

OSHTEMO CHARTER TOWNSHIP ZONING BOARD OF APPEALS

MINUTES OF MEETING HELD FEBRUARY 24, 1997

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Agenda

SPEEDWAY - SITE PLAN REVIEW - SITE/BUILDING MODIFICATIONS - DRAKE ROAD/KL AVENUE

ROE COMM, INC. - SITE PLAN REVIEW - COMMUNICATIONS TOWER/EQUIP. BUILDING - 5088 W. MICHIGAN; VARIANCES FROM FRONTAGE AND PAVING REQUIREMENTS

PROSOURCE - VARIANCE FROM SECTIONS 82.900/84.200 - TIME EXTENSION FOR COMPLETION OF SITE - 5400 W. MICHIGAN

UNIVERSAL IMAGES - VARIANCE FROM SECTIONS 82.900/84.200 - TIME EXTENSION FOR COMPLETION OF SITE - 2005 INVERWAY (LOT 7, WHITEGATE SQUARE)

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A meeting was conducted by the Oshtemo Charter Township Zoning Board of Appeals on Monday, February 24, 1997, commencing at approximately 3:00 p.m. at the Oshtemo Charter Township Hall, pursuant to notice.

MEMBERS PRESENT:      Brian Dylhoff, Chairperson  
                                 David Bushouse  
                                 Thomas Brodasky  
                                 William Saunders  
                                 Lara Meeuwse

MEMBERS ABSENT:      None

Also present were Rebecca Harvey, Township Planning and Zoning Department, Patricia R. Mason, Township Attorney, and two (2) other interested persons.

**CALL TO ORDER**

The meeting was called to order at 3:02 p.m.

**MINUTES**

The Board considered the minutes of the meeting of February 3, 1997. Ms. Meeuwse pointed out that, as to the vote reflected on page 3, she had not voted in favor of the motion.

Mr. Brodasky moved to approve the minutes as amended. Ms. Meeuwse seconded the motion, and the motion carried unanimously.

**SPEEDWAY - SITE PLAN REVIEW - SITE/BUILDING MODIFICATIONS - DRAKE ROAD/KL AVENUE**

The next item was the application of Chris Crisenbery, representing Emro Marketing Co., for site plan review of proposed site/building modifications to the existing Speedway fuel sales and convenience store. The subject site is located at 1250 S. Drake Road and is within the "C" Local Business District Zoning classification.

Ms. Harvey stated that she had received a revised site plan and a traffic report from the applicant. However, these items had been received only a few days before and there was insufficient time to obtain a review of the traffic report by the Township Traffic Consultant (KATS). The applicant understood that the recommendation to the Board would be that the item be tabled to allow for the Township Traffic Consultant to have an opportunity to review the traffic report. Ms. Harvey suggested tabling the item to the meeting of March 17, 1997. She stated that the applicant was in agreement with this proposal.

Mr. Saunders moved to table the item to the meeting of March 17, 1997. Mr. Brodasky seconded the motion. The motion carried unanimously.

**ROE COMM, INC. - SITE PLAN REVIEW - COMMUNICATIONS TOWER/EQUIP. BUILDING - 5088 W. MICHIGAN; VARIANCES FROM FRONTAGE AND PAVING REQUIREMENTS**

The next item was the application of John Carnago of Roe Comm, Inc., for site plan review of a proposed communications tower and equipment building on an existing 22-acre tower site located at West Michigan and US 131. The applicant also requested variance approval from the 200' frontage requirement established by Section 66.201 of the Zoning Ordinance and the paving requirement established by Section 68.202 of the Zoning Ordinance. The subject site is located at 5088 W. Michigan and is within the "I-1" Industrial District Zoning classification.

Ms. Harvey stated that the applicant had been approved for the first tower located on the site in the early 1990's. At that time, the Zoning Board of Appeals had approved a variance to allow an unpaved driveway and as to frontage. In 1995, the applicant had applied for and was approved for a second tower at the site. Reference was made to the minutes of the meeting of June 5, 1995. At that time, again, variances from the 200' road frontage requirement and from the paving requirement of the Zoning Ordinance were granted. Site plan approval was also granted. However, since the second tower had not been established within the one-year period allowed by the Ordinance, the site plan approval had expired. The applicant now sought approval for the same project as was approved in 1995. Ms. Harvey pointed out that there had been no changes in the Ordinance which would

impact the review of this site. Ms. Harvey stated she had noticed the item for variance in case it was needed. The Township Attorney stated she felt that the variance granted in 1995 remained effective since it had been granted for the same application.

Will Saleske was present representing the applicant. He stated that he was a service manager for Roe Comm. Mr. Saleske stated that the one year had expired because the applicant had been awaiting specifications for the second tower. The applicant was now ready to proceed. In response to questioning by Mr. Brodasky, the applicant stated that there had been no changes from the original application. Ms. Meeuwse asked what type of tower would be established, and the applicant responded that a commercial two-way radio tower would be placed on the site.

The Chairperson called for public comment, and none was offered. The public hearing was closed.

Mr. Saunders moved to approve the site plan with the following conditions, limitations and notations:

- (1) That the additional tower would be served by the existing site access and no changes were proposed or approved.
- (2) That the parking area in front of the building to accommodate 2-3 vehicles, as proposed by the applicant, was approved.
- (3) That site lighting as proposed by the applicant was approved.
- (4) That no signage had been proposed or approved.
- (5) That existing vegetation on the site and in the vicinity of the tower should be retained to provide a buffer and maintain the character of the site and the general area.
- (6) That approval was subject to the Township Fire Department review and approval.
- (7) That the access point would only be used on a limited basis and not for heavy equipment; the access point would be made dust free.

Mr. Brodasky seconded the motion, and the motion carried unanimously.

**PROSOURCE - VARIANCE FROM SECTIONS 82.900/84.200 - TIME EXTENSION FOR COMPLETION OF SITE - 5400 W. MICHIGAN**

The next item was the application of Jack Vandenberg, representing ProSource, for variance approval from Sections 82.900 and 84.200 of the Zoning Ordinance as they relate to

the occupancy of the subject facility. A time extension for the completion of the site in compliance with the site plan approval of August 26, 1996, is requested. The subject site is located at 5400 W. Michigan and is within the "C" Local Business District Zoning classification.

Ms. Harvey referenced the vicinity map and corrected same as to the location of the site. Reference was made to the minutes of the meeting of August 26, 1996, in which the site plan had been approved. Ms. Harvey also made reference to a list of the incomplete site work, which includes: (1) pavement/concrete work, (2) parking lot striping, (3) barrier-free parking signs/logos, (4) fire lane signs, (5) dumpster and enclosure, (6) site lighting, (7) stormwater system (retention basin/fencing), (8) final grade, (9) north boundary screening, (10) landscaping, (11) Township Engineer and Fire Department review. The applicant sought temporary variance to allow occupancy before completion of these items.

Ms. Harvey stated that the Board had granted such variances in the past in that the process generally included identifying the items not completed, identifying the reasons the items had not or could not be completed, determination of whether there was a reasonable basis, and a time deadline for completion, and the requirement of cash assurance for completion of the items. She stated that she had provided the minutes for the credit union in Venture Park and for Fieldstone, two cases in which similar applications had been granted. Generally, such variances were subject to Fire Department review and approval.

It was noted that the credit union had been similarly situated as to the amount of work undone, except in that the paving was farther along than the subject application.

The Chairperson inquired as to whether anyone was present from ProSource. No one was present representing the applicant. Ms. Meeuwse moved to table the item to the end of the meeting, and Mr. Brodasky seconded the motion. The motion carried unanimously.

**UNIVERSAL IMAGES - VARIANCE FROM SECTIONS 82.900/84.200 - TIME EXTENSION FOR COMPLETION OF SITE - 2005 INVERWAY (LOT 7, WHITEGATE SQUARE)**

The next item was the application of Timothy Johnson, representing Universal Images, requesting variance approval from Sections 82.900 and 84.200 of the Zoning Ordinance as they relate to the occupancy of the subject facility. A time extension for completion of the site in compliance with the site plan approval of September 9, 1996, was requested. The subject site is located at 2005 Inverway Court and is within the "C" Local Business District Zoning classification. Ms. Harvey noted that she again had provided a list of the incomplete work, which included: (1) barrier-free signs/logos, (2) barrier-free ramp, (3) two landscape areas, (4) one-way sign, (5) two parallel parking spaces, (6) turnaround, (7) final coat paving, and (8) wheel bumps. Ms. Harvey stated that the site was "further along" than the ProSource site in that the paving had already been established. Ms. Harvey stated that she understood from the applicant that the items would be completed as weather

permitted. However, she also noted that the Board may feel that the signs could be taken care of now and did not need to await a change in the weather.

Sally Carr was present representing the applicant. She stated that she was manager of Universal Images. She noted that the items undone were primarily in the parking lot and could be completed after Memorial Day when the asphalt plants were to reopen.

The Chairperson asked about the signage, and the applicant responded that the barrier-free signage could be installed now. As to the barrier-free ramp, it had been completed but was not right.

The Chairperson stated he felt that the one-way sign could also be established and did not relate to the unavailability of asphalt.

Inquiry was made as to the landscape areas to the north and east which need to be redone. The applicant's representative stated that these areas would be done by the applicant but needed to be done when pavement could be broken up and planting could be made in good weather. Discussion of the deadline took place. Ms. Harvey stated that June 1 was typical. Mr. Saunders suggested July 1 as a deadline to give the applicant extra time to complete the project. Mr. Bushouse stated that he was in favor of the July 1 deadline so that the applicant would not have to come back for reapproval of the temporary variance.

Public comment was sought, and none was offered. The public hearing was closed.

Ms. Harvey suggested that the Board should condition approval of the variance with regard to the barrier-free ramp on review and approval by the Building Department and that the Building Department may feel that the ramp was required to be installed prior to occupancy by state statute.

Mr. Brodasky moved to grant temporary variance from Sections 82.900 and 84.200 so as to allow occupancy of the proposed site prior to completion of the listed items, with the exception of the establishment of the directional and barrier-free signage, which must be completed prior to occupancy. It was further required that the site be completed in strict compliance with the approved site plan and subject to Fire Department approval by July 1, 1997. Further, the variance was conditioned upon approval by the Building Department regarding variance as to the barrier-free ramp. The applicant was required to post a performance bond or provide a letter of credit or other cash assurance in an amount sufficient to provide for the completion of the items. The reasons identified for temporary variance were the weather conditions and past decisions by the Board. Ms. Meeuwse seconded the motion. The motion carried unanimously.

**PROSOURCE - VARIANCE**

The Board returned to the ProSource item, and it was noted, again, that no one was present on behalf of the applicant. Ms. Meeuwse moved to table the item to the meeting of March 3, 1997. Mr. Saunders seconded the motion. The motion carried unanimously.

**OTHER BUSINESS**

Ms. Harvey discussed a workshop plan that Comstock Township Hall offered by Mark Wyckoff of Planning and Zoning News.

**ADJOURNMENT**

There being no further business to come before the Board, the meeting was adjourned at 3:55 p.m.

**OSHTEMO CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS**

By: \_\_\_\_\_  
Brian Dylhoff, Chairperson

By: William Saunders  
William Saunders

By: Thomas Brodasky  
Thomas Brodasky

By: Lara Meeuwse  
Lara Meeuwse

By: David Bushouse  
David Bushouse

Minutes Prepared:  
February 25, 1997

Minutes Approved:  
3-17-97

AGENDA: \_\_\_\_\_

DATE: February 24, 1997

MINUTES: ZBA

SENT: March 20, 1997

ZBA

- Lara M.
  - Dave B.
  - Bill S.
  - Brian
  - Tom B.
- } 3-10-97

PEOPLE

Christopher E. Crisenbery, P.E.  
209 E. Washington Avenue, Suite 234  
Jackson, MI 49201

Emro Marketing Company  
500 Speedway Drive  
Enon, OH 43523-1056

PC

- Marvin
- \_\_\_\_\_ Lara
- Ken H.
- Millard
- Ted C.
- Wilfred

John R. Carnago  
1400 Ramona Avenue  
Kalamazoo, MI 49002

Jack Vandenberg  
8646 Shaver Road  
Kalamazoo, MI 49002

Timothy Johnson  
8998 West "ML" Avenue  
Kalamazoo, MI 49009

TB

- Fred
- \_\_\_\_\_ Dave B.
- \_\_\_\_\_ Marvin
- Norm

Home Builders Association  
5700 West Michigan  
Kalamazoo, MI 49009

Oshtemo Business Association  
P.O. Box 1  
Oshtemo, MI 49077

OFFICE

- Becky
- Bob
- Marci
- Lois
- Ron
- Tony
- Jim
- \_\_\_\_\_ Attorney's
- \_\_\_\_\_ Index
- Elaine

Total



7275 W. MAIN STREET, KALAMAZOO, MI 49009-9334  
616-375-4260 FAX 375-7180 TDD 375-7198

## **NOTICE**

### **OSHTEMO TOWNSHIP ZONING BOARD OF APPEALS**

February 24, 1997  
3:00 p.m.

### **AGENDA**

1. Call to Order

2. Approval of Minutes

- February 3, 1997

3. Site Plan Review - Speedway (Drake Road/"KL" Avenue)

Chris Crisenbery, representing Emro Marketing Company, requests Site Plan Review of proposed site/building modifications to the existing Speedway fuel sales and convenience store.

Subject site is located at 1250 South Drake Road and is within the "C" District.  
(3905-24-480-020)

4. Site Plan Review - Roe Comm, Inc.

John Carnago of Roe Comm, Inc. requests Site Plan Review of a proposed communications tower and equipment building on an existing 22 acre tower site located at West Michigan and US 131.

Applicant also requests Variance Approval from the 200 ft. frontage requirement established by Section 66.201, Zoning Ordinance, and the paving requirement established by Section 68.202, Zoning Ordinance.

Subject site is located at 5088 West Michigan and is within the "I-1" District.  
(3905-24-485-011)

**5. Variance Request - ProSource**

Jack Vandenberg, representing ProSource, requests Variance Approval from Sections 82.900/84.200, Zoning Ordinance, as they relate to the occupancy of the subject facility. A time extension for the completion of the site in compliance with the site plan approved on August 26, 1996 is requested.

Subject site is located at 5400 West Michigan and is within the "C" District.  
(3905-25-205-033)

**6. Variance Request - Universal Images**

Timothy Johnson, representing Universal Images, requests Variance Approval from Sections 82.900/84.200, Zoning Ordinance, as they relate to the occupancy of the subject facility. A time extension for the completion of the site in compliance with the site plan approved on September 9, 1996 is requested.

Subject site is located at 2005 Inverway Court (Lot 7, Whitegate Square) and is within the "C" District. (3905-25-188-070)

**7. Other Business**

**8. Adjourn**

AGENDA: ZBA  
MINUTES: \_\_\_\_\_

DATE: February 24, 1997  
SENT: February 14, 1997

ZBA

- Lara M.
- Dave B.
- Bill S.
- Brian
- Tom B.

PC

- ~~Anna R.~~
- Marvin
- Lara
- Ken H.
- Millard
- Ted C.
- Wilfred

TB

- Fred
- Dave B.
- Marvin
- Norm

OFFICE

- Becky
- Bob
- Marci
- Lois
- Ron
- Tony
- Jim
- Attorney's
- Index
- Elaine

Total

PEOPLE

Christopher E. Crisenbery, P.E. (Speedway)  
209 E. Washington Avenue, Suite 234  
Jackson, MI 49201

Emro Marketing Company  
500 Speedway Drive  
Enon, OH 43523-1056

John R. Carnago  
1400 Ramona Avenue  
Kalamazoo, MI 49002  
11 Labels

Jack Vandenberg (ProSource)  
8646 Shaver Road  
Kalamazoo, MI 49002  
17 Labels

Timothy Johnson (Universal Images)  
8998 West "ML" Avenue  
Kalamazoo, MI 49009  
25 Labels

Dave Person  
Kalamazoo Gazette  
P.O. Box 2007  
Kalamazoo, MI 49003

Home Builders Association  
5700 West Michigan  
Kalamazoo, MI 49009

Cripps Fontaine Excavating  
7729 Douglas Avenue  
Kalamazoo, MI 49004

Oshtemo Business Association  
P.O. Box 1  
Oshtemo, MI 49077

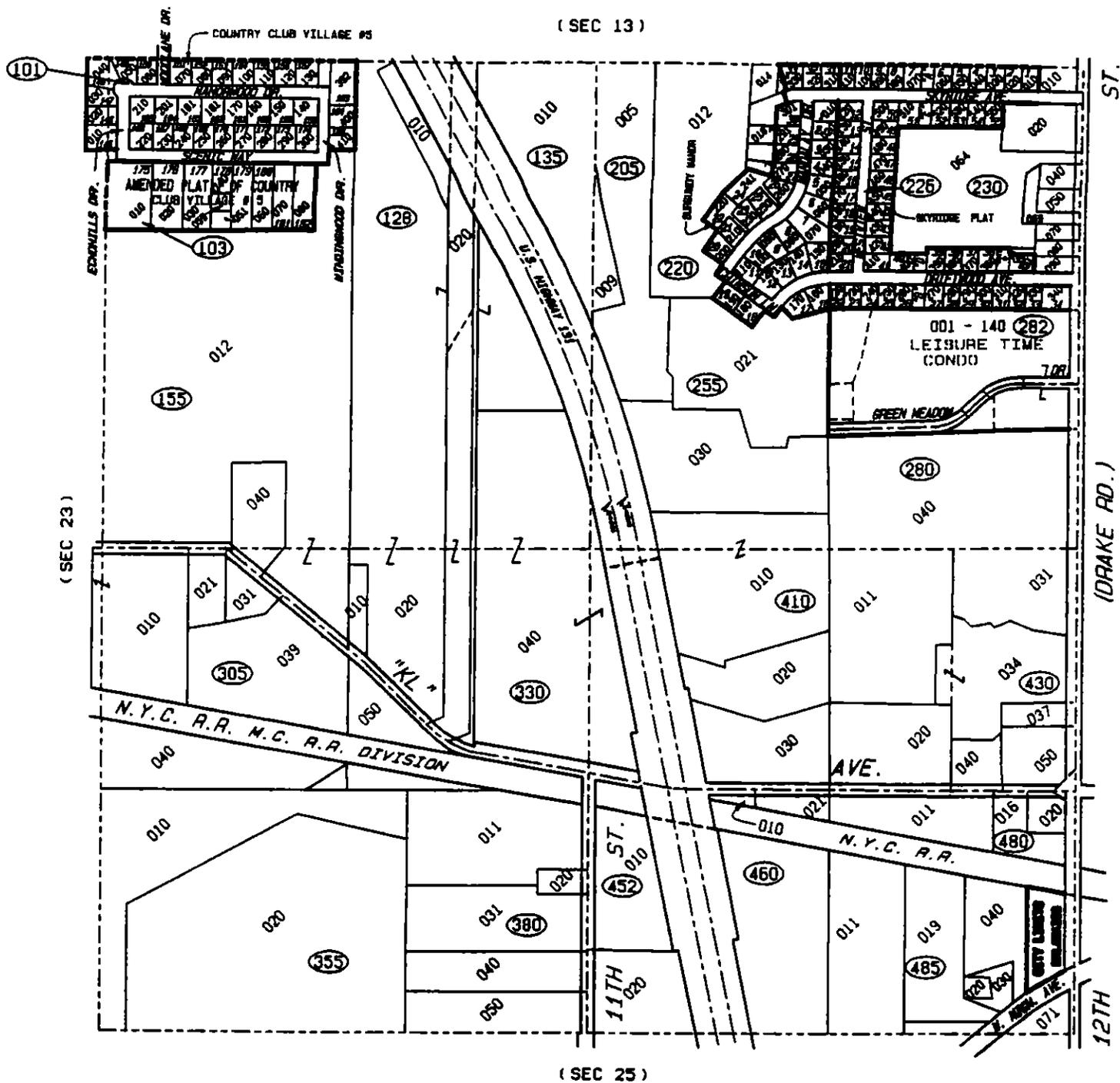
Stanley Rakowski  
7151 West "G" Avenue  
Kalamazoo, MI 49009

Wightman Ward Corp.  
1818 W. Centre  
Portage, MI 49024

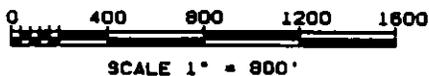
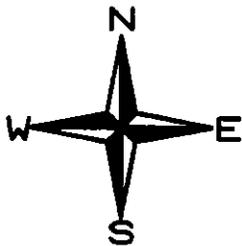
Fred Langeland  
Balkema Sand & Gravel  
1500 River Street  
Kalamazoo, MI 49001

# SECTION 24

( SEC 13 )



( SEC 25 )



DATE: AUGUST 25, 1993  
REVISED DATE: MARCH 8, 1996  
PRINTED DATE: MARCH 21, 1996

**ZONING BOARD OF APPEALS MINUTES - JANUARY 20, 1997**  
**EXCERPTS**

**SPEEDWAY - SITE PLAN REVIEW - PROPOSED SITE/BUILDING**  
**MODIFICATIONS - DRAKE ROAD/KL AVENUE**

The next item was the application of Chris Crisenbery, representing Emro Marketing Co., for site plan review of a proposed site/building modification to the existing Speedway fuel sales and convenience store. The subject site is located at 1250 S. Drake Road and is within the "C" Local Business District Zoning classification.

The report of the Planning and Zoning Department is incorporated herein by reference. Ms. Harvey stated that the primary issue for the site is access. She felt that The applicant was aware of this and would address this issue in his comments.

The applicant was present and stated that the proposal was a complete redesign or a "complete new image" for the site. The existing service station was one of the older designs, and it was felt that the remodeled fuel sales and convenience store would be an aesthetic improvement. He stated that the property in question was a "relatively small corner lot" on the corner of Drake Road and KL Avenue. The property had approximately 180' of frontage on Drake and approximately 200' of frontage on KL Avenue. Therefore, he felt it was impossible to meet the Ordinance's driveway spacing requirements. He recognized that this was a congested though signalized intersection. He also recognized that the applicant might need to come back with a traffic analysis before the curb-cut arrangement proposed by the applicant could be approved.

Mr. Crisenbery stated that the applicant felt that there would be a significant increase in traffic to the property of approximately 30-40%. The applicant was concerned about eliminating both Drake Road access points in that it was felt that access from KL and from Drake was necessary to allow for emergency access, necessary access for traffic utilizing the site, and access for trucks which needed to refill the tanks at the site. He stated that the applicant was asking the Board to deviate from some of its access standards. He stated that the applicant was not opposed to removing the curb cut closest to the intersection on Drake Road. The second Drake Road drive, it was felt, should be more centrally located. The applicant did not want to move the KL entrance further from the intersection in that it was felt this would disrupt traffic flow at the site and parking. The Chairperson inquired as to whether the applicant had examined the option of shared access with the neighboring property owner. The applicant responded that this had been considered but that the tank farm is located in this area and it was unwise to route traffic over this tank farm. Further, when these tanks were being refueled, the access point would be blocked.

Ms. Meeuwse inquired as to whether pavement would extend to the boundary of the property. The applicant responded that there would be a border, which at present has 2-3' of rock. The Chairperson inquired about the "future drive" noted on the plan. The applicant stated that there were no plans to establish this future drive and he was not sure why it was denoted on the plan.

Matt Riley, Engineer, stated that the applicant was concerned about cross-access in that there was a concern that neighboring traffic would utilize the site to avoid the intersection.

Again it was noted that, if the applicant was requesting deviation from the Access Management standards, a traffic analysis would be required.

Ms. Meeuwse inquired as to whether the applicant had considered locating the pumps to the back of the site. The applicant stated that a "line of sight" to the pumps was necessary for security reasons and that they did not wish to orient the back of the building toward the street. The applicant and all Board members again agreed that the north drive on Drake Road should be closed. There was discussion of the distance from the intersection to the south drive on Drake Road, and it was determined that this was approximately 150' from the intersection. The KL drive was approximately 125' from the intersection. There was discussion of throat depth, with the applicant stating that they could possibly work on obtaining more throat depth. Ms. Harvey stated that throat depth was needed to accommodate staging for access from the street so that there was no back-up into KL Avenue or Drake Road.

There was discussion of moving the KL Avenue entrance to the west. Board members agreed that the applicant should seek to obtain deeper throat depths at both entrances.

There was discussion of parking, and Ms. Harvey noted that the retail sales section of the parking provisions was applied with one space being required for every 100 sq. ft. of retail area. The applicant asked whether the spaces at the pumps would be included, and Ms. Harvey stated that she would need to look into previous approvals to answer this question. Ms. Meeuwse stated she would like to see the KL Avenue drive located further to the west. She further urged the applicant to explore the possibility of shared access on Drake Road. There was discussion of whether the Drake Road access point could be restricted so as to prohibit left turns. The Chairperson felt that many of these issues would be determined by a traffic analysis. The applicant stated he felt that they would be able to meet the volume provisions of Section 67 which would allow for a second drive. He queried whether he would therefore need to present a full traffic analysis. Ms. Harvey noted that the applicant was seeking a number of deviations from the standards and, therefore, she felt that the applicant should submit a traffic analysis, which should contain the information provided for in the Ordinance.

The Chairperson stated that he would like to see some information regarding the number of accidents on Drake Road and KL Avenue. Mr. Bushouse agreed, but stated that he felt that this should be limited to the number of accidents associated with this intersection and the driveways to the subject property. Further, he would like to see information regarding the Kalamazoo County Road Commission's plans for widening KL Avenue or Drake Road and adding a turn lane at the intersection.

There was no public comment offered, and the public hearing was closed.

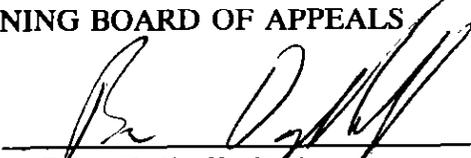
Ms. Harvey stated that the Township Traffic Consultant could be contacted to review the traffic analysis submitted by the applicant. There was discussion of tabling the item to allow the applicant time to submit this traffic analysis.

Mr. Saunders moved to table the item to the meeting of February 24, 1997.  
Mr. Brodasky seconded the motion. The motion carried unanimously.

**ADJOURNMENT**

There being no further business to come before the Board, the meeting was adjourned at 4:45 p.m.

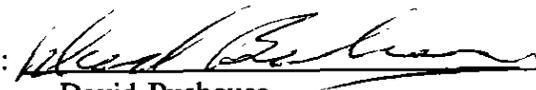
**OSHTEMO CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS**

By:   
Brian Dylhoff, Chairperson

By:   
William Saunders

By:   
Thomas Brodasky

By:   
Lara Meeuwse

By:   
David Bushouse

Minutes Prepared:  
January 21, 1997

Minutes Approved:  
2-3-97

February 14, 1997

Zoning Board of Appeals  
7275 West Main Street  
Kalamazoo, Michigan 49009-9334

RE: Traffic Study for Speedway/Starvin Marvin  
Station, 1250 Drake Road  
Project No. 96-1812

Dear Zoning Board of Appeals:

The following information has been prepared in accordance with Oshtemo Township Zoning Ordinance 67.700 Deviation from Guidelines for the proposed Speedway/Starvin Marvin Store rebuild located at 1250 Drake Road. The attached revised site plan addresses nearly all of the comments of the Planning and Zoning Department review letter, and verbal comments of the Zoning Board received during the January 20, 1997 meeting. The major revisions to the site plan include the increased throat length at each proposed driveway entrance, the relocation of the building and parking to the west, elimination of the nearest intersection drive on Drake Road and the increased intersection spacing for the proposed drive on KL Avenue

Specific areas of the site that do not meet Oshtemo Township Zoning Ordinance include throat length, intersection spacing and number of driveways. The following information is provided for your review and consideration.

#### **67.300 Driveway Design, 2. Throat Length**

Based on the revised drawing, throat length of the proposed Drake Road entrance has been increased to 45 feet from 18 feet, and the entrance for KL Avenue has been increased to 27 feet from 15 feet over the site's existing throat length. Due to the physical size of the site, further increases in throat length will substantially decrease on-site parking and result in interior congestion of traffic flow. Interior congestion due to inadequate maneuvering lanes may result in possible delays of entering traffic. Investigation of similarly sized Speedway Stations indicate the revised throat lengths should be sufficient for this site.

#### **67.500 Driveway Spacing, 2. Spacing from Intersection**

As previously stated, due to the relocation of the building to the west, the proposed KL Avenue entrance drive is now 142 feet - 7 inches from the intersection, an increase of 70 feet over the site's existing entrance drive location. The proposed entrance drive for Drake Road is 110 feet from the intersection. Due to safety concerns during the refilling of the station tanks, a drive as suggested

by the board located further south of the intersection, is not recommended. Based on gasoline sales projections, the station would require refilling by tanker semi approximately every other day. As the tanker must discharge from its passenger side (right side), a drive located at the site's south property line along Drake Road would be partially blocked during the refilling procedure. This blockage of the entrance drive would result in interior congestion which may as a result create delays for traffic along Drake Road, due to difficulties entering the site. The proposed Drake Road entrance as depicted on the attached revised site plan should provide a safer ingress/egress drive than the site's existing two drive configuration, due to its increased throat length, the elimination of the second Drake Road entrance, separation from the existing tank farm, entrance lighting and central location.

#### **67.400 Number of Driveways, 2. Traffic Volumes**

Based on projected station sales and existing traffic characteristics of Drake Road and KL Avenue, the proposed station rebuild warrants a second entrance drive on Drake Road. Projected gasoline sales will increase nearly 70% and related retail sales by over 40%. The existing station typically averages over 1,100 sales per day, which based on the above projections, will increase to nearly 2,000 sales per day. These sales volumes correlate to well over 3,000 vehicular ingress/egress of the property per day. In addition, traffic studies performed by the Kalamazoo County Road Commission indicate that KL Avenue is used by over 10,936 vehicles in a 24 hour period with a maximum 1075 vehicles in a one-hour period. Vehicular traffic data for Drake Road is substantially higher with 28,794 vehicles counted in 24 hours and a peak volume of 2,340 vehicles in a one-hour period. Please refer to the attached data sheets for traffic data supplied by the Kalamazoo County Road Commission. The above data exceeds or complies with conditions supporting a second entrance as outlined in Oshtemo Township Zoning Ordinance 67.400 Number of Driveways.

#### **67.700 Deviation from Guidelines**

##### **1. Identification of Traffic Conditions and/or Site Restrictions**

As previously stated in Section 67.400 Number of Driveways, traffic counts of Drake Road and KL avenue, as well as projected use of the station, meets or exceeds criteria necessary for an additional drive. Physical size of the parcel is sufficient to support its intended use and warrants the approval of an additional drive on Drake Road

##### **2. Justification of Need**

As indicated in Section 67.400 Number of Driveways, current sales at the station are approximately 1,100 per day. Based on projected increases due to proposed site improvements, those sales will increase to nearly 2,000 per day. This increased volume

necessitates an additional ingress/egress driveway to reduce potential delays due to congestion of traffic.

**3. Identification of Impact of the Development and its Proposed Access Facilities on the Operation of the Abutting Street.**

As the existing site currently utilizes three driveways. The proposed reduction of one drive along Drake Road and the relocation further from the intersection for the proposed drive along KL Avenue should have a beneficial impact on the abutting streets. Other revisions of the resubmitted site plan include the increase in throat length and repositioning of the building to provide a certain degree of compliance with Oshtemo Township Zoning based on the physical limitations of the site.

**4. Description of the Internal Circulation and Parking System**

Please refer to the attached revised site plan for specific locations of parking and drive entrances.

**5. Compliance with the Objectives of the Township's Access Management Guidelines**

The proposed revised site plans meet with or exceed the Township's Access Management Guidelines, with the exception of those areas as stated above. Due to the physical limitations of the site, the proposed site plan has been designed to minimize the impact of those areas not in strict compliance, while making a marked improvement over the existing site conditions.

In closing, the revised site plan for the proposed Speedway Station will provide numerous improvements and benefits for the Township. However, due to the physical constraints of the site, some latitude in the Zoning Ordinance is requested for the proposed rebuild to provide those benefits. In comparison to the existing site, esthetic, ingress/egress and user convenience are all significantly improved in terms of safety and benefit to the community. It is our request that the proposed site plan, based on the above information be approved for construction.

Zoning Board of Appeals  
February 14, 1997  
Page Four

If you should require any additional information or have any question, please contact our office.

Sincerely,

FELLER, FINCH & ASSOCIATES, INC

Christopher E. Crisenbery, P.E.

CC: Matt Wright, Marathon Oil Company  
Rebecca Harvey, Oshtemo Township

bdslproject/961812/1812lt07 002

KALAMAZOO COUNTY ROAD COMMISSION  
 VEHICLE VOLUME REPORT

DIRECTION: N-S  
 STREET NAME: 5600

DRAKE ROAD 400 FEET SOUTH OF DRIFTWOOD

FRIDAY 9 / 20 / 96

TIME PERIOD STARTS	00	15	30	45	
TIME PERIOD ENDS	15	30	45	00	TOTAL
00:00 TO 01:00	95	90	81	48	314
01:00 TO 02:00	69	49	49	51	218
02:00 TO 03:00	57	55	41	21	174
03:00 TO 04:00	24	14	15	12	65
04:00 TO 05:00	17	11	14	13	55
05:00 TO 06:00	20	28	34	38	120
06:00 TO 07:00	61	75	101	164	401
07:00 TO 08:00	184	256	314	294	1048
08:00 TO 09:00	256	272	276	303	1107
09:00 TO 10:00	264	270	298	323	1155
10:00 TO 11:00	312	308	352	384	1356
11:00 TO 12:00	388	432	465	542	1827
12:00 TO 13:00	557	525	484	519	2085
13:00 TO 14:00	462	474	492	512	1940
14:00 TO 15:00	501	494	518	514	2027
15:00 TO 16:00	529	505	531	527	2092
16:00 TO 17:00	550	520	526	613	2209
17:00 TO 18:00	566	572	589	539	2266
18:00 TO 19:00	522	465	476	494	1957
19:00 TO 20:00	460	449	500	407	1816
20:00 TO 21:00	379	327	327	292	1325
21:00 TO 22:00	309	363	314	288	1274
22:00 TO 23:00	303	282	268	267	1120
23:00 TO 00:00	222	213	232	176	843

TOTAL 28794

AM PEAK HOUR STARTS 10 : 60 COUNT= 1827

PERCENT AM PEAK HOUR TO TOTAL 6.345072 %

PM PEAK HOUR STARTS 16 : 45 COUNT= 2340

PERCENT PM PEAK HOUR TO TOTAL 8.126693 %

MACHINE NUMBER: 399

KALAHATOO COUNTY ROAD COMMISSION  
VEHICLE VOLUME REPORT

DIRECTION: E-W

STREET NAME: 1012

KL AVENUE

WEST OF DRAKE ROAD

THURSDAY

5 / 23 / 96

TIME PERIOD STARTS	00	15	30	45	
TIME PERIOD ENDS	15	30	45	00	TOTAL
00:00 TO 01:00	37	37	33	31	138
01:00 TO 02:00	22	15	19	21	77
02:00 TO 03:00	10	16	9	13	48
03:00 TO 04:00	13	9	8	7	37
04:00 TO 05:00	4	2	4	1	11
05:00 TO 06:00	6	11	26	20	63
06:00 TO 07:00	31	37	63	86	219
07:00 TO 08:00	92	113	164	223	592
08:00 TO 09:00	131	145	142	165	583
09:00 TO 10:00	97	112	90	129	428
10:00 TO 11:00	87	104	117	122	430
11:00 TO 12:00	135	120	152	162	569
12:00 TO 13:00	215	184	186	174	759
13:00 TO 14:00	143	140	158	171	620
14:00 TO 15:00	164	165	192	161	682
15:00 TO 16:00	161	185	183	186	715
16:00 TO 17:00	226	195	234	224	879
17:00 TO 18:00	271	301	267	236	1075
18:00 TO 19:00	222	178	162	172	734
19:00 TO 20:00	186	158	135	147	626
20:00 TO 21:00	153	115	133	147	548
21:00 TO 22:00	144	139	119	121	523
22:00 TO 23:00	110	81	89	50	330
23:00 TO 00:00	79	64	56	51	250
TOTAL					10936

AM PEAK HOUR STARTS 7 : 30 COUNT= 663

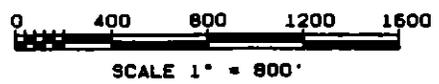
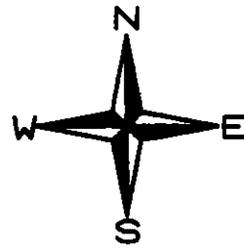
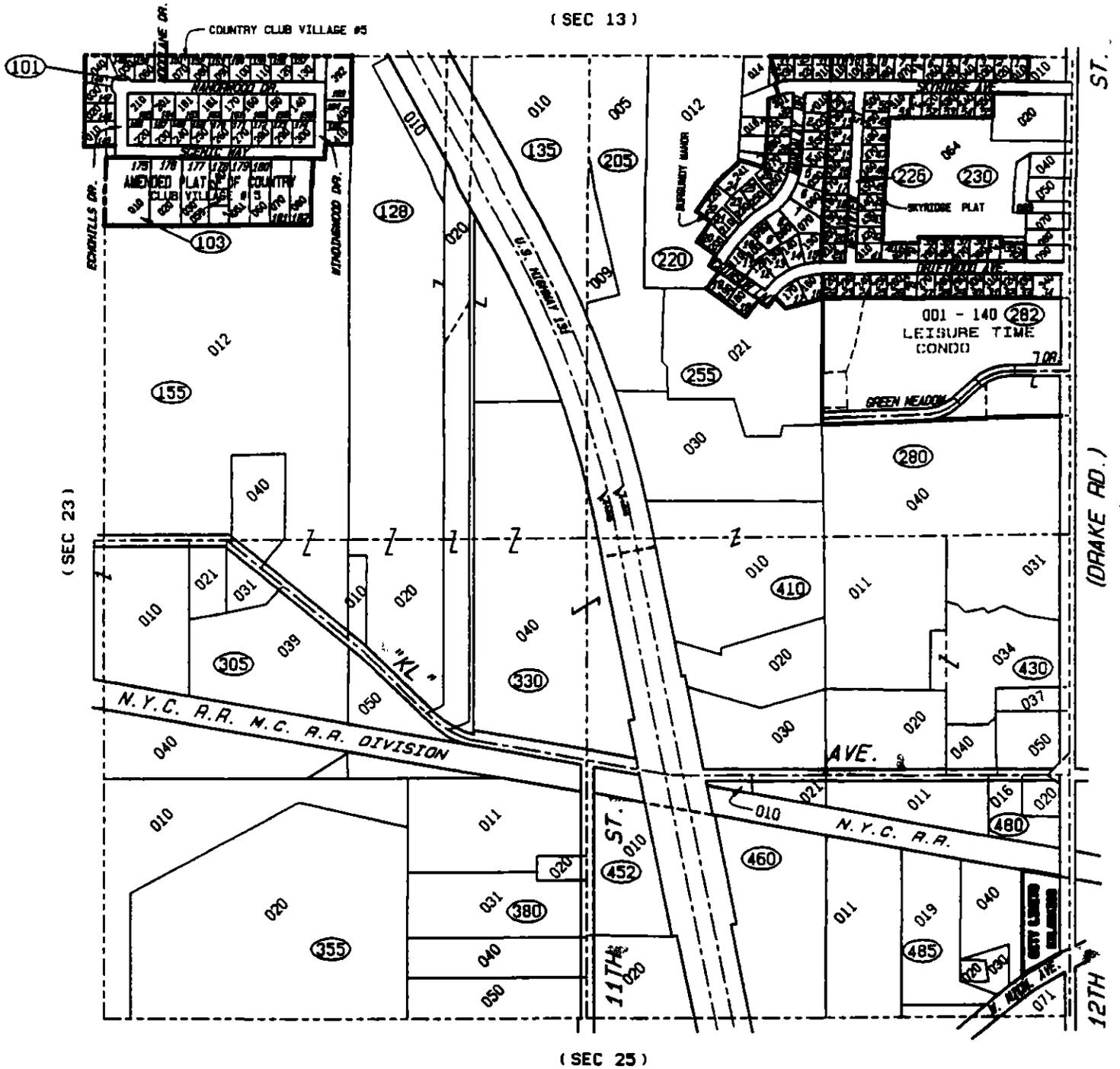
PERCENT AM PEAK HOUR TO TOTAL 6.062546 %

PM PEAK HOUR STARTS <sup>5 PM</sup>~~16 : 00~~ COUNT= 1075

PERCENT PM PEAK HOUR TO TOTAL 9.82992 %

MACHINE NUMBER: 392

# SECTION 24



DATE: AUGUST 25, 1993  
REVISED DATE: MARCH 8, 1996  
PRINTED DATE: MARCH 21, 1996

**SITE PLAN**

**5088 WEST MICHIGAN AVE.**

**SUBMITTED 2/6/97**



## **SITE PLAN REVIEW CONTENTS**

- 1. BRIEF DESCRIPTION OF PROPOSED TOWER ADDITION.**
- 2. COPIES OF MINUTES OF MEETING HELD JUNE 5, 1995**
- 3. COPY OF MAP AND AREA HIGHLIGHTED.**
- 4. COPY OF ADDRESS LAND MAP, 5088 W. MICHIGAN, DEPICTING TOWER AND BUILDING LOCATIONS.**
- 5. COPY OF BUILDING PROPOSED, WITH COMPLETE SPECS.**
- 6. COPY OF TOWER SPECS.**

**FEB 4, 1997**

**ROE-COMM., INC. proposes to construct one additional tower on existing property located at 5088 W. Michigan. The tower will be similar in construction to the existing tower, it will be physically located 125 feet to the East and South from tower #1, the exact point has been determined by FAA and soil study results. The building will be a poured concrete structure, 20 X 30 feet , no windows and a front and rear door. The tower and the supporting guy wires and the building will be enclosed by fencing 8 feet high, with razor wire, same as in use at the site presently. There will be no dawn to dusk outside lighting, except on the approach of personnel to the site, by motion sensors. The tower will have FAA approved lighting. Parking will be limited to 2-3 service vehicles only. The required Fire Department turn around drive will be complied with and designed by the Fire Department near the end of the construction phase. We will not remove any more trees or vegetation than is necessary for this project.**

**Copies of the tower and building structures are enclosed. Also included are the minutes of your meeting held June 5, 95 where you approved our initial request.**

Based upon the above, Ms. Branch moved to deny the variance. The motion was seconded by Mr. Brodasky.

Mr. Miller commented he believed that there were ways to alter the garage of the home so as to come into compliance with the Ordinance; he did not think that the home needed to be completely removed.

Upon a vote on the motion, The motion carried 4:1, with Mr. Saunders voting to deny same.

**ROE-COMM, INC.- SITE PLAN REVIEW - PROPOSED COMMUNICATIONS TOWER/EQUIPMENT BUILDING - VARIANCE REQUEST FROM 200' FRONTAGE REQUIREMENT - 5088 W. MICHIGAN**

The next item was the application of John Carnago of Roe-Comm for site plan review of a proposed communications tower and equipment building on an existing 22-acre tower site at West Michigan and U.S. 131. The applicant also requested variance approval from the 200' frontage requirement established by Section 66.201 of the Zoning Ordinance and the paving requirement established by Section 68.202 of the Zoning Ordinance. The subject site is located at 5088 W. Michigan and is within the "I-1" District Zoning classification.

The report of the Planning and Zoning Department is incorporated herein by reference. It was pointed out that on February 4, 1991, the applicant received site plan approval to locate a 400' communication tower and a 300-sq.-ft. equipment building on the subject site. In conjunction with that approval, variances were granted from the 200' frontage requirement and the paving requirement. Since the 1991 variances stated the variances were conditioned upon the use of the site for a "communications tower," it was felt that technically an approval of variance would be necessary to locate an additional tower. Ms. Harvey noted the Board should look to their previous minutes. Ms. Harvey stated the Planning and Zoning report indicated need for certain information, which information had been now provided by the applicant.

The applicant stated that a 400-500' tower (in addition to the first established on the site), along with an equipment building, was proposed. The site would accommodate 2-3 cars. However, no customers would be visiting the site. In addition, Fire Department turnaround would be established at the site. There would also be security fencing.

The Chairperson called for public comment. Vincent Bianco commented that the lack of paving had caused dust to come from the site. He noted that the land owner, with whom the driveway was shared by the applicant, had been accessing the drive with heavy machinery. The applicant responded that he would contact the neighboring property owner in that this was supposed to be a limited-access driveway and not for frequent use or for heavy equipment use.

The public hearing was closed.

In response to questions from Ms. Branch, the applicant indicated that there were no FAA or FCC rules as to the distance between towers to assure that one did not fall on

another. He stated an engineer had advised him that towers would not usually fall upon one another but a tower would spiral into itself and that it was unlikely that all guide wires would separate at once. He stated that the distance between towers was function of the distance necessary to retain full use of each tower.

Ms. Branch had a question with regard to location of parking, which the applicant indicated would be in front of the building. At most there would be two service vans at the site at any one time.

With regard to questions from Mr. Brodasky, the applicant stated there would be motion-sensitive lighting for the building and that the tower would be lit pursuant to FAA requirements. No signage was proposed.

After further discussion, Mr. Saunders moved to grant variance from the 200' road frontage and from the paving requirement of the Zoning Ordinance. The reasoning of the earlier variance approval, February 4, 1991, was referenced. Mr. Miller moved that variance be subject to the same conditions and limitations as the earlier variances granted. Mr. Saunders also moved for approval of the site plan with the following conditions, limitations and notations:

(1) That the additional tower would be served by the existing site access and no changes were proposed or approved.

(2) That the parking area in front of the building to accommodate 2-3 vehicles, as proposed by the applicant, was approved.

(3) That site lighting as proposed by the applicant was approved.

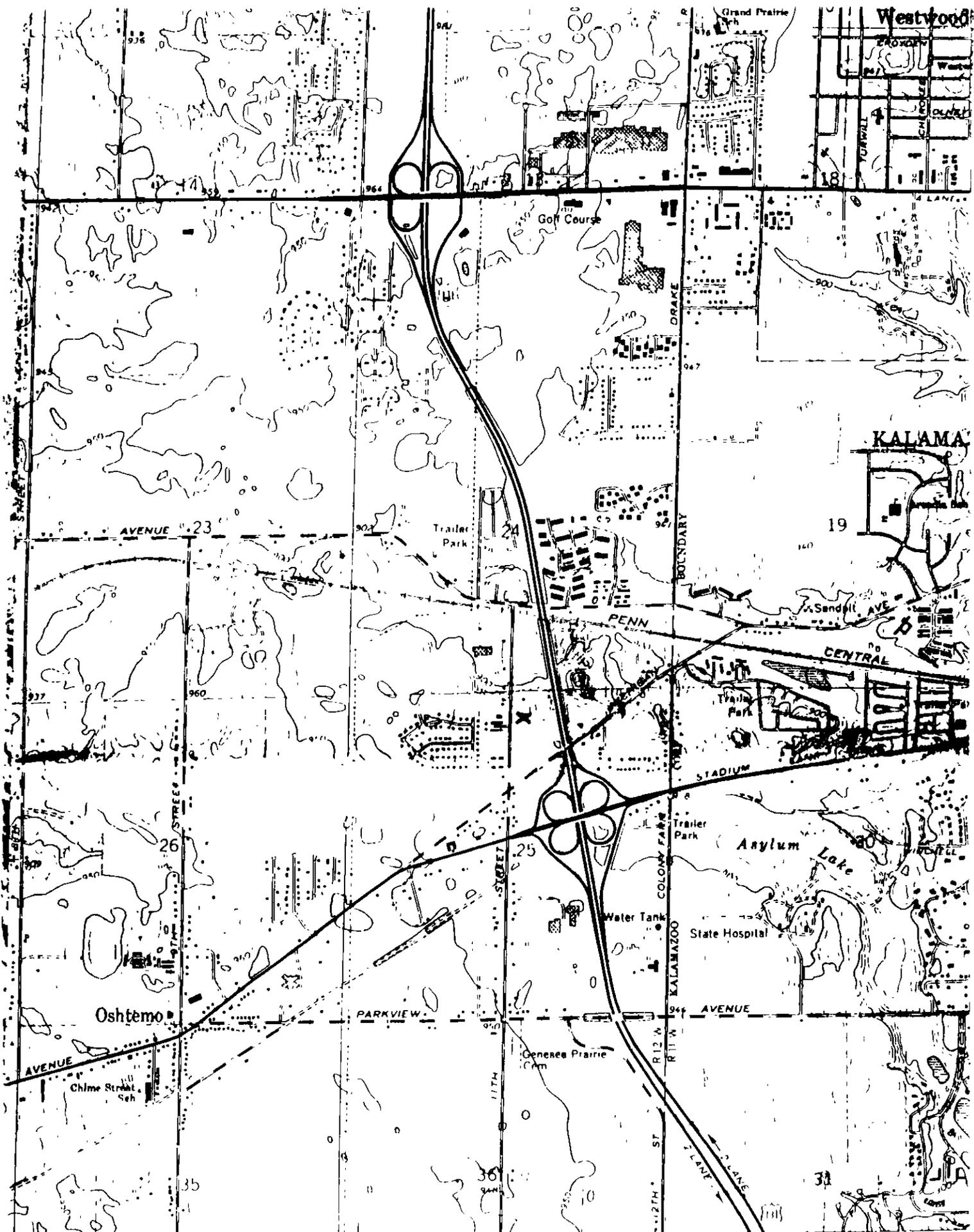
(4) That no signage had been proposed or approved.

(5) That existing vegetation on the site and in the vicinity of the tower should be retained to provide a buffer and maintain the character of the site and the general area.

(6) That approval be subject to Township Fire Department review and approval.

(7) That it was noted the applicant had indicated it would take steps to see that the access point had only limited use and was not used by heavy equipment; the access point would be made dust free.

Mr. Brodasky seconded the motion, and the motion carried unanimously.



RAFT NW)  
11 NW  
1 24 000

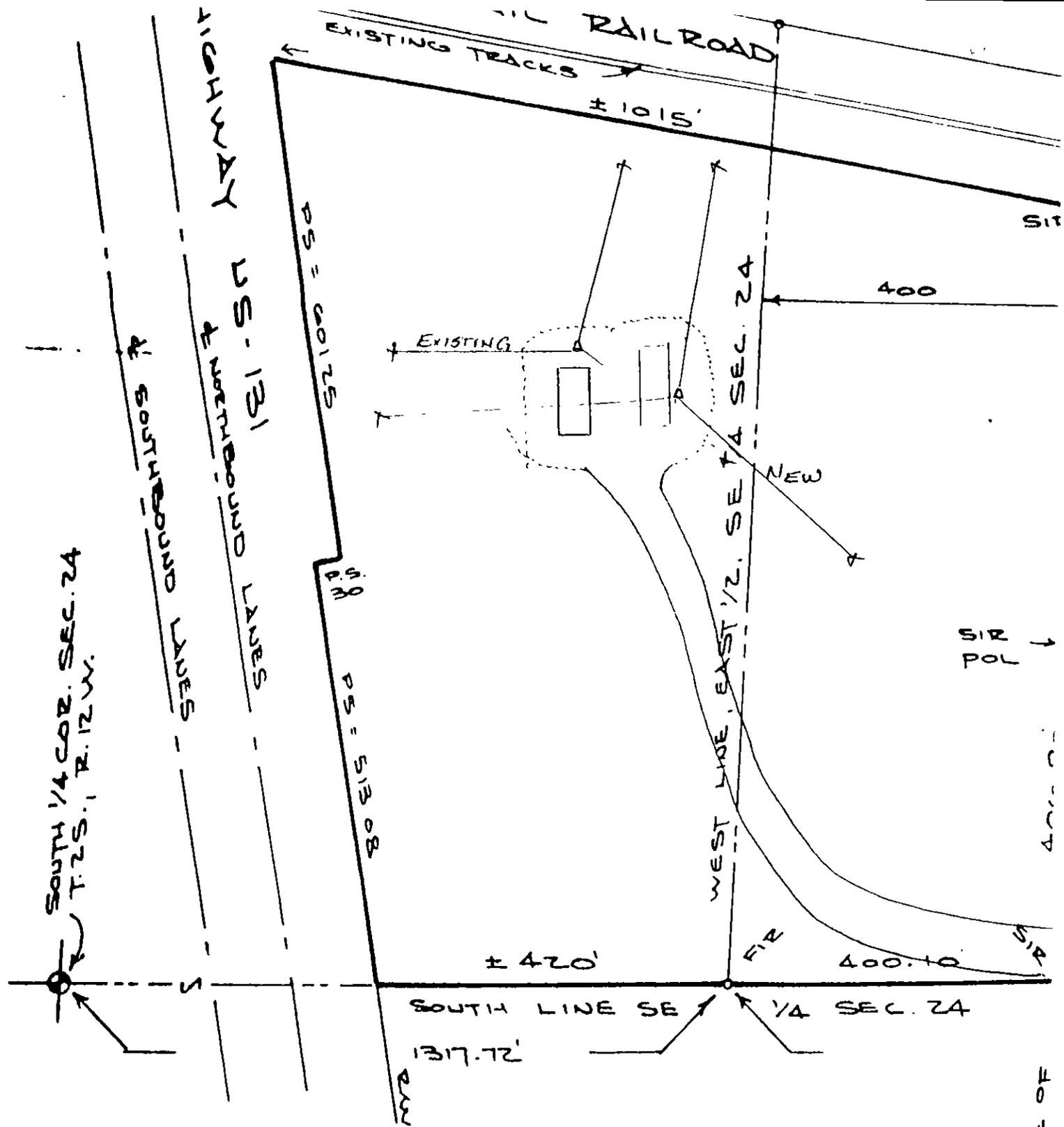
INTERIOR—GEOLOGICAL SURVEY WASHINGTON D.C.  
0.9 MI TO INTERSTATE 94  
THREE RIVERS 22 MI

ROAD CLASSIFICATION

10 4100 1100 1200 1300 1400

Heavy duty

Light duty



SCALE 1" = 200

FIR - FOUND IRON ROD

SIR - SET IRON ROD

POL - POINT ON LINE

P.S. - PREVIOUS SURVEY BY OTHERS

PLACE OF





# MILLER TELECOM SERVICES, INC.

June 11, 1996

Mr. John Carnago  
Roe-Comm  
1400 Romona Avenue  
Kalamazoo, MI 49002

59120 C.R. 3 South  
P O Box 1283  
Elkhart, IN 46515  
(219) 294-6065  
FAX. (219) 293-7992

Dear Mr. Carnago:

Per your request, Miller Telecom Services is pleased to submit BUDGETARY Quotation No. 11300B for a 30'0" L x 24'0" W x 9'0" H Interior clear, Series I, 2 piece modular shelter.

**SERIES I SPECIFICATIONS:**

Floor load: 200 psf      Roof load: 150 psf  
Walls: 150 mph      Seismic: Zone 4

**BUILDING SIZE:**

Outside: 30'0" L x 24'0" W x 10'2" H  
Each piece: 30'0" L x 12'0" W x 10'2" H

**TYPE:**

Series I precast concrete shelter:  
Floor: 6-3/4" Solid concrete  
Walls: 4" Solid concrete  
Roof: Solid concrete 4" at eave and 5" at ridge.  
Step-joint design.  
6000 psi lightweight concrete.  
Reinforcing steel #4 and #5 bars, 60,000 psi  
(Grade 60 ASTM-615).  
Ballistics tested for UL-752,  
(HPR - 30.06 - point blank range)  
Estimated building weight: 71,000 lbs. Each

**EXTERIOR FINISH:**

Walls: Washed aggregate and sealed.  
Roof: Troweled surface and sealed.

**INTERIOR FINISH:**

Walls: 1/2" Paneling covered with a white, embossed fiberglass reinforced plastic. (FRP)  
Floor: Covered with 1/8" x 12" x 12" commercial tile and a 4" base cove.  
Ceiling: 1/2" Paneling covered with a white, embossed fiberglass reinforced plastic. (FRP)

**INSULATION:**

Walls: R-11  
Ceiling: R-11

**DOOR:**

- (1) 3070 painted, galvanized metal, insulated, Best brand cylinder, dead bolt mortise, NRP - SS hinges, seals, anti-pick plate, painted galvanized metal frame, door bumper, "T" tie back and drip cap.

**ELECTRICAL:**

Service: 120/240/400A 1 phase.  
Surge arrester:  
(1) Joslyn 1265-85, single phase with failure lamps and relays.  
Safety disconnect switch: Not included in estimate  
Panelboard: 400A Rated NQOD42L400 42 circuits, Sq"D"  
Main breaker: 400A Main breaker NQOD2400MB  
Breakers: (10) 1P  
(2) 2P  
Receptacles: (10) 120V/20A duplex  
(1) Exterior GFI receptacle.  
Wall switch: (2) 15A  
Manual transfer switch: 200A - 3 wire, Sq"D" 82354.  
Exterior generator receptacle:  
(1) Appleton AJA400-44-400 with AJ type back box.  
Electrical Drops:  
(3) 30A/240V 3-wire circuits in "Sealtite" to floor. (wireway, conduit and/or drop box will be properly derated for compliance with NEC)

**LIGHTING:**

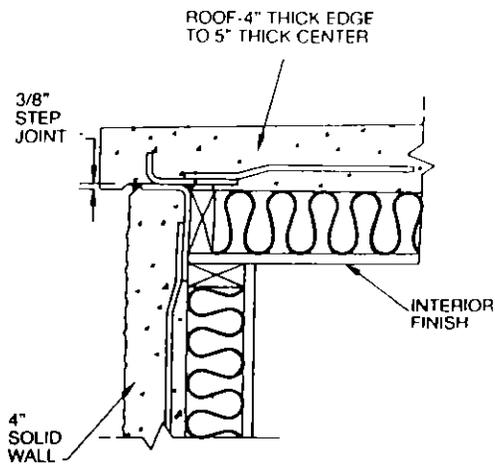
Interior: Ceiling: (24) 4 ft., 2 bulb, 40W, fluorescent, AW240-LE with wrap around lens.  
Emergency: (1) Twin bulb with battery.  
Exterior: Security: (1) 100W incandescent with switch.

**ALARM SYSTEM: SEE OPTIONAL PRICING**

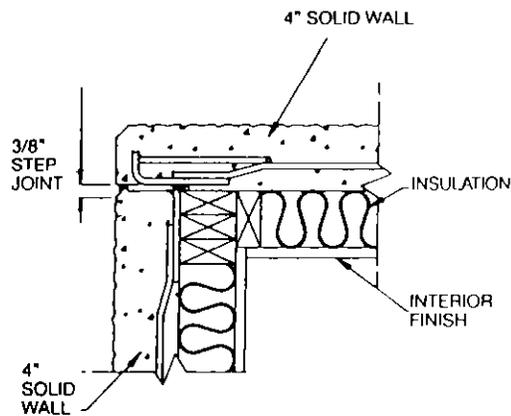
**AIR CONDITIONING: SEE OPTIONAL PRICING**

**GROUNDING:**

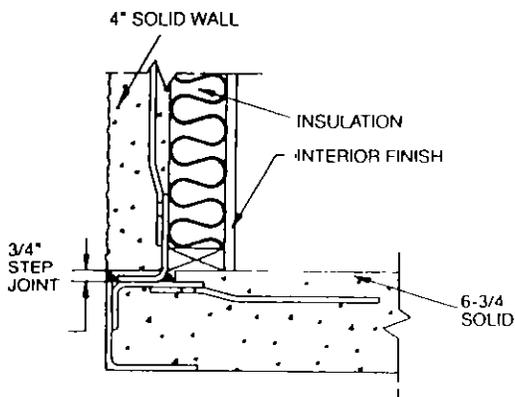
Halo system: #2 Green insulated, stranded copper around inside perimeter of building, with 4 - #2 solid tinned copper drops (5' extra wire) to outside of building through 45° sleeves in casting.  
Ground bars: (1) 1/4" x 4" x 20" on insulators.  
Bonding: #6 green insulated wire from metallic equipment to Halo, ground bar to Halo and across ladder rack splices/crosses/tees.



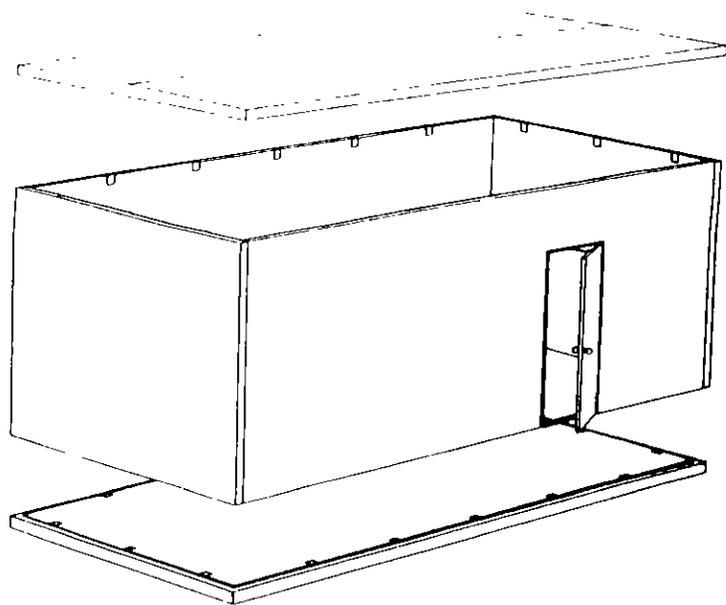
**Typical roof to wall section detail**



**Typical wall to wall section detail**



**Typical wall to floor section detail**



## STANDARD SPECIFICATIONS:

**Floor Loading: 200 PSF**

**Roof Loading: 150 PSF**

**Wind Loading: 150 MPH**

### Standard Construction Notes:

1. All concrete work shall conform to ACI 318 building code requirements for reinforced concrete.
2. All concrete shall be lightweight (112 lbs./cu. ft.) with a minimum compressive strength of 5000 PSI at 28 days.
3. All reinforcing steel bars shall be domestic, new billet steel conforming to ASTM A-615 grade 60 specifications.
4. Concrete coverage over all steel shall conform to ACI 318 building code requirements.
5. All rebar shall be tied or welded 100% at perimeter and 50% elsewhere.

### Concrete Wall and Roof Sealant Application

Urethane sealant inside and outside joints.

Exterior wall surface sprayed with 2 coats of silicone penetrating sealant.

3-part elastomeric coating applied to roof.

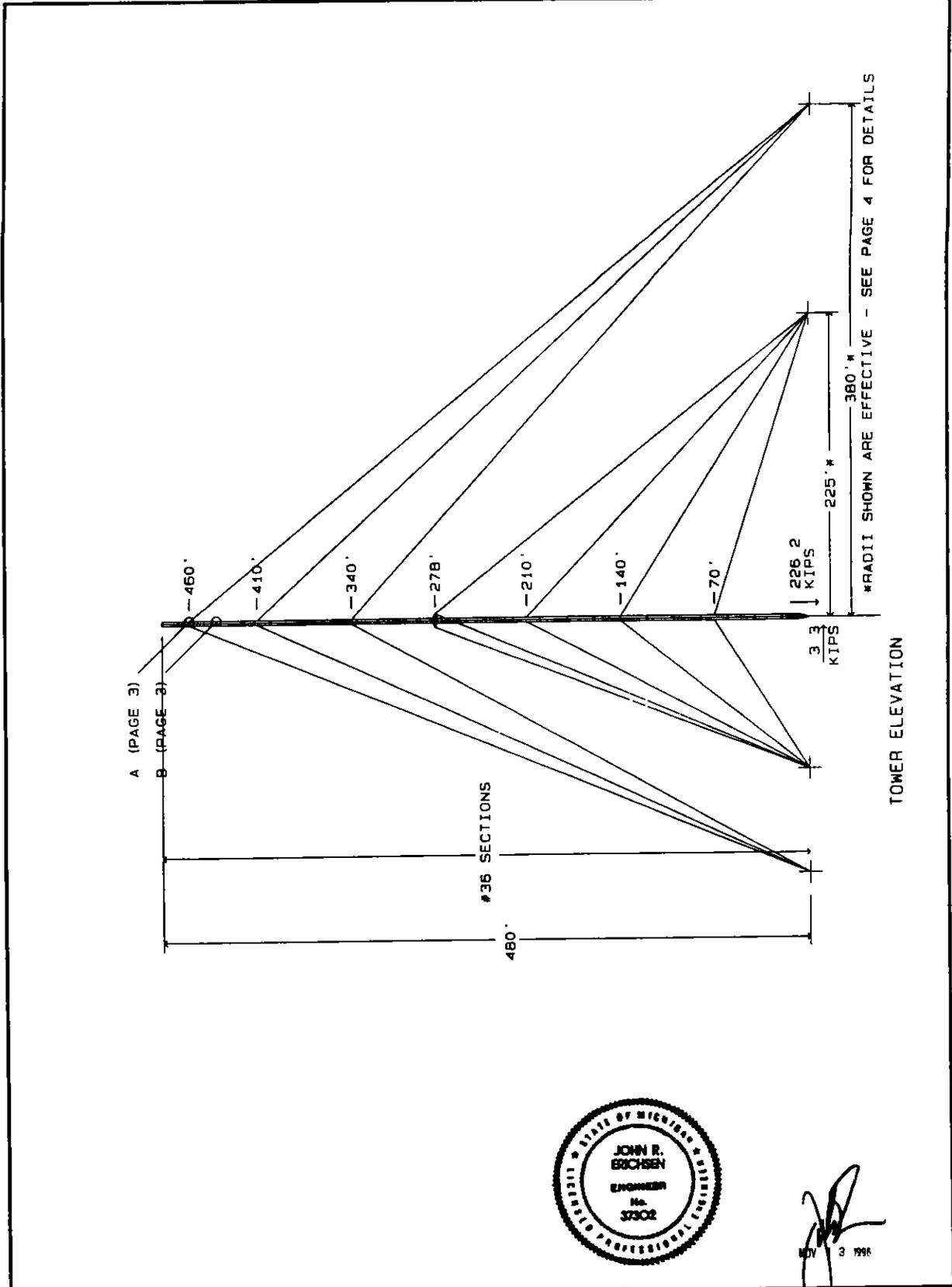
### Rebar Schedule

Wall panel #4 short and long axis.

Roof panel #6 short axis and #4 long axis.

Floor panel #6 short axis and #4 long axis.

Note We will build to your specifications.



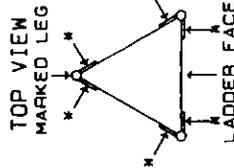
*[Signature]*  
 NOV 3 1996

				ROE-COMM KALAMAZOO, MI # 36 X 480' GUYED TOWER	
APPROVED/ENG		WBR	11/13/1996		
APPROVED/FOUND		N/A			
DRAWN BY		TRP			
From 60486 OFT - 11/04/96 13 26 > 2020931A DWG - 11/13/96 14 04		ENG FILE NO		A-113125-	DRAWING NO
Printed 11/13/96 15 01		ARCHIVE		Q-60486	PAGE
				 1545 Pidco Dr Plymouth, IN 46563-0128 219-936-4221	
A ADDED FOUNDATIONS PER SOIL REPORT		WBR	11/13/1996		
REV	DESCRIPTION OF REVISIONS	INI	DATE		
				202093-B	
				1 OF 10	

SECTION DATA						LEG CONNECTION		
SPAN HEIGHT	SEC#	LEN	LEGS	BRACES	PART#	BOLT DIAM	BOLT LEN	BOLTS /SEC
460' - 480'	36	20'	2	3/4"	104499			
240' - 460'	36	20'	2	3/4"	104499	5/8"	4-1/2"	15
20' - 240'	36	20'	2- 1/4"	3/4"	116988	3/4"	5"	15
0' - 20'	36	20'	2- 1/4"		116988	3/4"	5"	15

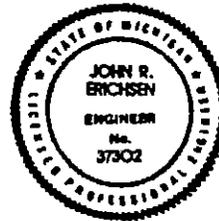
CANDELABRA DATA		
HT.	DESCRIPTION	BRACKET PART#
480'	CANDELABRA	100494
420'	CANDELABRA	100494

BRACKET C-C
25 50"
25 50"



THE MARKED LEG OF EACH SECTION IS STAMPED WITH THE LAST 3 DIGITS OF THE TOWER SERIAL # AND THE JOINT # AT EACH END OF THE SECTION. JOINTS ARE CONSECUTIVELY NUMBERED STARTING WITH 0 AT THE TOWER BASE ASSEMBLY TOWER WITH MARKED LEGS TOGETHER IN PROPER SEQUENCE.

M INDICATES RELATIVE POSITION OF LINE HANGING BRACKETS P/N 115748 AT NOMINAL 3' VERTICAL SPACING



*[Signature]*  
NOV 3 1996

ROE-COMM  
KALAMAZOO MI  
# 36 X 480' GUYED TOWER

APPROVED/ENG	WBR	11/13/1996
APPROVED/FOUND	N/A	
DRAWN BY	TRP	



HT.	GUY SIZE	TORQ SIZE	LUG PART #	SHCKL SIZE	THMBLE SIZE	TURN-BCKLE	PREFORM	INITIAL TENSION **					
								0° F	30° F	60° F	90° F		
460	11/16" B.S.		105062	7/8"	3/4"	1-1/4"	BG-MS-1035	7009#	6593#	6192#	5800#	5428#	5086#
410	11/16" B.S.		105062	7/8"	3/4"	1-1/4"	BG-MS-1035	7182#	6694#	6245#	5800#	5380#	5008#
340	11/16" B.S.		105062	7/8"	3/4"	1-1/4"	BG-MS-1035	7454#	6871#	6322#	5800#	5302#	4856#
278	9/16" EHS.	12	105062	3/4"	5/8"	7/8"	BG-2116	4312#	4030#	3755#	3500#	3239#	2986#
210	5/8" EHS.		105062	3/4"	3/4"	1"	BG-2111	4544#	4138#	3749#	3392#	3061#	2750#
140	9/16" EHS.		105062	3/4"	5/8"	7/8"	BG-2116	4978#	4466#	3966#	3500#	3060#	2845#
70	9/16" EHS.		105062	3/4"	5/8"	7/8"	BG-2116	5432#	4760#	4107#	3500#	2938#	2432#

\*\* TENSIONS SHOWN ARE FOR GUY LINE (A). INTERPOLATION IS PERMITTED FOR OTHER TEMPERATURES.  
TOLERANCE IS +/- 10% OF INITIAL TENSION SHOWN.

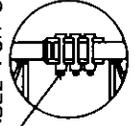
HT.	GUY SIZE	THEORETICAL LENGTH		
		(A) SOUTHEAST	(B) SOUTHWEST	(C) NORTH
460	11/16" B.S.	612.2'	599.7'	612.2'
410	11/16" B.S.	573.8'	562.0'	573.8'
340	11/16" B.S.	523.5'	512.6'	523.5'
278	9/16" EHS.	371.0'	362.3'	360.0'
210	5/8" EHS.	319.6'	311.9'	309.8'
140	9/16" EHS.	274.4'	268.2'	266.6'
70	9/16" EHS.	241.2'	237.5'	236.5'

GUY LENGTH DATA

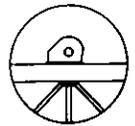


*[Signature]*  
JUN 3 1996

A-325 BOLTS  
SEE LEG CONNECT  
TABLE FOR SIZE



VIEW B  
TYPICAL LEG  
CONNECTION



VIEW A  
TYPICAL GUY  
CONNECTION LUG

From 60486 DFT - 11/04/96 13 26 > 20209330 DWG - 11/04/96 13 58  
Printed 11/13/96 15 01

ROE-COMM  
KALAMAZOO, MI  
# 36 X 480' GUYED TOWER

APPROVED/ENG	WBR	11/13/1996
APPROVED/FOUND	N/A	
DRAWN BY	TRP	

ARCHIVE 9-60486

ENGINEERING PROFESSIONAL ENGINEER  
STATE OF MICHIGAN  
JOHN R. ERICKSON  
ENGINEER  
No. 37302

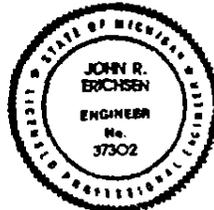
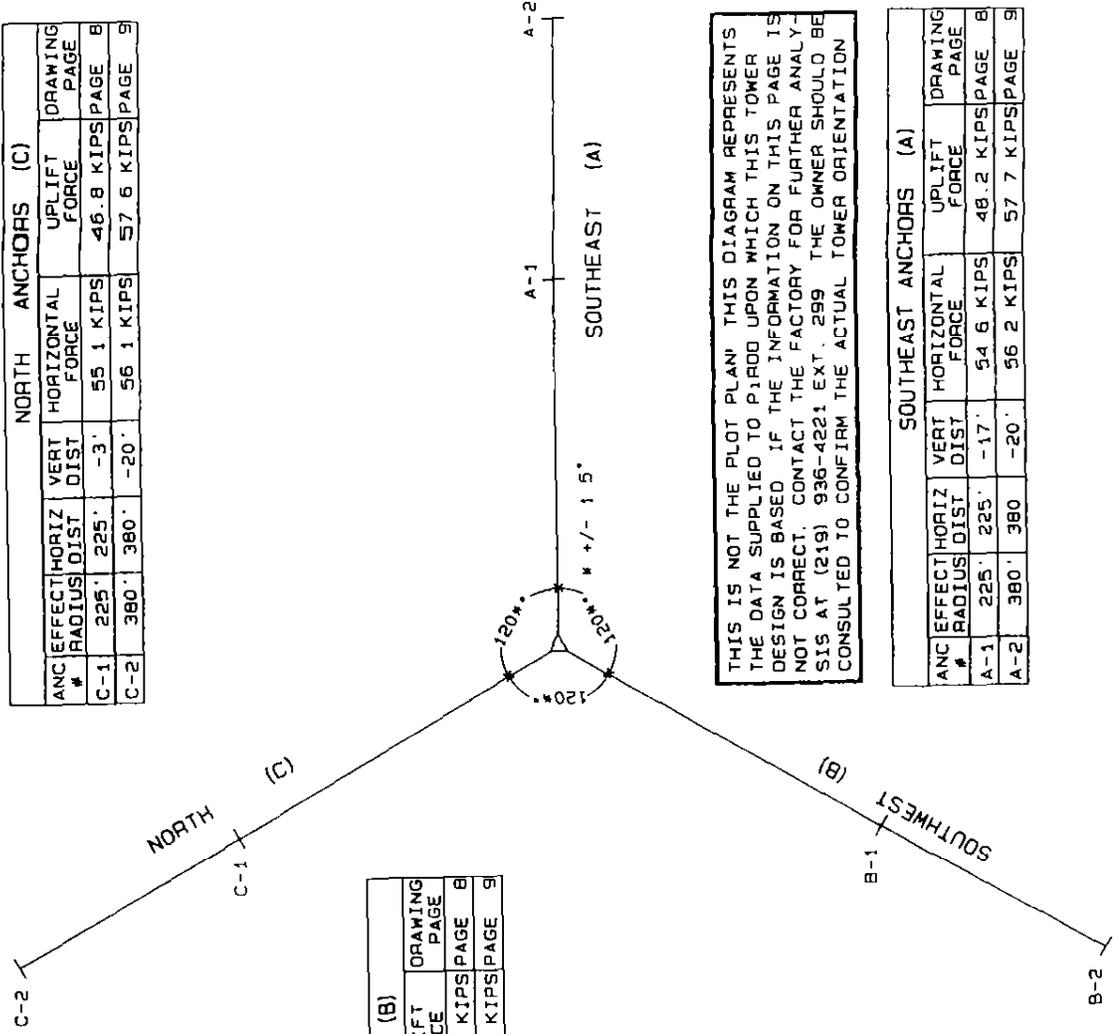
1545 Pidco Dr  
Plymouth, IN 48563-0128  
219-936-4221

DRAWING NO 202093-B  
PAGE 3 OF 10

NORTH ANCHORS (C)					
ANC #	EFFECT RADIUS	HORIZ DIST	VERT DIST	UPLIFT FORCE	DRAWING PAGE
C-1	225'	225'	-3'	55.1 KIPS	46.8 KIPS PAGE B
C-2	380'	380'	-20'	56.1 KIPS	57.6 KIPS PAGE 9

SOUTHWEST ANCHORS (B)					
ANC #	EFFECT RADIUS	HORIZ DIST	VERT DIST	UPLIFT FORCE	DRAWING PAGE
B-1	225'	225'	-6'	54.9 KIPS	45.9 KIPS PAGE B
B-2	380'	380'	-4'	56.5 KIPS	55.9 KIPS PAGE 9

SOUTHEAST ANCHORS (A)					
ANC #	EFFECT RADIUS	HORIZ DIST	VERT DIST	UPLIFT FORCE	DRAWING PAGE
A-1	225'	225'	-17'	54.6 KIPS	48.2 KIPS PAGE B
A-2	380'	380'	-20'	56.2 KIPS	57.7 KIPS PAGE 9



NOV 1996

From 60486 OFT - 11/04/96 13 26 > 20209340 DWG - 11/04/96 13 58		ROE-COMM KALAMAZOO, MI # 36 X 480' GUYED TOWER	
APPROVED/ENG	WBR	11/13/1996	 1545 Pirco Dr Plymouth, IN 46563-0128 219-936-4221
APPROVED/FOUND	WBR	11/13/1996	
DRAWN BY	TRP		
ARCHIVE	Q-60486	ENG FILE NO	A-113125-
Printed 11/13/96 15 01		DRAWING NO	202093-8
		PAGE	4 OF 10

**GENERAL NOTES**

1. TOWER DESIGN CONFORMS TO STANDARD EIA/TIA-222-E FOR 75 MPH BASIC WIND SPEED WITH .50" RADIAL ICE WITH LOAD DUE TO WIND REDUCED BY 25% WHEN CONSIDERED SIMULTANEOUSLY WITH ICE.  
TOWER DESIGN CONFORMS TO STANDARD EIA/TIA-222-E FOR 75 MPH BASIC WIND SPEED WITH NO ICE
2. MATERIAL: (A) SOLID RODS CONFORM TO ASTM A-572 GRADE 50 REQUIREMENTS  
(B) ANGLES CONFORM TO ASTM A-36 REQUIREMENTS  
(C) PIPE CONFORMS TO ASTM A-53 TYPE E, GRADE B REQUIREMENTS (MIN YIELD STRENGTH=42 KSI)  
(D) ALL STEEL PLATES CONFORM TO ASTM A-36 REQUIREMENTS
3. FINISH: HOT DIPPED GALVANIZED AFTER FABRICATION.
4. ANTENNAS:  
480' - TWELVE 3.5 SQ FT COMMUNICATION ANTENNAS ON SIX 6' RIGID SIDEARMS WITH 1 5/8" LINES.  
420' - TWELVE 3.5 SQ. FT COMMUNICATION ANTENNAS ON SIX 6' RIGID SIDEARMS WITH 1 5/8" LINES.  
350' - TWELVE 8 SQ. FT. CELLULAR PANELS ON THREE T-FRAMES WITH 1 5/8" LINES.  
250' - TWO 6' SOLID DISHES WITH 1 5/8" LINES
5. MIN. WELDS 5/16" UNLESS OTHERWISE SPECIFIED ALL WELDING TO CONFORM TO AWS SPECS
6. ALL BOLTS AND NUTS MUST BE IN PLACE BEFORE THE ADJOINING SECTION(S) ARE INSTALLED
7. ALL A-325 BOLTS SHALL BE PRE-TENSIONED PER AISC SPECIFICATIONS REFER TO DRAWING # 123107-B ("BOLT PRE-TENSIONING GUIDELINES" )
8. EIA GROUNDING FOR TOWER.
9. FTB 312 DUAL KIT (351' - 700')



*[Signature]*  
NOV 13 1996

ROE-COMM KALAMAZOO, MI # 36 X 480' GUYED TOWER		 1545 Pidco Dr Plymouth, IN 46563-0128 219-936-4221
APPROVED/ENG	WBR 11/13/1996	
APPROVED/FOUND	N/A	
DRAWN BY	TWP	
From 60486 DFT - 11/04/96 13 26 > 20209350 DWG - 11/04/96 13 58 Printed 11/13/96 15 01		ARCHIVE ENG FILE NO A-113125- Q-60486
		DRAWING NO 202093-B PAGE 5 OF 10

**FOUNDATION NOTES**

1. SOIL AS PER REPORT BY PSI, INC., DATED 6/28/96 (FILE #413-65020)
2. CONCRETE TO BE 3500 PSI @ 28 DAYS REINFORCING BAR TO CONFORM TO ASTM A615 GRADE 60 SPECIFICATIONS CONCRETE INSTALLATION TO CONFORM TO ACI-318 BUILDING REQUIREMENTS FOR REINFORCED CONCRETE ALL CONCRETE TO BE PLACED AGAINST UNDISTURBED EARTH FREE OF WATER AND ALL FOREIGN OBJECTS AND MATERIALS A MINIMUM OF THREE INCHES OF CONCRETE SHALL COVER ALL REINFORCEMENT WELDING OF REBAR NOT PERMITTED.
3. ALL FILL SHOULD BE PLACED IN LOOSE LEVEL LIFTS OF NO MORE THAN 8" THICK FILL MATERIALS SHOULD BE CLEAN AND FREE OF ORGANIC AND FROZEN MATERIALS OR ANY OTHER DELETERIOUS MATERIALS. COMPACT FILL TO 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D1557
4. A COLD JOINT IS PERMISSIBLE. AT THE TOWER BASE ONLY. UPON CONSULTATION WITH PIROD ALL COLD JOINTS SHALL BE COATED WITH BONDING AGENTS PRIOR TO SECOND POUR.



*[Handwritten Signature]*  
NOV 13 1996

ROE-COMM  
KALAMAZOO, MI  
# 36 X 480' GUYED TOWER

APPROVED/ENG	WBR	11/13/1996
APPROVED/FOUND	WBR	11/13/1996



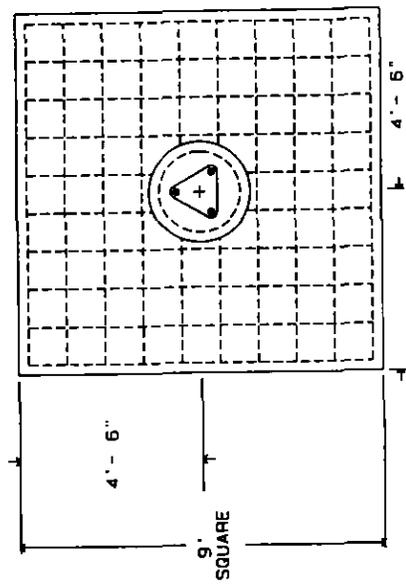
1545 Pidco Dr  
Plymouth, IN 46563-0128  
219-936-4221

A	ADDED FOUNDATIONS PER SOIL REPORT	WBR	11/13/1996
REV	DESCRIPTION OF REVISIONS	INI	DATE
From 60486 DFT - 11/13/96 14 01 > 2020936A DWG - 11/13/96 14 05			
Printed 11/13/96 15 01			

DRAWN BY	TRP
ENG FILE NO	A-113125-
ARCHIVE	Q-60486

DRAWING NO	202093-B
PAGE	6 OF 10

2' - 6" ROUND OR SQUARE PIER, CENTERED  
AROUND THE CIRCULAR REBAR CAGE



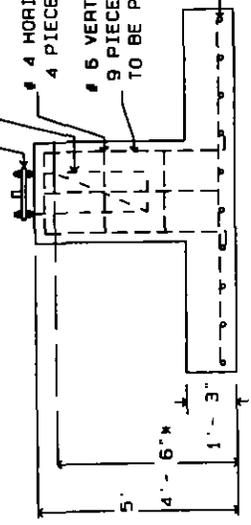
FOUNDATION PLATE P/N 107260.  
GROUT AFTER LEVELING PLATE - BEFORE ERECTING TOWER

CAGE P/N 107261 CENTERED IN PIER  
INSTALL WITH 6" OF THREADS EXPOSED.

# 4 HORIZONTAL TIES - SEE (C) ON PAGE B  
4 PIECES REQ. EQUALLY SPACED.

# 6 VERTICAL REBAR, SEE (B) ON PAGE B  
9 PIECES REQ., EQUALLY SPACED,  
TO BE PLACED INSIDE TIES

# 6 HORIZONTAL BARS - SEE (A) ON PAGE B  
10 EACH WAY, EVENLY SPACED.

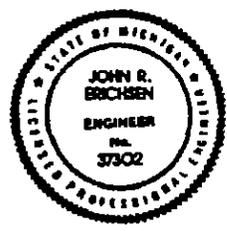


FINISHED GRADE

\* DEPTH SHOWN IS  
MINIMUM ALLOWABLE.  
ACTUAL DEPTH MUST  
BE MIN 6" BELOW  
LOCAL FROST LEVEL

TOWER FOUNDATION NOTE ALL REBAR IS EQUALLY SPACED AND  
REQUIRES MIN 3" CONCRETE COVER

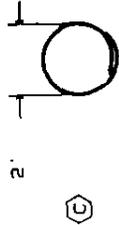
4 6 CU YDS CONCRETE REQUIRED



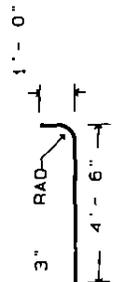
NOV 15 1996

		ROE-COMM KALAMAZOO, MI # 36 X 480' GUYED TOWER	
APPROVED/ENG	WBR	11/13/1996	 1545 Picco Dr Plymouth, IN 46563-0128 219-936-4221
APPROVED/FOUND	WBR	11/13/1996	
A	ADDED FOUNDATIONS PER SOIL REPORT	WBR	11/13/1996
REV	DESCRIPTION OF REVISIONS	INI	DATE
From 60486 DFT - 11/13/96 14 01 > 2020937A DWG - 11/13/96 14 05		ENG FILE NO	A-113125-
Printed 11/13/96 15 01		ARCHIVE	Q-60486
		DRAWING NO	202093-B
		PAGE	7 OF 10

# 4 REBAR - 4 PIECES REQUIRED TOTAL



LAP DIMENSION 1'-3" 1/4"  
 PLACE REBAR RINGS SO THAT LAPS ON  
 ADJACENT RINGS ARE 180 DEGREES APART  
 APPROX UNBENT LENGTH = 7'-6" 3/4"  
 APPROX WT = 5.1# EACH, 20# TOTAL

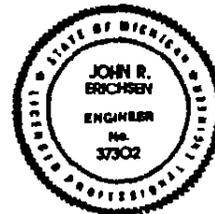


# 6 REBAR - 9 PIECES REQUIRED TOTAL  
 APPROX UNBENT LENGTH = 5'-4" 3/4"  
 APPROX WT = 8.1# EACH, 73# TOTAL



# 6 REBAR - 20 PIECES REQUIRED TOTAL  
 APPROX WT = 12.6# EACH, 256# TOTAL

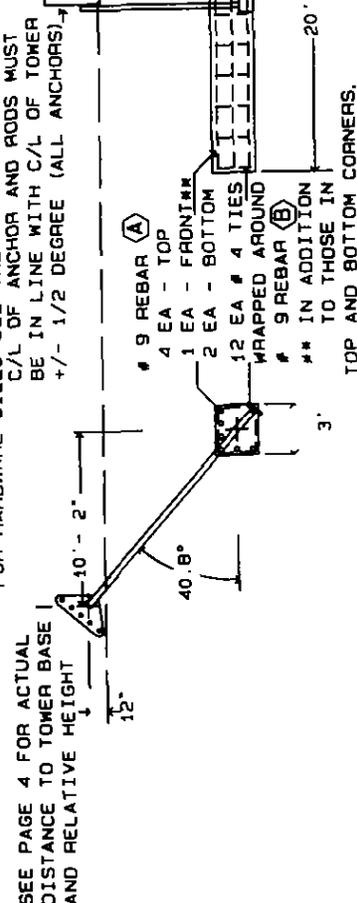
TOWER FOUNDATION REBAR DETAIL - (NOT TO SCALE)  
 TOTAL APPROX REBAR WEIGHT = 349#  
 REINFORCING BAR TO CONFORM TO ASTM A615 GRADE 60



NOV 13 1996

				ROE-COMM KALAMAZOO, MI # 36 X 480' GUYED TOWER	
APPROVED/ENG		WBR	11/13/1996	 1545 Pideo Dr Plymouth, IN 46563-0128 219-936-4221	
APPROVED/FOUND		WBR	11/13/1996		
DRAWN BY		TRP			
From 60486 DFT - 11/13/96 14 01 > 2020938A DWG - 11/13/96 14 05		ENG FILE NO A-113125-		DRAWING NO 202093-8	
Printed 11/13/96 15 01		ARCHIVE 0-60486		PAGE 8 OF 10	

FOR GUY WIRE INSTALLATION SEE DWG #104B34-B.  
 FOR HARDWARE SIZES SEE TABLE ON PAGE 3.  
 C/L OF ANCHOR AND RODS MUST BE IN LINE WITH C/L OF TOWER +/- 1/2 DEGREE (ALL ANCHORS).  
 P/N 105001 (ROD LENGTH = 15')  
 VERTICAL CENTERLINE OF ANCHOR HEAD MUST BE PLUMB +/- 2 DEGREES  
 RODS MUST BE STRAIGHTENED ANCHORS



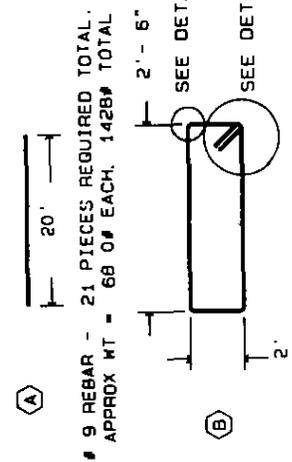
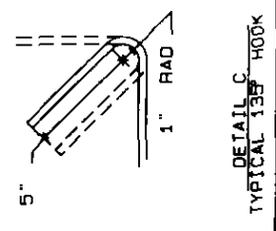
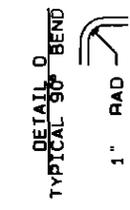
**GUY ANCHOR AT 225' RADIUS**  
 3 REQUIRED - 5.7 CU. YDS. CONCRETE REQUIRED EACH

NOTE: ALL REBAR IS EQUALLY SPACED AND REQUIRES MIN. 3" CONCRETE COVER

SEE PAGE 4 FOR ACTUAL DISTANCE TO TOWER BASE AND RELATIVE HEIGHT

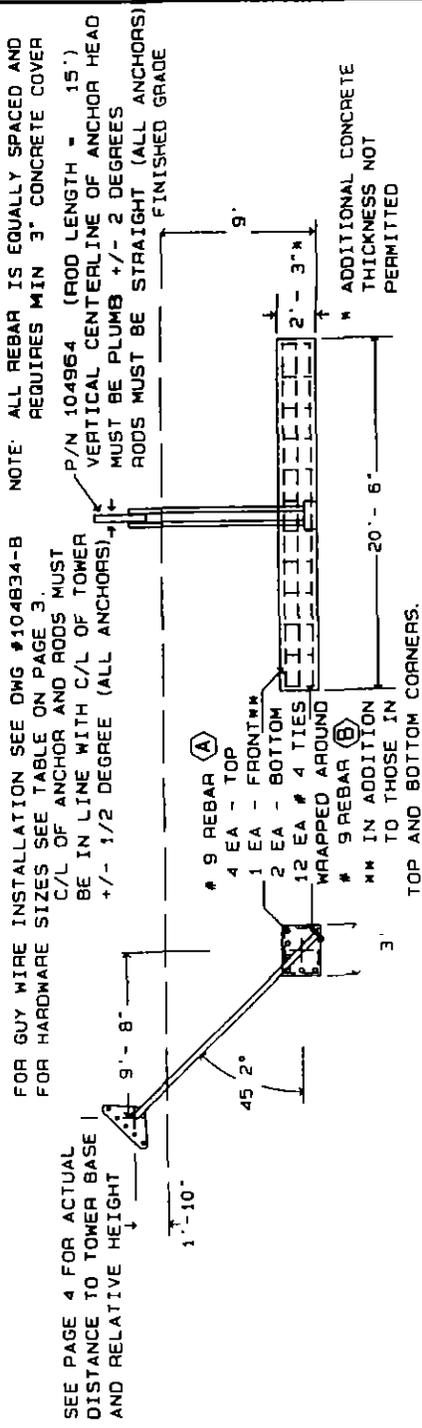
# 9 REBAR (A)  
 4 EA - TOP  
 1 EA - FRONT\*\*  
 2 EA - BOTTOM  
 12 EA # 4 TIES WRAPPED AROUND  
 # 9 REBAR (B)  
 \*\* IN ADDITION TO THOSE IN TOP AND BOTTOM CORNERS.

\* ADDITIONAL CONCRETE THICKNESS NOT PERMITTED



NOV 1996

ROE-COMM KALAMAZOO, MI # 36 X 480' GUY ANCHORS			
APPROVED/ENG	WBR	11/13/1996	 1545 Pidge Dr Plymouth, MI 48563-0128 219-936-4221
APPROVED/FOUND	WBR	11/13/1996	
A	ADDED FOUNDATIONS PER SOIL REPORT	WBR	11/13/1996
REV	DESCRIPTION OF REVISIONS	INT	DATE
From	60486 DFT - 11/13/96 14 01	>	2020939A DWG - 11/13/96 14 05
Printed	11/13/96 15 01		
ARCHIVE	ENG FILE NO	A-113125-0-60486	DRAWING NO 202093-8
			PAGE 9 OF 10

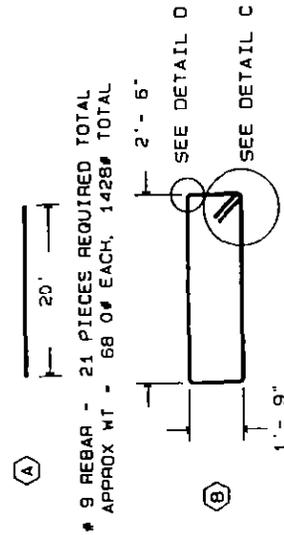
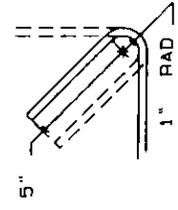
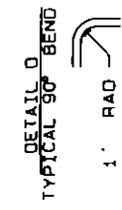


NOTE: ALL REBAR IS EQUALLY SPACED AND REQUIRES MIN 3" CONCRETE COVER  
 P/N 104964 (ROD LENGTH = 15')  
 VERTICAL CENTERLINE OF ANCHOR HEAD  
 MUST BE PLUMB +/- 2 DEGREES  
 RODS MUST BE STRAIGHT (ALL ANCHORS)  
 FINISHED GRADE

FOR GUY WIRE INSTALLATION SEE DWG #104834-B  
 FOR HARDWARE SIZES SEE TABLE ON PAGE 3.  
 C/L OF ANCHOR AND RODS MUST  
 BE IN LINE WITH C/L OF TOWER  
 +/- 1/2 DEGREE (ALL ANCHORS)

# 9 REBAR (A)  
 4 EA - TOP  
 1 EA - FRONT\*\*  
 2 EA - BOTTOM  
 12 EA # 4 TIES  
 WRAPPED AROUND  
 # 9 REBAR (B)  
 \*\* IN ADDITION  
 TO THOSE IN  
 TOP AND BOTTOM CORNERS.

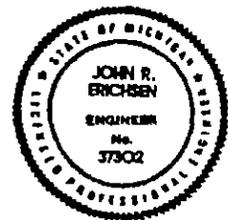
GUY ANCHOR AT 380' RADIUS  
 3 REQUIRED - 5 1 CU. YDS. CONCRETE REQUIRED EACH



# 9 REBAR - 21 PIECES REQUIRED TOTAL  
 APPROX WT - 68 0# EACH, 1428# TOTAL

# 4 REBAR - 36 PIECES REQUIRED TOTAL.  
 FORMED INTO A RECTANGLE WITH 135° HOOK AT BOTH ENDS  
 APPROX UNBENT LENGTH - 9'-1-7/8"  
 APPROX WT - 6 1# EACH, 220# TOTAL

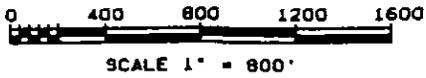
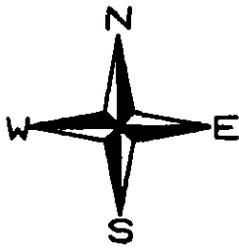
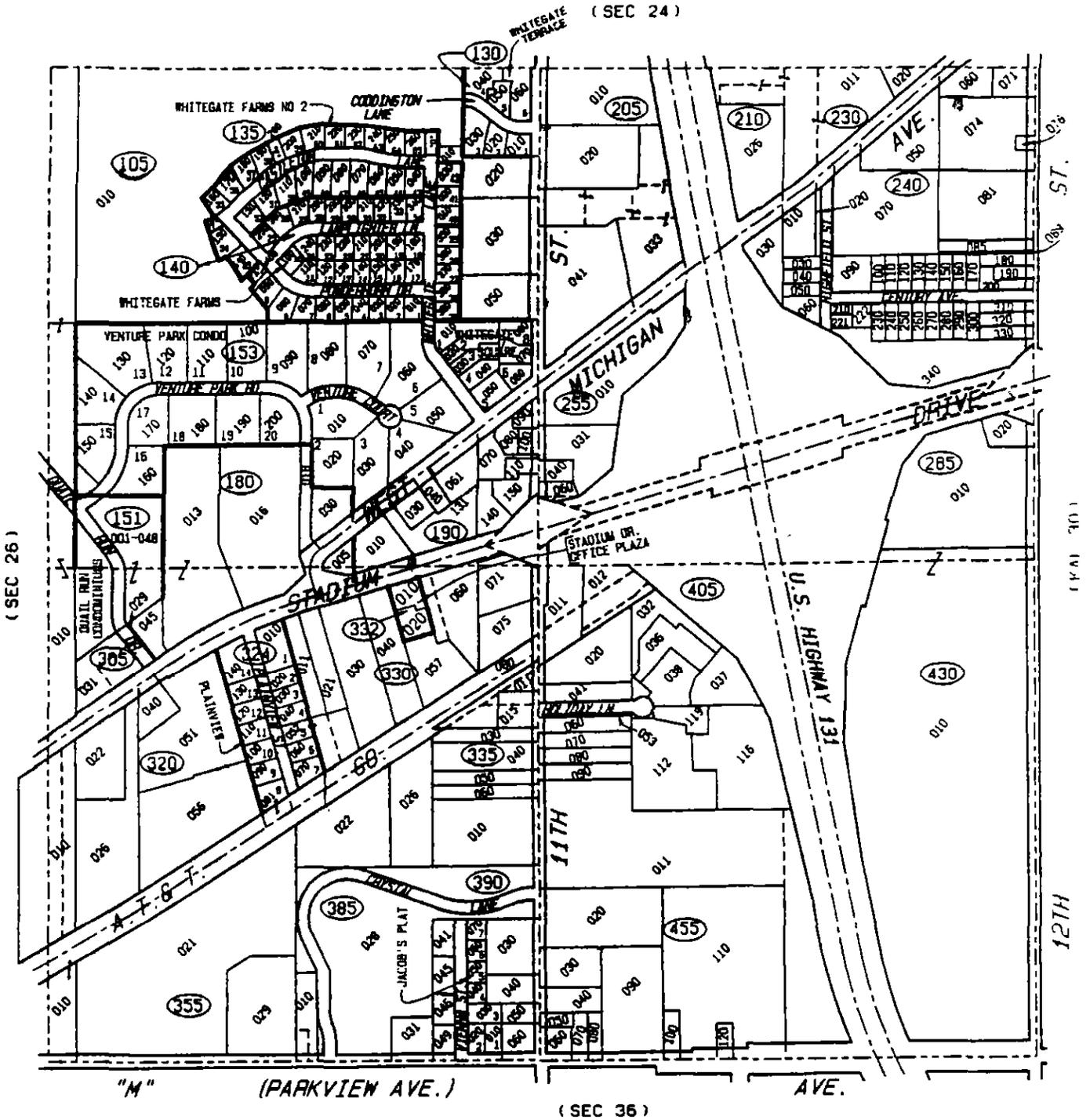
REBAR DETAIL - (NOT TO SCALE)  
 TOTAL APPROX REBAR WEIGHT - 1648#  
 REINFORCING BAR TO CONFORM TO ASTM A615 GRADE 60



NOV 1 1996

				ROE-COMM KALAMAZOO, MI # 36 X 480' GUY ANCHORS	
APPROVED/ENG		WBR	11/13/1996	 1545 Pidco Dr Plymouth, MI 48563-0128 219-936-4221	
APPROVED/FOUND		WBR	11/13/1996		
A	ADDED FOUNDATIONS PER SOIL REPORT	WBR	11/13/1996	DRAWN BY	TRP
REV	DESCRIPTION OF REVISIONS	INI	DATE	ENG FILE NO	A-113125-
From 80486 DFT - 11/13/96 14 01 > 202093AA DWG - 11/13/96 14 05				ARCHIVE	Q-60486
Printed 11/13/96 15 01				DRAWING NO	202093-B
				PAGE	10 OF 10

# SECTION 25



DATE: AUGUST 25, 1993  
REVISED DATE: MARCH 8, 1996  
PRINTED DATE: MARCH 21, 1996

OSHTEMO CHARTER TOWNSHIP ZONING BOARD OF APPEALS

MINUTES OF MEETING HELD AUGUST 26, 1996

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Agenda

PROSOURCE - SITE PLAN REVIEW - PROPOSED 129,000 SQ. FT.  
SHOWROOM/WAREHOUSE - WEST MICHIGAN

MAPLE HILL AUTO CENTER - VARIANCE REQUEST FROM 20' SIDEYARD  
SETBACK - 5622 WEST MAIN

HOUSING RESOURCES, INC. - SITE PLAN REVIEW/VARIANCE -  
6794 STADIUM DRIVE

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A meeting was conducted by the Oshtemo Charter Township Zoning Board of Appeals on Monday, August 26, 1996, commencing at approximately 3:00 p.m. at the Oshtemo Charter Township Hall, pursuant to notice.

MEMBERS PRESENT:     Brian Dylhoff, Chairperson  
                              Lara Meeuwse  
                              Thomas Brodasky  
                              William Saunders  
                              Elaine Branch

MEMBERS ABSENT:     None

Also present were Rebecca Harvey, Township Planning and Zoning Department, Patricia R. Mason, Township Attorney, and eleven (7 ~~11~~) other interested persons.

**CALL TO ORDER**

The Chairperson called the meeting to order at 3:05 p.m.

**PROSOURCE - SITE PLAN REVIEW - PROPOSED 129,000 SQ. FT.**  
**SHOWROOM/WAREHOUSE - WEST MICHIGAN**

The first item was the application of Mike Ahrens of Ahrens Construction, representing ProSource of Kalamazoo, Inc., requesting site plan review of a proposed 19,000 sq. ft. retail floorcovering showroom and warehouse facility. The subject site is located on the north side of West Michigan, situated between West Hills Tennis Club and U.S. 131, and is within the "C" Local Business District Zoning classification.

The report of the Planning and Zoning Department is incorporated herein by reference. As background information, Ms. Harvey stated that the property is currently part of the approved Windsor Estates site. The approval for Windsor Estates included this property in that it is the location of the water retention basin and was used to meet the green/open space requirements for the Windsor Estates development. Therefore, Windsor Estates will be required to have its approvals amended. Windsor Estates has applied for such amendment. Nevertheless, the Zoning Board of Appeals is free to consider this application without regard to the impact on Windsor Estates' special exception use/site plan approval.

As to the design elements of the plan, Ms. Harvey noted that there were parking and circulation issues, of which the applicant was aware. The applicant was in the process of amending the plan and might be able to present its proposed changes to meet these concerns. Inquiry was made as to the Planning and Zoning report's notation that 45 spaces were required. Mr. Brodasky asked whether this calculation was made using the showroom formula, and Ms. Harvey responded that it was.

The applicant was present and stated that it was proposed that a pre-engineered structure be placed on the site to encompass a warehouse, a showroom and offices. He noted that a new drawing of the site plan had been submitted to the Township showing the location of additional parking spaces. The number of spaces had been increased to 45. He felt that the revised plan also responded to the other concerns or comments addressed in the Planning and Zoning report.

As to parking, an additional six spaces had been proposed for the southeast portion of the site and four spaces for the northwest corner of the site.

Ms. Meeuwse questioned the applicant with regard to loading, and it was clarified that there was a loading area located near the dumpsters facing West Michigan. The applicant indicated that there would be a large turning radius so as to allow trucks to back in to this semi-loading dock. The applicant indicated that the dumpster is located in the corner of the dock area.

In response to questioning by Ms. Branch, the applicant stated that one entrance point for customers was located at the building facing U.S. 131. Two entrances, one to be used by employees and one for service persons, were located on the other "canopies" indicated on the plan.

Mr. Brodasky discussed the west side of the proposed plan, noting it did not appear that there was a 20' aisle width near the loading dock. The applicant responded that there was enough room to "move out" this aisle into the greenspace in order to meet the 20' requirement.

There was discussion of the 8' pipe indicated on the plan from the dock area to the retention basin. It was noted that this was not an interior floor drain, and therefore there was no requirement that it hook into the sewer. It was intended to be a storm drain. Further, Ms. Harvey noted that the applicant had indicated on its submissions to the Township that they would not be using, etc., hazardous substances, etc.

Returning to the issue of parking, Board members agreed that the newly located spaces in the northwest corner were workable for employee parking but not for customer parking.

Ms. Meeuwse inquired as to whether the applicant had considered sharing a drive with West Hills Tennis Club. The applicant stated that there was an extreme grade change which could prevent this shared access.

The public hearing was closed in that no public comment was offered.

The Chairperson inquired as to the type of showroom involved, and the applicant responded that all sorts of floor coverings, including carpet, would be available. The Chairperson asked whether used carpeting would be disposed of on site. The manager of ProSource was present and stated that it would not be disposed of. At a later time, the applicant might wish to add a recycling area for disposal of old carpet.

There was discussion of truck circulation at the site, and it was noted by the manager that there were 15-18 truck deliveries per week at no specific delivery times. As to hours of operation, the manager stated that the business would be open Monday-Friday from 8:30 a.m. to 5:30 p.m. and open for three hours on Saturday.

There was a discussion of greenspace, and the applicant stated that there would be green area located along the outside of the building. Ms. Harvey stated there was no minimum greenspace requirement (as a numerical figure) in the Zoning Ordinance. However, the Board could look at the greenspace issue in relation to the general criteria applicable to approval.

There was discussion again of the loading area and the fact that it would face to the front of the building. It was the general consensus that there was no satisfactory way to reconfigure so as to locate the loading dock to the back. The applicant indicated that it was undesirable to push the loading dock to the back because of the proximity to Windsor Estates. It was felt that this location would be the best location to "hide" the dock.

In response to questions by the Chairperson, the manager of ProSource stated there was not a lot of "walk-in traffic" for the business. It mainly served "referral" business.

Ms. Branch confirmed with the applicant that there were no plans for outdoor/overnight vehicle parking or storage.

Mr. Brodasky moved to approve the site plan with the following conditions, limitations and notations:

(1) That it was noted the proposed access arrangement complies with the Access Management Guidelines and Section 67.000 but that said arrangement was subject to Kalamazoo County Road Commission review and approval.

(2) That, as to parking, 45 spaces were required and 45 had been provided. The parallel parking spaces on the west side of the site must be moved so as to provide a 20' aisle space. The four spaces in the northwest corner of the site would be designated as employee parking.

(3) That all parking was subject to compliance with the parking-space dimensional standards of the Township at 10' x 20'.

(4) That all barrier-free parking be subject to ADA and Michigan Barrier-Free Guidelines and be designated by signage and pavement logo.

(5) That the proposed building setbacks comply with Zoning Ordinance standards.

(6) That the proposed dumpster/enclosure arrangement is satisfactory and should be designed to accommodate recycling containers if appropriate.

(7) That the loading dock arrangement was adequate and was approved.

(8) That no outdoor vehicle storage/parking overnight was proposed or approved.

(9) That all lighting was subject to compliance with Section 78.700, and details of same must be submitted for review and approval of Township staff consistent with Ordinance requirements.

(10) That all signage was to comply with Section 76.000 of the Zoning Ordinance and be reviewed and approved through the permit process.

(11) That, as to screening, screening was required along the north boundary. A landscape plan must be submitted to the Township staff for review and approval. It was felt that screening should comply with Section 11.540(1) and consist of greenery and vegetation.

Ms. Meeuwse seconded the motion, and the motion carried unanimously.

**MAPLE HILL AUTO CENTER - VARIANCE REQUEST FROM 20' SIDEYARD SETBACK - 5622 WEST MAIN**

The next item was the application of James Vandenberg, representing Maple Hill Auto Center, for variance approval from the 20' sideyard setback requirement of Section 64.300 of the Zoning Ordinance. The subject site is located at 5622 West Main and is within the "C" Local Business District Zoning classification. It was noted that the item had been tabled twice and the Planning and Zoning reports for the meetings of July 15, 1996, and August 5, 1996, are incorporated herein by reference.

Ms. Harvey noted that the Zoning Board of Appeals members had previously considered the fact that the area under consideration is paved and used for vehicle display. The proposed variance would include removal of vehicle display and establishment of greenspace. Therefore, it had been considered that, although the building would be moved



7275 W. MAIN STREET, KALAMAZOO, MI 49009-9334  
616-375-4260 FAX 375-7180 TDD 375-7198

February 24, 1997 Site Report - ProSource

**Incomplete Site Work:**

1. Pavement /concrete work
2. Parking lot striping
3. Barrier-free parking signs/logos
4. Fire lane signs
5. Dumpster and enclosure
6. Site lighting
7. Stormwater system (retention basin/fencing)
8. Final grade
9. North boundary screening
10. Landscaping
11. Township Engineer & Fire Department review

ZONING BOARD OF APPEALS MINUTES - FEBRUARY 5, 1996

EXCERPTS

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(4) That the proposed dumpster arrangement is satisfactory but that a dumpster enclosure proposal should be detailed on a revised plan and submitted to Township staff for review and approval.

(5) That a proposed loading area had been located and designed consistent with recommended guidelines.

(6) That proposed site lighting had been provided in compliance with Ordinance standards. Any proposed building lighting or landscape lighting should be detailed for approval and comply with the lighting guidelines and specifications set forth in Section 78.700. Any further lighting should be submitted to Township staff for review and approval.

(7) That signage comply with Section 76.000 and be reviewed and approved through the permit process.

(8) That natural vegetation should be retained or re-established in the proposed open areas and appropriate buffers established/maintained along site perimeters. It was noted that the applicant should establish plantings which comply with Ordinance screening requirements along the east property line (as proposed on the plan) and along the south line of the property at least one-half of the distance of the property line from the southeast corner. Further, the applicant should include landscaping of the building perimeter and parking lot islands. It was required that a landscape plan be submitted to Township staff for review and approval. Landscaping should be in keeping with the existing landscaping of the site.

(9) That approval was subject to the review and approval of the Township Fire Department and Engineer.

Ms. Meeuwse seconded the motion. The motion carried unanimously.

**SOUTHWESTERN STATE EMPLOYEES CREDIT UNION - VARIANCE -  
SECTIONS 82.900/84.200 OF THE ZONING ORDINANCE - 5713 VENTURE PARK  
ROAD**

The next item was the application of Mark McMullin of Miller-Davis Company, representing Southwestern State Employees Credit Union, requesting variance approval from Sections 82.900/84.200 of the Zoning Ordinance as they relate to occupancy of the subject

site. Time extension for the completion of the site in compliance with the approved site plan is requested. The subject site is located at 5713 Venture Park Road and is within the "C" Local Business District Zoning classification.

The report of the Planning and Zoning Department is incorporated herein by reference. The applicant was present.

Ms. Harvey noted that the applicant would like to occupy the site prior to completion of all the elements included in the site plan approval. She felt that the Board should consider the items which were incomplete and how they relate to issues of safety, etc. She noted that the Board had, on two occasions in the past, granted temporary occupancy/temporary variance in instances where the sites were incomplete due to weather limitations. The Board had previously used performance bond requirement and a time deadline for completion of the work. She noted that the Fire Department had reviewed the site and that the Fire Department was willing to agree to occupancy at this point ~~as it related to the Fire Department site plan review/approval.~~

The Chairperson listed the items identified in the Planning and Zoning report which were not final at the site:

- (1) Final paving.
- (2) Parking lot striping.
- (3) Barrier-free parking striping/signage.
- (4) Dumpster enclosure.
- (5) Finish grading.
- (6) Landscaping.
- (7) Fire Department required items.

The applicant indicated that these items were incomplete and that the owner wished to move into the site on March 15, 1996. The final paving and striping, etc., could not be accomplished due to weather limitations. It was noted that there is a base coat of asphalt, but final paving had not been completed. Further, landscaping would require some irrigation underground.

No public comment was offered, and the public hearing was closed.

The Chairperson recognized that the Board had dealt with similar problems in the past. The Chairperson felt that the variance was appropriate as long as a deadline for completion of the items, along with requirement of a performance bond, was set in place. There was discussion of when asphalt would be available, and it was recognized it would be available in mid-to-late April. The applicant requested that a deadline of June 1 be established. Ms. Harvey noted that in past approvals the Board had set deadlines of May 15 and June 1. Board members expressed comfort with the deadline of June 1.

Mr. Brodasky moved to grant temporary variance from Sections 82.900 and 84.200 so as to allow occupancy of the proposed site prior to completion of the listed items with the requirement that the site be completed in strict compliance with the approved site plan and ~~subject to Fire Department approval~~ by June 1, 1996. Further, it was required that the applicant post a performance bond or provide a letter of credit in a sufficient amount to provide for the completion of the items. The reasons identified for the temporary variance were the weather conditions and the past decisions of the Board.

Ms. Meeuwse seconded the motion, and the motion carried unanimously.

**ADJOURNMENT**

There being no further business to come before the Board, the meeting was adjourned at 4:05 p.m.

OSHTEMO CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS

By: \_\_\_\_\_  
Brian Dylhoff, Chairperson

By: Elaine Branch  
Elaine Branch

By: \_\_\_\_\_  
William Saunders

By: Thomas Brodasky  
Thomas Brodasky

By: Lara Meeuwse  
Lara Meeuwse

Minutes Prepared:  
February 6, 1996

Minutes Approved:  
2-26-96

**ZONING BOARD OF APPEALS MINUTES - MARCH 18, 1996**  
**EXCERPTS**

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After further discussion, Mr. Brodasky moved to approve the site plan with the following conditions, limitations and notations:

- (1) That the access point be widened to 20' as indicated on the site plan.
- (2) That a barrier-free parking space be established and that same meet ADA and Michigan Barrier-Free Guidelines and be designated by pavement logo and signage.
- (3) That all setback requirements had been satisfied.
- (4) That no screening was required.
- (5) That all lighting conform to Section 78.700 of the Ordinance.
- (6) That all signage conform to Section 76.000 and be reviewed and approved through the permit process.
- (7) That approval was subject to the review and approval of the Township Fire Department and Engineer.
- (8) That the dumpster be enclosed on three sides and that a plan for same be submitted to Township staff for review and approval.
- (9) That all open or green areas be maintained and that existing vegetation be retained in character with the area.

Ms. Meeuwse seconded the motion, and the motion carried unanimously.

**FIELDSTONE BUILDING GROUP - VARIANCE FROM SECTIONS 82.900/84.200 - 6672 STADIUM DRIVE**

The next item was the application of Dave Peterson, representing Fieldstone Building Group, for variance approval from Sections 82.900/84.200 of the Zoning Ordinance as they related to occupancy of the subject facility. A time extension for completion of the site in compliance with the approved site plan is requested. The subject site is located at 6672 Stadium Drive and is within the "C" Local Business District Zoning classification.

The report of the Planning and Zoning Department is incorporated herein by reference. Ms. Harvey noted that the application was similar to that of Southwestern State Employees Credit Union, which had been approved by the Board.

The applicant stated he sought to occupy the site in approximately two weeks. However, asphalt plants did not open until April. Therefore, the site had not been completed. There were also weather delays with regard to construction at the site.

The Chairperson reviewed the items which were incomplete. The applicant indicated that the driveway is gravel. The Chairperson referred to the Planning and Zoning report and the seven items listed therein. The applicant indicated that the paving of the parking lot would not be completed, parking lot striping, barrier-free parking striping, final grading and landscaping would not be finished within two weeks. A landscape plan had not yet been submitted but would be submitted within the next two weeks. The Engineer would then be able to review and approve the plan.

There was no public comment on the item, and the public hearing was closed.

It was noted that June 1 had been the deadline provided to the credit union. The applicant felt that this was a reasonable deadline.

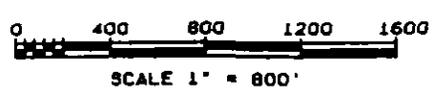
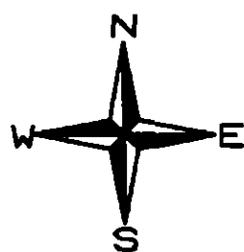
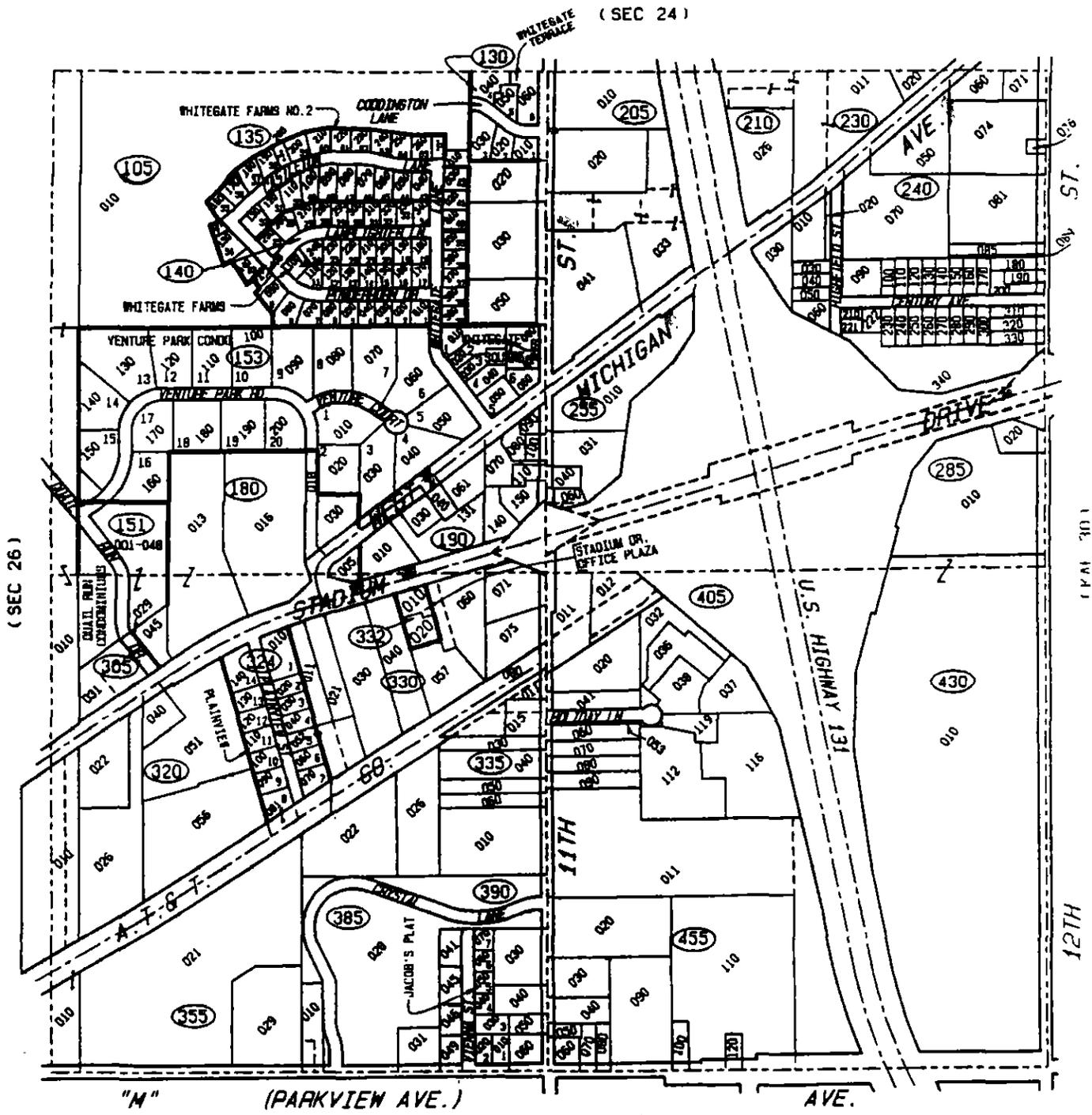
Mr. Saunders moved to grant temporary variance from Sections 82.900 and 84.200 so as to allow occupancy of the proposed site prior to completion of the following items:

- (1) Paving of the parking lot,
- (2) Parking lot striping,
- (3) Barrier-free parking striping,
- (4) Final grading,
- (5) Landscaping.

The grant of temporary variance was subject to approval by the Township Fire Department, and it was required that the site be completed in strict compliance with the approved site plan by June 1, 1996. Further, it was required that the applicant post a performance bond or provide a letter of credit in sufficient amount to provide for completion of the listed items. The reasons identified for the temporary variance were the weather conditions and past decisions of the Board.

~~Mr. Brofasky seconded the motion.~~ Upon a vote on the motion, the motion carried unanimously.

# SECTION 25



DATE: AUGUST 25, 1993  
 REVISED DATE: MARCH 8, 1996  
 PRINTED DATE: MARCH 21, 1996

ZONING BOARD OF APPEALS MINUTES - SEPTEMBER 9, 1996  
EXCERPTS

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**UNIVERSAL IMAGES - SITE PLAN REVIEW - PROPOSED ADDITION TO  
EXISTING HAIR SALON/VARIANCE FROM SETBACK REQUIREMENTS -  
2005 INVERWAY COURT (LOT 7, WHITEGATE SQUARE)**

The next item was the application of Tim Johnson, representing Universal Images, for site plan review of a proposed 527 sq. ft. addition to the existing hair salon. The applicant also requested variance approval from the 70' front setback requirement from South 11th Street and the 20' sideline setback requirement (from the south property line) established by Section 64.300 of the Zoning Ordinance. The subject site is located at 2005 Inverway Court (Lot 7 of Whitegate Square) and is within the "C" Local Business District Zoning classification.

The report of the Planning and Zoning Department is incorporated herein by reference.

Ms. Harvey noted that the existing building was built in the late '70's. At that time there was 0' setback from the sideline, and the setback was 73' from the centerline (40' from the right-of-way) of South 11th Street. The existing building complies with the 70' setback from the right-of-way line. Therefore, any addition to the east would be within the setback. However, the addition would merely be an extension of the building line at the existing setback of 5' to the sideline property line. Ms. Harvey further noted that the plat in which this site is located had been approved in the 1970's and the buildings in the plat were approved at that time. She stated that the building located to the north is further east than the existing building. Therefore, the proposed addition would comply with the setbacks as they existed at the time the building was originally established and was similar to the setbacks of other area buildings. Further, the applicant sought amendment of the site plan with regard to the parking lot. The parking lot layout as proposed was in keeping with the parking lot amendment approved on June 20, 1994, for the most part.

The applicant was present and, in response to questions by the Chairperson, indicated that no additional employees would be involved as far as he knows. Upon questioning by Ms. Branch, the applicant acknowledged that two additional employees might be added. Ms. Branch was concerned about increasing the number of employees and services and decreasing parking by one space. She was concerned that the minutes of the previous 1994 meeting had indicated a parking problem at the site. The applicant responded that no parking problems had existed since expansion of the parking lot. Ms. Harvey concurred, stating that, from an enforcement standpoint, the Township had ceased having enforcement problems after the expansion of the parking lot. Since the present proposal differs very little from the

approved parking arrangement, Ms. Harvey felt the Board could take this into account in considering the application.

There was no public comment offered, and the public hearing was closed.

Ms. Branch moved to approve the sideline and front setbacks as requested with the following reasoning:

(1) That compliance was unnecessarily burdensome in that building additions could not be made to the existing building in compliance with setback standards and continue to meet site circulation needs. It was further noted that the building had been constructed prior to the existing Zoning Ordinance provisions and was in compliance with the setbacks as they existed at the time of the original construction. As to the sideline setback, the addition would continue the existing line of the building. It was noted that the Board had a history of granting such variances. As to the front setback, the lot and building had been established prior to the current Zoning Ordinance standards and the variance was in keeping with the neighboring properties and buildings thereon. She further felt there was a small degree of variance involved.

(2) That substantial justice would be served by granting the variance and, again, the establishment of the lot and building on the lot prior to the present Zoning Ordinance standards was noted. Similar variances had been granted in the past, and Ms. Branch felt this was a significant factor in favor of granting this variance.

(3) That there were unique circumstances at the property in that the design of the subject site is limited by the 50'-wide access easement that extends the length of the lot.

(4) That it was felt the hardship was not self-created in that the subject site and existing building were established prior to the adoption of the applicable setback standards. The proposed sideyard building expansion represented an extension of the existing wall.

(5) That it was felt the spirit and intent of the Ordinance would be satisfied by the variance.

Mr. Brodasky seconded the motion, and the motion carried unanimously.

The Board discussed the site plan, and the applicant suggested a privacy fence be established. After further discussion, the Chairperson indicated he felt the applicant should come back to the Board with more information with regard to this issue.

Mr. Brodasky questioned Ms. Harvey as to the number of parking spaces which would be required at the site. Ms. Harvey stated that, in her opinion, the total number was still in compliance with the Ordinance even if one parking space was eliminated.

Ms. Meeuwse moved to approve the site plan with the following conditions, limitations and notations:

- (1) That no changes are proposed or approved for the existing access arrangement.
- (2) That the proposed parking lot layout is in keeping with the amendments approved by the Board on June 20, 1994, except that 26 spaces were proposed and 27 were originally approved. Further, two parallel parking spaces would replace the four diagonal spaces approved on the east side of the building.
- (3) That all barrier-free parking be subject to ADA and Michigan Barrier-Free Guidelines and be designated by signage and pavement logo.
- (4) That the approval of the variances with regard to front and side setbacks were noted.
- (5) That any new building lighting was subject to compliance with Section 78.700 and must be submitted to the Township for review and approval consistent with the standards of Section 78.720(g).
- (6) That all signage comply with Section 76.000 of the Zoning Ordinance and be reviewed and approved through the permit process.
- (7) That the proposed dumpster/enclosure arrangement was satisfactory.
- (8) That screening is not required, and it was noted that the plan continues to reflect the landscaping proposal approved on September 13, 1993, and June 20, 1994.
- (9) That approval was subject to the review and approval of the Township Fire Department and Township Engineer.

Mr. Brodasky seconded the motion, and the motion carried unanimously.

**WINDSOR ESTATES - VARIANCE REQUEST FROM ON-SITE STORMWATER RETENTION REQUIREMENT - 1827 S. 11TH STREET**

The next item was the application of John Bosch, representing Windsor Estates, for variance approval from the on-site stormwater retention requirement established by Section 78.600 of the Zoning Ordinance. The subject site is located at 1827 S. 11th Street and is within the "C" Local Business District Zoning classification.

The report of the Planning and Zoning Department is incorporated herein by reference. Ms. Harvey noted that the proposed retention arrangement had been submitted to



7275 W. MAIN STREET, KALAMAZOO, MI 49009-9334  
616-375-4260 FAX 375-7180 TDD 375-7198

## **FEBRUARY 6, 1997 - SITE REPORT (Universal Images)**

### Incomplete Site Work:

- barrier free signs/logos
- barrier free ramp
- 2 landscape areas
- 1-way sign
- 2 parallel parking spaces
- turn around
- final coat paving
- wheel bumps



7275 W MAIN STREET, KALAMAZOO, MI 49009  
616 375-4260

SITE PLAN REVIEW APPLICATION

Date: 2-3-97 Present Zoning: I-1 Fee: \$500.00

Land Owner: (Including the names & address of any officers of a corporation or partners of a partnership). Documentation is required.

John R. CARNAGO & Judith J CARNAGO  
3087 STURGEON, BAY  
PORTAGE, MI 49024

Person Making Request: John R. CARNAGO

Address: 1400 RAMONA AVE. KALAMAZOO Phone: 616-327-1045

Interest in Property: OWNER 49002

Size of Property Involved: 22 ACRES

Legal Description of Property Involved: SEE ATTACHED

General Description of the Proposed Development: ADDITION OF 2ND TOWER & BUILDING

List Supporting Documents attached to the application, if any: SEE ATTACHED.

I agree that approval of this site plan constitutes the Charter Township of Oshtemo, that all development must be developed in strict compliance with the Ordinance and any amendments or conditions imposed, and that the time specified under Site Plan Review.

John R. Carnago  
OWNER/AGENT

Roc Comm

3905-24-485-011 Carnago

24-485-019 Taplin/FMB/Fitch

24-460-010 Swafford  
021 Name

24-480-011 Progro

24-410-030 Audrey Homes

25-230-026 Norman

25-230-011 Great Lakes  
020 Taplin/FMB/Fitch

24-485-011

CARNAGO JOHN R & JUDY  
1400 RAMONA AVENUE  
KALAMAZOO MI 49002

24-485-011

OCCUPANT  
5088 WEST MICHIGAN  
KALAMAZOO, MI 49006

24-485-019

TAPLIN A R & P J & S B  
FMB ARCADIA BANK (LARRY FITCH)  
251 EAST MICHIGAN AVENUE  
KALAMAZOO MI 49007

24-460-010

SWAFFORD WAYNE E & JOAN L  
13830 20 MILE ROAD  
MARSHALL MI 49068

24-460-021

DAME & UPDIKE CO-PARTNERSHIP  
5040 MEREDITH ROAD  
KALAMAZOO MI 49002

24-460-021

OCCUPANT  
5263 WEST KL AVENUE  
KALAMAZOO, MI 49009

24-480-011

PROGRO DEVELOPMENT LLC  
PO BOX 327  
OSHTMO MI 49077

24-480-011

OCCUPANT  
5169 WEST KL AVENUE  
KALAMAZOO, MI 49009

24-410-030

AUDREY HOMES  
PHASE I  
PO BOX 3015  
KALAMAZOO MI 49003

25-210-026

NORMAN DENNIS L  
5272 WEST MICHIGAN  
KALAMAZOO MI 49007

25-230-011

GREAT LAKES PARTNERS  
5220 WEST MICHIGAN  
KALAMAZOO MI 49007

25-230-020

TAPLIN INVESTMENTS  
FMB ARCADIA BANK (LARRY FITCH)  
251 EAST MICHIGAN  
KALAMAZOO MI 49007

25-230-020

OCCUPANT  
5100 WEST MICHIGAN  
KALAMAZOO, MI 49006



1-13-97

2-24-97 2BA Mtg.

7275 W. MAIN STREET, KALAMAZOO, MI 49009-8334  
616-375-4260 FAX 375-7180 TDD 375-7198

**REQUEST FOR ZONING BOARD OF APPEALS MEETING**

Date 1/17/97 Present Zoning C Fee \$100

Land Owner ProSource

Address 5400 W. Michigan Phone 327-3071

Person Making Request Jack Vandenberg

Address 8646 Shaver Road, Kalamazoo, 49002 Phone 327-3071

Interest in Property Owner

Size of Property Involved 2.44 acres

Reason for Request Late start in the year on project. Need June 1, 1997 finish date on blacktop parking lot, landscaping including finishing sediment ponds and fencing.

Also severe weather

See 2-26-96 CRH

CHARTER TOWNSHIP  
OF OSHTEMO  
ZONING BOARD OF APPEALS

ProSource

3905-25-205-033 TJT Properties

25-205-010 Vandenberg  
020 Tenderscare  
041 West Hills

25-255-010 Red Roof

25-142-020 Bains  
030 Beavercreek/Holmes  
050 Shay

25-130-010 License  
020 "  
030 Lotfi

Jack Vandenberg  
8646 Shaver Road  
Kalamazoo, MI 49002

25-142-030  
BEAVERCREEK ACQUISITIONS LLC  
HOLMES DAVID  
PO BOX 20000  
KALAMAZOO MI 49009

25-205-033  
TJT PROPERTIES  
1831 SOUTH 11TH STREET  
KALAMAZOO MI 49009

25-142-030  
OCCUPANT  
1842 SOUTH 11TH STREET  
KALAMAZOO, MI 49009

25-205-010  
VANDENBERG GRACE TRUSTEE  
1647 SOUTH 11TH STREET  
KALAMAZOO MI 49009

25-142-050  
SHAY JOHN H & DONNA M  
149 NORTH LINDOW DRIVE  
BATTLE CREEK MI 49017

25-205-020  
TENDERCARE KALAMAZOO INC  
209 EAST PORTAGE  
SAULT ST MARIE MI 49783

25-142-050  
OCCUPANT  
1976 SOUTH 11TH STREET  
KALAMAZOO, MI 49009

25-205-020  
OCCUPANT  
1701 SOUTH 11TH STREET  
KALAMAZOO, MI 49009

25-130-010  
LICENCE GEOFFREY C & DIANA J  
1759 CROOKED LAKE DRIVE  
KALAMAZOO MI 49009

25-205-041  
WEST HILLS ENT INC  
2001 SOUTH 11TH STREET  
KALAMAZOO MI 49009

25-130-010  
OCCUPANT  
5519 CODDINGTON LANE  
KALAMAZOO, MI 49009

25-255-010  
RED ROOF KALAMAZOO WEST CO  
TAX DEPARTMENT  
4355 DAVIDSON ROAD  
HILLIARD OH 43026

25-130-020  
LICENCE GEOFFREY C & DIANA J  
1759 CROOKED LAKE DRIVE  
KALAMAZOO MI 49009

25-255-010  
OCCUPANT  
5425 WEST MICHIGAN  
KALAMAZOO, MI 49009

25-130-020  
OCCUPANT  
5537 CODDINGTON LANE  
KALAMAZOO, MI 49009

25-142-020  
BAINS DHARM S TRUST  
1800 SOUTH 11TH STREET  
KALAMAZOO MI 49009

25-130-030  
LOTFI DAVID  
23151 SUNSET DRIVE  
KALAMAZOO MI 49009

25-130-030  
OCCUPANT  
5555 /5557 CODDINGTON LANE  
KALAMAZOO, MI 49009



7275 W. MAIN STREET, KALAMAZOO, MI 49009-9334  
616-375-4260 FAX 375-7180 TDD 375-7198

**REQUEST FOR ZONING BOARD OF APPEALS MEETING**

Date Feb 6 Present Zoning C-1 Fee \$100

Land Owner Timothy Johnson

Address 8998 West MC Ave Phone 372-1455

Person Making Request Timothy Johnson

Address 8998 West M.L Ave Phone 372-1455

Interest in Property HAIR SALON

Size of Property Involved 20,867 SQ FT, 48 Acre

Reason for Request Temporary Variance

See 9-96 ZRH

CHARTER TOWNSHIP  
OF OSHTEMO

CLERK OF BOARD OF ZONING APPEALS  
375-7180

Universal Images

3905-25-188-070 Johnson  
25-188-010 Blasius  
020 Jones  
030 Larrick  
040 Phalen  
050 Fabi  
060 Schlukebir  
080 Stone  
25-153-050 Red Cross  
25-142-050 Shay  
25-140-380 Campbell  
390 Miller  
25-196-080 Herder  
090 Haase  
25-205-041 West Hills  
25-255-010 Red Roof

Timothy Johnson  
8998 West "ML" Avenue  
Kalamazoo, MI 49009

25-188-050  
FABI ROBERT A & JOSIANE  
7355 OAK SHORE DRIVE  
PORTAGE MI 49002

25-188-070  
JOHNSON TIMOTHY & LINDA  
2005 INVERWAY COURT  
KALAMAZOO MI 49009

25-188-050  
OCCUPANT  
5534 /5540 WEST MICHIGAN  
KALAMAZOO, MI 49006

25-188-010  
BLASIUS ROGER TRUSTEE  
9218 ARROWHEAD DRIVE E  
SCOTTS MI 49088

25-188-060  
SCHLUKEBIR JOHN A & KATHLEEN S  
450 PRETTY LAKE HEIGHTS  
KALAMAZOO MI 49009

25-188-010  
OCCUPANT  
2014 /2020/2062 INVERWAY COURT  
KALAMAZOO, MI 49009

25-188-070  
JOHNSON TIMOTHY & LINDA  
2005 INVERWAY COURT  
KALAMAZOO MI 49009

25-188-020  
JONES GARRET & JANET  
4745 6 1/2 MILE ROAD  
BATTLE CREEK MI 49017

25-188-080  
STONE BARBARA  
3739 GREENLEAF CIRCLE  
KALAMAZOO MI 49008

25-188-020  
OCCUPANT  
2026 /2056 INVERWAY COURT  
KALAMAZOO, MI 49009

25-188-080  
OCCUPANT  
2004 INVERWAY COURT  
KALAMAZOO, MI 49009

25-188-030  
LARRICK CARL R  
3329 TIBET AVENUE  
KALAMAZOO MI 49004

25-153-050  
AMERICAN NATIONAL RED CROSS  
516 WEST SOUTH STREET  
KALAMAZOO MI 49007

25-188-030  
OCCUPANT  
2032 /2050 INVERWAY COURT  
KALAMAZOO, MI 49009

25-153-050  
OCCUPANT *Returned*  
5642 VENTURE COURT  
KALAMAZOO, MI 49009

25-188-040  
PHALEN DENNIS & NANCY  
338 CARDINAL  
BLOOMINGDALE, IL 60108

25-142-050  
SHAY JOHN H & DONNA M  
149 NORTH LINDOW DRIVE  
BATTLE CREEK MI 49017

25-188-040  
OCCUPANT  
2038 /2044 INVERWAY COURT  
KALAMAZOO, MI 49009

25-142-050  
OCCUPANT  
1976 SOUTH 11TH STREET  
KALAMAZOO, MI 49009

25-140-380

CAMPBELL DAVID P  
1973 WHITEGATE LANE  
KALAMAZOO MI 49009

25-140-390

MILLER NORMAN J & MARIE E  
1991 WHITEGATE LANE  
KALAMAZOO MI 49009

25-190-080

HERDER SCOTT D  
5561 WEST MICHIGAN  
KALAMAZOO MI 49009

25-190-090

HAASE DOUGLAS A & AEHU A  
2156 SOUTH 11TH STREET  
KALAMAZOO MI 49009

25-205-041

WEST HILLS ENT INC  
2001 SOUTH 11TH STREET  
KALAMAZOO MI 49009

25-255-010

RED ROOF KALAMAZOO WEST CO  
TAX DEPARTMENT  
4355 DAVIDSON ROAD  
HILLIARD OH 43026

25-255-010

OCCUPANT  
5425 WEST MICHIGAN  
KALAMAZOO, MI 49009