It was the consensus of the Planning Commission that there was not sufficient commercial property suitable for the proposed use.

The Chairman called for further discussion of the Commission. Hearing none, he said he would entertain a motion. Mr. Larson made a motion to rezone the subject properties with the exception of the north 200 feet which would remain "RR" Rural Residential, based upon the fact that the property had been zoned for commercial business for over 30 years and that the business had been on site since 1982, and it was justifiable to allow the business to expand without necessarily setting a precedent, and for the reasons set forth in the Planning Department's report and agreed to by the Planning Commission members. The motion was seconded by Mr. Gould. The Chairman asked if there was further discussion of the Commission. Hearing none, he called for further public comment, and again hearing none, called for a vote on the motion. The motion passed unanimously, 6-to-0.

PRIVATE STREETS - WORK ITEM

The Chairman indicated that the next item for consideration was a review and outline of a proposed amendment to allow private streets. Ms. Stefforia presented her report on private streets dated March 1, 2005, and the same is incorporated herein by reference. Ms. Stefforia, after presenting her report to the Planning Commission, indicated that she was seeking direction from the Commission.

The Chairman stated that the first item to consider was whether the Township would want to acquire an easement or a right-of-way, dedicated to the Township, as a means of exercising control over the private street.

The Chairman said he thought that cross-access was a big concern. Mr. Schley said he thought it was very strong concern of the Planning Department Staff. Mr. Larson said he favored acquiring a street right-of-way versus an easement. The Chairman said that would allow the Township to maintain control. Ms. Stefforia pointed out that the Township requires a right-of-way in open space developments for ingress and egress.

The Chairman asked if attaining such a right-of-way would be for further public acquisition. Ms. Stefforia said not really; it was more for purposes of maintaining the quality of design.

Mr. Smith asked if the Township would take over the private roads in the future. Ms. Stefforia said she did not believe that they would.

Ms. Everett asked who would trigger the repairs. Attorney Porter indicated that repairs on private roads are typically triggered by the property owners through a petition seeking a special assessment for repairs.

Mr. Schley asked what the difference was between an easement and a right-of-way. Ms. Stefforia said that easements are typically private and that right-of-ways are generally public. She said that in smaller areas not needing connectivity, the Township might only want to obtain an easement over the area in question, rather than a public right-of-way. Mr. Schley said he would probably lean more toward just obtaining an easement rather than a right-of-way. At that point, Attorney Porter pointed out the difficulty that the Township is having with Phase 2 storm water requirements and the possibility that the Township might not be interested in obtaining a public right-of-way for fear that it would trigger more involvement in the Phase 2 storm water review process.

The Chairman said that the second item for consideration was whether it would be appropriate

to have a sliding scale on street design/construction, depending upon the number of properties served. Mr. Larson said he thought it would be appropriate to consider those factors, but he thought the Commission should also consider the type of traffic, as well. The Chairman said he thought that average daily traffic counts would be important in determining the type of street design required. Ms. Stefforia said she thought the Planning Commission could do that, and perhaps develop a more equitable system for street design requirements.

The third question was whether the Commission would like a preliminary review where no development is shown to consider the feasibility of cross-access without the limitations imposed by the developer's design. Ms. Stefforia pointed out that sometimes it is easy to lose focus when reviewing a site plan; whereas, if you are looking at a blank slate or an undeveloped piece of property, you can more easily see the need for cross-access and connectivity. Ms. Everett said she would strongly favor preliminary review and thought it would save re-doing the development if connectivity or cross-access was needed. Mr. Larson said he thought it made a great deal of sense to look at it prior to site plan development. It was a consensus of the Commission that Item 3 was an excellent proposal.

The fourth item was to consider if it would be appropriate to require a second private street connection to an abutting public street when more than a certain number of sites were served, or street length is achieved. Mr. Schley said he thought that the proposal was eminently reasonable. The Chairman said he thought it was a reasonable proposal, and the other members of the Commission concurred.

The fifth item is to discuss if the Ordinance should require storm water to be handled through natural means without creation of ponds unless absolutely necessary. Mr. Schley thought that the Planning Commission needed to have a consistent position on this issue. He said, if they were lessening the street requirements so as to limit the solid surface, he thought the Township should not allow the property to then be over-developed with buildings and parking areas. Ms. Stefforia said they could develop a proposal based upon a percentage of coverage of the site. Attorney Porter indicated he thought that was possible, but again, expressed some concern about the Federal Phase 2 storm water retention requirements. Mr. Schley said that it only made sense that, if you were going to allow smaller roads with less storm water, that the Township put limitations on the developer to not pave over and cover an excessive amount of the area with other types of improvements. He said he thought in this way, it would be a fair trade.

Future Land Use Map Amendment - Discussion Item

Ms. Stefforia said, with the Township Board's recent decision regarding sewer along H Avenue, she wondered if the Commission should consider changing the zoning along H Avenue from "R-2" to "RR". Ms. Everett said she thought a private developer would pay for bringing that type of infrastructure if the property was developed. Mr. Schley said that a private developer could pay for such improvement, but he was not sure that was the issue the Planning Department was asking. Ms. Everett asked what the difference would be between developing the property as "RR" versus "R-2". Ms. Stefforia pointed out that, with water and septic, a person could develop 15,000 square foot lots; whereas, if it was "RR", a density of one and one-half dwelling units per acre would be allowed.

Mr. Larson said he thought it was appropriate to reduce the density of that area. Ms. Everett said that this would certainly be more in keeping with the rural character of the Township in

that area. Mr. Larson said that, by making it less dense, it would decrease the demand on services in the area such as sewer and water. Ms. Everett said not requiring those services would be consistent with the desires of the homeowners in that area.

Mr. Schley asked, if the property was unlikely to develop as "R-2" Residential, whether it was worth the trouble of having a public hearing to change the Master Land Use Plan or rezone the property. Mr. Schley said he thought it would be interesting to see what the owners thought, and he was also concerned about whether anyone had purchased subsequent to the change to the "R-2" zoning. Mr. Gould said he thought, if the zoning was changed, it would limit growth. Ms. Everett said she thought it was more in the nature of managing growth as opposed to limiting growth. Mr. Larson said, as part of a planned community, he thought it was appropriate for them to set density in accordance with what public utilities were available to the area.

Mr. Schley said he would support the change so long as no one had invested in that property, anticipating development in accordance with the "R-2" zoning classification.

Mr. Larson said he thought, after the recent hearing in front of the Commission, that it would show good faith on the Township's part to change the Master Land Use Plan and the zone the property back to "RR" Rural Residential. Ms. Everett said she thought the Land Use Plan would support a change to Rural Residential.

Other Business

Ms. Everett informed the Planning Commission of the proposal raised at the Township Board level regarding the repeal of the Ordinance provisions regarding flag pole height.

Ms. Stefforia also explained that Maple Hill Auto was looking at some property on Stadium Drive and might be proposing some type of contract zoning for property in that area.

Adjournment

There being no other business, the meeting at approximately 8:55 p.m.

OSHTEMO CHARTER TOWNSHIP PLANNING COMMISSION

By:
Acting Secretary
Minutes prepared:
March 15, 2005

Minutes approved:
, 2005

[< Back](#)

West Main Properties, LLC Rezoning Request

Staff Recommendation

