

**OSHTEMO CHARTER TOWNSHIP BOARD**  
**7275 West Main Street**  
**Kalamazoo, MI 49009**  
**269.375.4260**

**February 24, 2015**

**PUBLIC COMMENT SESSION**

**6:00 p.m.**

**AGENDA**

- A. Call to Order
- B. Public Comment
- C. Committee Meeting Updates
  - a. PMN
  - b. Other
- D. Other Business

**REGULAR MEETING**

**7:00 p.m.**

**AGENDA**

- 1. Call to Order
- 2. Pledge of Allegiance
- 3. Citizen Comments on Non-Agenda Items
- 4. Consent Agenda
  - a. Approve Minutes – February 10, 2015, Regular Meeting & February 17, 2015, Joint Boards Meeting
  - b. Receipts & Disbursements Report
  - c. Update on Drake Farmstead Master Plan Process
  - d. Update on Replacement of Failed Voicemail System and Telephone System
  - e. Update on Fire Department Brush Truck Replacement Vehicle Purchase
  - f. Update on Fire Department Command Vehicle Purchase
  - g. Oshtemo Sidewalk Inspection Fee
  - h. Road/Sidewalk/Shared-Use Path Assessments Policy
  - i. Sidewalk/Shared-Use Path Construction Standards
  - j. Amended & Restated Sewer Main Connection Charges
  - k. Amended & Restated Water Connection Fees
  - l. Board & Committee Appointments – Friends of the Parks (2 Appointments) & SoDA (1 Update)
- 5. Discussion on the WMU Business & Technology Research Park - BTR 2.0
- 6. Ordinance Amendments – **Second Reading**
  - a. Oshtemo Non-motorized/Sidewalk Ordinance No. 468 Amendments
  - b. Oshtemo Wastewater Service Order Ordinance Amendment
  - c. Oshtemo Water Service Order Ordinance Amendment
- 7. Other Township Business
- 8. Board Member Comments
- 9. Adjournment

**Policy for Public Comment  
Township Board Regular Meetings, Planning Commission & ZBA Meetings**

All public comment shall be received during one of the following portions of the Agenda of an open meeting:

- a. Citizen Comment on Non-Agenda Items or Public Comment – while this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official to respond at a later date.
- b. After an agenda item is presented by staff and/or an applicant, public comment will be invited. At the close of public comment there will be board discussion prior to call for a motion.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name; it is not required unless the speaker wishes to have their comment recorded in the minutes.

All public comment offered during public hearings shall be directed, and relevant, to the item of business on which the public hearing is being conducted. Comment during the Public Comment or Citizen Comment on Non-Agenda Items may be directed to any issue.

All public comment shall be limited to four (4) minutes in duration unless special permission has been granted in advance by the Supervisor or Chairperson of the meeting.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor or Chairperson of the meeting shall terminate any public comment which is in contravention of any of the principles and procedures set forth herein.

(adopted 5/9/2000)  
(revised 5/14/2013)

**Policy for Public Comment  
6:00 p.m. "Public Comment"/Portion of Township Board Meetings**

At the commencement of the meeting, the Supervisor shall poll the members of the public who are present to determine how many persons wish to make comments. The Supervisor shall allocate maximum comment time among persons so identified based upon the total number of persons indicating their wish to make public comments, but no longer than ten (10) minutes per person. Special permission to extend the maximum comment time may be granted in advance by the Supervisor based upon the topic of discussion.

While this is not intended to be a forum for dialogue and/or debate, if a citizen inquiry can be answered succinctly and briefly, it will be addressed or it may be delegated to the appropriate Township Official to respond at a later date.

Anyone wishing to make a comment will be asked to come to the podium to facilitate the audio/visual capabilities of the meeting room. Speakers will be invited to provide their name; it is not required unless the speaker wishes to have their comment recorded in the minutes.

Public comment shall not be repetitive, slanderous, abusive, threatening, boisterous, or contrary to the orderly conduct of business. The Supervisor shall terminate any public comment which is in contravention of any of the principles and procedures set forth herein.

(adopted 2/27/2001)  
(revised 5/14/2013)



January 27, 2015

Libby Heiny-Cogswell  
Supervisor, Charter Township of Oshtemo  
7275 W. Main St.  
Kalamazoo, MI 49009

Dear Ms. Heiny-Cogswell,

In September, 2014, the Public Media Network (PMN) Board of Directors established an ad hoc "Futures Committee" to develop ideas and plans for a series of major projects that could be completed within a two year period. The projects identified by the committee (by priority and in sequence) include: (1) significantly expand ISP bandwidth capacity at PMN; (2) develop a proposal for PMN's acquisition/upgrade of municipal meeting video production systems; (3) design and acquire a new and technically advanced remote production van.

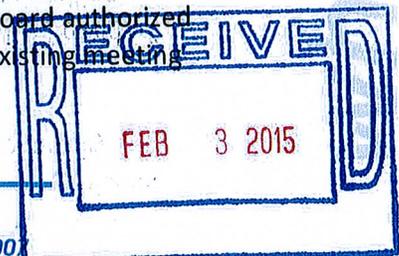
PMN ISP Bandwidth Capacity: A "Request for Proposals – Internet Service Provider" was released on 10/30/14 and two proposals were received prior to the deadline (Charter Business and CTS) and reviewed by PMN staff. Supplemental information was obtained from both vendors, and at their 1/22/15 meeting, the PMN Board of Directors authorized staff to enter into an agreement with Charter Business for expanded internet bandwidth.

The increased bandwidth will be used primarily to support streaming of PMN channels on the internet, and will also help PMN with the transfer of large high definition video files from various sources.

We hope to have this increased internet bandwidth operational in approximately thirty (30) days, then soon after we can provide PMN cable channels streamed on the internet. ***We will give you an update on this exciting project prior to any public announcement of our content being available via internet streaming.***

Municipal Meeting Video Production System Acquisition/Upgrades: PMN staff has long wanted to have some control of the various meeting video production systems that are in use amongst our municipal partners. To accomplish this, the PMN Board authorized staff to identify the estimated cost of "buying out" and upgrading the existing meeting production video systems used at each of our partner municipalities.

**public media network**  
359 S. Kalamazoo Mall, Ste. 300, Kalamazoo, MI 49007  
p:269-343-2211 f:269-343-3710 www.publicmedianet.org



ere every voice matters

PMN Meeting Production Specialist Nick Eppinga and PMN Operations Manager Mark Monk have completed an equipment inventory assessment at each municipality and we are currently reviewing the estimated residual market value of each system. ***When the inventory and market value information is complete, we will share with you a proposal to "buy out" your existing meeting video production system and replace/upgrade it with a new system at PMN's expense.*** PMN would then own the system, and would be responsible for periodic upgrades and maintenance.

A significant advantage of this proposal is that the production systems at each municipality would be essentially the same, making both training and operation more efficient. In addition, PMN would be able to stock key replacement components to be used if/when a system malfunctions, thus reducing the risk of system down time when needed for a meeting production.

Of course, each municipality would decide for themselves whether they wish to accept the PMN proposal, or continue to own, maintain, and upgrade their equipment themselves. At this point, I expect the PMN Board of Directors to review a formal proposal to municipalities at their 2/26/15 meeting.

PMN Production Van: This project was identified so that PMN can replace our 2000 Dodge Ram production van with a new (newer), fuel efficient and more technically flexible unit. The concept calls for a modern production system supporting up to six (6) cameras, with wireless connectivity to the control system in the van.

In addition, we would like to incorporate "Live from Anywhere" capability, so that PMN remote productions could be "live" in locations that do not feature an institutional network fiber connection. This technology opens up many new production opportunities for PMN and the organizations we collaborate with in your community.

We think these projects represent a strong step forward toward accomplishing key aspects of our 2013 Strategic Plan, and we hope you are supportive of them as well. If you have any questions concerning any of these projects, please contact me at PMN (343-2211).

As always, thank you for your support of Public Media Network!

Sincerely,

  
Harry S. Haasch  
Executive Director, Public Media Network



**RECEIPTS & DISBURSEMENTS**

**\*\* GENERAL, FIRE, SEWER & WATER FUNDS \*\***

**RECEIPTS 02/02/2015 thru 02/18/2015**

Site Plan/Spec Ex Use/PNV Investments	900.00
Admin Site Plan/Haley	250.00
Admin Site Plan/Steensma	250.00
Zoning Verification	50.00
Planning Escrow/PNV Investments	1,000.00
Zoning Maps/Books	5.00
Copies	27.55
Ordinance/Parking Violations	7,015.45
Rent Deposits	1,925.00
OCC Rental	300.00
Grange Rental	185.00
Park Pavilion Rental	50.00
Tax Revenue/Denied PRE	370.19
KABA Legal Fees/2014	14,865.00
KABA Facility Fee/2015	12,000.00
Law Library Refund	655.80
PEO Mileage/4th Qtr	1,848.00
Vehicle Damage Claim/Add'l Pymt	2,470.58
FEMA Grant/SCBA Equipment	27,568.53
KABA Reimbursement/Start Up	8,676.00
Sewer Receipts	6,773.68
Water Receipts	20,794.59

**Total 107,980.37**

**DISBURSEMENTS**

2/18/2015	Payroll/Office/Trustees/FF	60,090.85
2/20/2015	Payables	119,546.08

**Total 179,636.93**

BANK CODE: GEN  
 Vendor name: Across the Street Productions  
 Address: 19101 Stone Ridge Drive  
 City/State/zip: Suite A South Bend IN, 46637  
 Vendor Code: bcc  
 Ref #: 9004712  
 Post Date: 02/18/2015  
 CK Run Date: 02/20/2015  
 Disc. Date: / /  
 Due Date: 02/20/2015  
 Invoice: 12-2635  
 PO: 000006934  
 Disc. %: 0.0000  
 Bank: GEN  
 Hold: N  
 Sep CK: N  
 1099: N

Invoice Description	AMOUNT	AMT RELIEVED	Gross Amount
ONLINE COMMAND TRAINING	5,544.00	5,544.00	5,634.00
CPT EVERETT RENEWAL	90.00	90.00	0.00
<b>TOTAL</b>	<b>5,634.00</b>	<b>5,634.00</b>	<b>5,634.00</b>

Vendor name: American Planning Association  
 Address: PO Box 4291  
 City/State/zip: Carol Stream IL, 60197-4291  
 Vendor Code: apa  
 Ref #: 9004713  
 Post Date: 02/18/2015  
 CK Run Date: 02/20/2015  
 Disc. Date: / /  
 Due Date: 02/20/2015  
 Invoice: 137363-1514  
 PO: 000006972  
 Disc. %: 0.0000  
 Bank: GEN  
 Hold: N  
 Sep CK: N  
 1099: N

Invoice Description	AMOUNT	AMT RELIEVED	Gross Amount
MEMBERSHIP DUES	475.00	475.00	475.00
<b>TOTAL</b>	<b>475.00</b>	<b>475.00</b>	<b>475.00</b>

Vendor name: Aramark  
 Address: 1 Kellogg Square  
 City/State/zip: Battle Creek MI, 49017  
 Vendor Code: aramark  
 Ref #: 9004714  
 Post Date: 02/18/2015  
 CK Run Date: 02/20/2015  
 Disc. Date: / /  
 Due Date: 02/20/2015  
 Invoice: 5924-000240  
 PO: 000006949  
 Disc. %: 0.0000  
 Bank: GEN  
 Hold: N  
 Sep CK: N  
 1099: N

Invoice Description	AMOUNT	AMT RELIEVED	Gross Amount
KCFCA WINTER SEMINAR CATERING	2,873.39	2,873.39	2,873.39
<b>TOTAL</b>	<b>2,873.39</b>	<b>2,873.39</b>	<b>2,873.39</b>

Vendor name: Aramark  
 Address: 1 Kellogg Square  
 City/State/zip: Battle Creek MI, 49017  
 Vendor Code: aramark  
 Ref #: 9004714  
 Post Date: 02/18/2015  
 CK Run Date: 02/20/2015  
 Disc. Date: / /  
 Due Date: 02/20/2015  
 Invoice: 5924-000240  
 PO: 000006949  
 Disc. %: 0.0000  
 Bank: GEN  
 Hold: N  
 Sep CK: N  
 1099: N

Invoice Description	AMOUNT	AMT RELIEVED	Gross Amount
CATERING SERVICES	2,873.39	2,873.39	2,873.39
<b>TOTAL</b>	<b>2,873.39</b>	<b>2,873.39</b>	<b>2,873.39</b>

BANK CODE: GEN  
 Vendor name: AT&T  
 Address: PO Box 5080  
 City/State/Zip: Carol Stream IL, 06197-5080  
 Vendor Code: 90044715  
 Ref #: 90044715  
 Post Date: 02/18/2015  
 CK Run Date: 02/20/2015  
 Disc. Date: / /  
 Due Date: 02/20/2015  
 Invoice: 269381851202  
 FO: 0.0000  
 Disc. %: 0.0000  
 Bank: GEN  
 Hold: N  
 Sep CK: N  
 1099: N  
 Invoice Description: telephone - drake house  
 Gross Amount: 75.32  
 Discount: 0.00  
 Net Amount: 75.32

GL NUMBER: 107-756-98100  
 DESCRIPTION: Capital Outlay/Drake House  
 AMOUNT: 75.32  
 VENDOR TOTAL: 75.32

Paid  
 bwd 90044716  
 Best Way Disposal  
 2314 Miller Rd  
 Kalamazoo MI, 49001  
 02/18/2015 044808 GEN porta potties - parks  
 02/20/2015 0.0000 N  
 / / 0.0000 N  
 02/20/2015 N  
 AMOUNT: 450.00  
 VENDOR TOTAL: 450.00

GL NUMBER: 107-756-93100  
 DESCRIPTION: Maintenance Services  
 AMOUNT: 450.00  
 VENDOR TOTAL: 450.00

Paid  
 bcbs 90044717  
 Blue Cross Blue Shield of Michigan  
 PO Box 674416  
 Detroit MI, 48267-4416  
 02/18/2015 march GEN health insurance  
 02/20/2015 0.0000 N  
 / / 0.0000 N  
 02/20/2015 N  
 AMOUNT: 21,063.13  
 VENDOR TOTAL: 21,063.13

GL NUMBER: 101-234-71600  
 DESCRIPTION: HEALTH & LIFE INSURANCE  
 101-234-71600 11,389.51  
 206-336-71600 5,460.99  
 101-000-27800 4,212.63  
 AMOUNT: 21,063.13  
 VENDOR TOTAL: 21,063.13

BANK CODE: GEN  
 Vendor name: BS&A Software  
 Address: 14965 Abbey Lane  
 City/State/Zip: Bath MI, 48808  
 Vendor Code: 90044718  
 Ref #: 90044718  
 Post Date: 02/18/2015  
 CK Run Date: 02/20/2015  
 Disc. Date: / /  
 Due Date: 02/20/2015  
 Invoice: 096691  
 PO: 000006985  
 Disc. %: 0.0000  
 Bank: GEN  
 Hold: N  
 Sep CK: N  
 1099: N

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED	Invoice Description	Gross Amount	Discount	Net Amount
101-249-95800	TRAINING FOR DELINQUENT PROPERTY FOR BJ	195.00	195.00	TRAINING FOR BARBARA JEAN	195.00	0.00	195.00
bs&a	BS&A Software						
90044719	14965 Abbey Lane						
	Bath MI, 48808						
Paid							

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED	Invoice Description	Gross Amount	Discount	Net Amount
101-201-80500	CASH RECEIPTING 2/14 -2/15	1,007.00	1,007.00				
101-201-80500	INTERNET SERVICES 2/14 -2/15	3,851.00	3,851.00				
101-201-80500	PAYROLL SYSTEM 2/14 -2/15	1,450.00	1,450.00				
101-201-80500	GENERAL LEDGER 2/14 -2/15	1,187.00	1,187.00				
101-201-80500	TAX SYSTEM 2/14 -2/15	1,486.00	1,486.00				
101-201-80500	SPECIAL ASSESSMENT 2/14 -2/15	486.00	486.00				
101-201-80500	ACCOUNTS PAYABLE 2/14 -2/15	1,007.00	1,007.00				
101-201-80500	CEMETERY MANAGEMENT 2/14 - 2/15	372.00	372.00				
101-201-80500	TIME SHEET SYSTEM 2/14-2/15	811.00	811.00				
101-201-80500	PURCHASE ORDER 2/14 -2/15	867.00	867.00				
101-201-80500	ASSESSING 2/14 -2/15	1,858.00	1,858.00				
101-201-80500	BUILDING DEPT 'SEATS' 2/14 -2/15	1,714.00	1,714.00				
101-201-80500	DELINQUENTS 2/14 - 2/15	1,306.00	1,306.00				
		17,402.00	17,402.00				
				VENDOR TOTAL:	17,597.00		

MISC	DESCRIPTION	DATE	AMOUNT	AMT RELIEVED	Invoice Description	Gross Amount	Discount	Net Amount
90044734	Chelsie Krotz	02/18/2015	250.00		rental deposit refund	250.00	0.00	250.00
	1321 Bunkerhill Drive	02/20/2015						
	Kalamazoo MI, 49009	/ /						
		02/20/2015						
Paid								
GL NUMBER	DESCRIPTION		AMOUNT					
101-000-24800	Rent Deposits		250.00					
					VENDOR TOTAL:	250.00		

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP  
 EXP CHECK RUN DATES 02/20/2015 - 02/20/2015  
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

02/18/2015 04:15 PM  
 User: DeannaJ  
 DB: Oshtemo

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		

ch	Clark Hill	02/18/2015	580319	GEN	legal fees	
90044720	PO Box 3760	02/20/2015	0.0000	N		1,642.22
	Pittsburgh PA, 15230	/ /		N		0.00
Paid		02/20/2015		Y		1,642.22

GL NUMBER 101-223-82600  
 DESCRIPTION Legal Fees  
 AMOUNT 1,642.22

VENDOR TOTAL: 1,642.22

ce-sl	Consumers Energy	02/18/2015	01312015	GEN	street lights	
90044721	Lansing MI, 48937-0001	02/20/2015	0.0000	N		10,006.39
		/ /		N		0.00
Paid		02/20/2015		N		10,006.39

GL NUMBER 101-506-92600  
 DESCRIPTION Street Lighting  
 AMOUNT 10,006.39

VENDOR TOTAL: 10,006.39

dell	Dell Marketing	02/18/2015	xjmm6wtt1	GEN	LAPTOP COMPUTER FOR FIRE	(INVOICE XJMM
90044724	PO Box 643561	02/20/2015	000006963	N		1,761.10
	Pittsburgh PA, 15264-3561	/ /	0.0000	N		0.00
Paid		02/20/2015		N		1,761.10

GL NUMBER 206-340-80900  
 DESCRIPTION COMPUTER FOR FIRE DEPARTMENT  
 AMOUNT 1,761.10  
 AMT RELIEVED 1,761.10

dell	Dell Marketing	02/18/2015	xjmmtrrr9	GEN	LAPTOP COMPUTER FOR MEETING ROOM	(INVOI
90044723	PO Box 643561	02/20/2015	000006962	N		1,390.97
	Pittsburgh PA, 15264-3561	/ /	0.0000	N		0.00
Paid		02/20/2015		N		1,390.97

GL NUMBER 101-201-93300  
 DESCRIPTION LAPTOP FOR MEETING ROOM  
 AMOUNT 1,390.97  
 AMT RELIEVED 1,390.97

VENDOR TOTAL: 3,152.07

BANK CODE: GEN  
 Vendor name: Des Moines Stamp  
 Address: 851 Sixth Ave  
 City/State/Zip: Des Moines IA, 50306-1798  
 Vendor Code: dm  
 Ref #: 90044725  
 Post Date: 02/18/2015  
 CK Run Date: 02/20/2015  
 Disc. Date: / /  
 Due Date: 02/20/2015  
 Invoice: 10287577  
 PO: 000006943  
 Disc. %: 0.0000  
 Bank: GEN  
 Hold: N  
 Sep CK: N  
 1099: N

Invoice Description	DIAS NAMEPLATE	AMOUNT	AMT RELIEVED	Gross Amount	Discount	Net Amount
		20.50	20.50	20.50		20.50

Paid  
 VENDOR TOTAL: 20.50

DESCRIPTION	NAMEPLATE	AMOUNT	AMT RELIEVED
Edwards Industrial Sales Inc.			
424 Mills Street			
PO Box 2560			
Kalamazoo MI, 49003			
		31.26	31.26

Paid  
 VENDOR TOTAL: 31.26

DESCRIPTION	AMOUNT	AMT RELIEVED
SNOW PLOW HOSE FOR 510	17.19	17.19
SNOW PLOW HOSE FOR 510	10.94	10.94
SNOW PLOW HOSE FOR 510	3.13	3.13
	31.26	31.26

Paid  
 VENDOR TOTAL: 31.26

DESCRIPTION	AMOUNT	AMT RELIEVED
Engineered Protections Systems, Inc		
750 Front NW		
Suite 200		
Grand Rapids MI, 49504-4400		
	218.00	218.00

Paid  
 VENDOR TOTAL: 218.00

DESCRIPTION	AMOUNT	AMT RELIEVED
INVESTIGATE REPAIR OF POWER SUPPLY	163.50	163.50
INVESTIGATE REPAIR OF POWER SUPPLY	54.50	54.50
	218.00	218.00

VENDOR TOTAL: 218.00

BANK CODE: GEN  
 Vendor name: Galls Incorporated  
 Address: 24296 Network Place  
 City/State/Zip: Carol Stream IL, 60673-1224  
 Vendor Code: GEN  
 Ref #: 90044729  
 Post Date: 02/18/2015  
 CK Run Date: 02/20/2015  
 Disc. Date: / /  
 Due Date: 02/20/2015  
 Invoice: 003041728  
 PO: 000006918  
 Disc. %: 0.0000  
 Bank: GEN  
 Hold: N  
 Sep CK: N  
 1099: N  
 Invoice Description: DUTY BOOTS FOR INTERN FF  
 Gross Amount: 131.94  
 Discount: 0.00  
 Net Amount: 131.94

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-336-72500	8" DUTY BOOT SIZE 10 FF JEAN	124.99	124.99
206-336-72500	SHIPPING AND HANDLING	6.95	10.00
		131.94	134.99

VENDOR TOTAL: 131.94

iab	DESCRIPTION	AMOUNT	AMT RELIEVED
90044730	Interstate All Battery Center 3515 Stadium Drive Kalamazoo MI, 49009	1901801011456 000006977 0.0000	EMERGENCY LIGHT BATTERY 39.98 14.99
		54.97	54.97

VENDOR TOTAL: 54.97

iron	DESCRIPTION	AMOUNT	AMT RELIEVED
90044731	Iron Mountain PO Box 27128 New York NY, 10087-7128	1cb9873 000006951 0.0000	STORAGE FEE FOR FEBRUARY, 2015 155.16 0.00
		54.97	155.16

VENDOR TOTAL: 155.16

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-250-95500	STORAGE FEE FOR FEBRUARY, 2015	155.16	155.16

VENDOR TOTAL: 155.16

BANK CODE: GEN  
 Vendor name Kalamazoo County Council of Gov't  
 Address c/o Carol DeHaan  
 City/State/Zip 1590 West D Ave Kalamazoo MI, 49009

Vendor Code	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	CK Run Date	PO	Hold		Discount
	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		
cog	02/18/2015	2015 dues	GEN	2015 ANNUAL DUES	
90044722	02/20/2015	000006986	N		25.00
	/ /	0.0000	N		0.00
Paid	02/20/2015		N		25.00

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-249-95800	2015 ANNUAL DUES	25.00	25.00
		VENDOR TOTAL:	
			25.00

ko	DESCRIPTION	GEN	fd vehicle gas	AMOUNT
90044733	Kalamazoo Oil Company	N		1,758.66
	2601 N. Burdick Street			
	Kalamazoo MI, 49007-1874			0.00
Paid				1,758.66

GL NUMBER	DESCRIPTION	AMOUNT
206-340-86800	Fuel	1,758.66

ko	DESCRIPTION	GEN	gas - twp vehicles	AMOUNT
90044732	Kalamazoo Oil Company	N		392.07
	2601 N. Burdick Street			
	Kalamazoo MI, 49007-1874			0.00
Paid				392.07

GL NUMBER	DESCRIPTION	AMOUNT	
206-340-86800	Fuel	121.85	
101-249-86800	Fuel, Oil & Grease	45.03	
107-756-86800	Fuel, Oil & Grease	152.56	
101-218-86800	Fuel, Oil & Grease	72.63	
		392.07	
		0.00	
		VENDOR TOTAL:	2,150.73

BANK CODE: GEN  
 Vendor name Kalamazoo Township Treasurer  
 Address 1720 N. Riverview Dr  
 City/State/Zip Kalamazoo MI, 49004  
 Vendor Code  
 Ref #  
 Post Date 02/18/2015  
 CK Run Date 02/20/2015  
 Disc. Date / /  
 Due Date 02/20/2015  
 Invoice 564  
 PO 000006987  
 Disc. % 0.0000  
 Bank GEN  
 Hold N  
 Sep CK N  
 1099 N

Invoice Description TRAIL SIGN-KAL HAVEN TRAIL  
 Gross Amount 54.00  
 Discount 0.00  
 Net Amount 54.00

Paid  
 GL NUMBER 107-756-72800  
 DESCRIPTION TRAIL SIGN  
 AMOUNT 54.00  
 AMT RELIEVED 54.00

VENDOR TOTAL: 54.00  
 kss  
 90044735  
 KSS Enterprises  
 616 E Vine Street  
 Kalamazoo MI, 49001  
 Paid  
 AMOUNT 695.73  
 AMT RELIEVED 0.00  
 695.73

DESCRIPTION LOT ICE MELT  
 AMOUNT 695.73  
 AMT RELIEVED 345.39  
 138.16  
 207.23  
 4.95  
 695.73

VENDOR TOTAL: 695.73  
 lmm  
 90044782  
 Lake Michigan Mailers  
 PO Box 19157  
 Kalamazoo MI, 49019-9157  
 Paid  
 AMOUNT 3,185.00  
 0.00  
 3,185.00

DESCRIPTION assessment notice mailing  
 AMOUNT 3,185.00  
 Postage - assessing  
 VENDOR TOTAL: 3,185.00

BANK CODE: GEN  
 Vendor name Menards  
 Address 6800 West Main Street  
 City/State/Zip Kalamazoo MI, 49009  
 Vendor Code menards  
 Ref # 90044739  
 Post Date 02/18/2015  
 CK Run Date 02/20/2015  
 Disc. Date / /  
 Due Date 02/20/2015

Paid  
 GL NUMBER 101-218-72800  
 DESCRIPTION 4' X 6' UTILITY MAT - TWP HALL KITCHEN  
 menards Menards  
 6800 West Main Street  
 Kalamazoo MI, 49009  
 90044740  
 6800 West Main Street  
 Kalamazoo MI, 49009  
 Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED	Net Amount
207-330-72800	WOOD STAKES	8.49	8.49	29.99
207-330-72800	11 OZ FLOURESCENT PINK SPRAY PAINT	3.76	3.76	29.99
207-330-72800	GORILLA DUCT TAPE	8.47	8.47	29.99
207-330-72800	RETRACT UTILITY KNIFE	3.88	3.88	29.99
207-330-72800	6 WAY SCREWDRIVER	3.99	3.99	29.99
207-330-72800	PINK SAFETY TAPE	1.99	1.99	29.99
207-330-72800	ORANGE SAFETY TAPE	1.99	1.99	29.99
207-330-72800	100' TAPE MEASURE REEL	14.97	14.97	29.99
207-330-72800	ORANGE STAKE FLAGS	1.59	1.59	29.99
207-330-72800	PINK STAKE FLAGS	1.59	1.59	29.99
		50.72	50.72	29.99

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED	Net Amount
206-340-72800	BATTERIES, BOWL BRUSH, MOP HEAD, MOP HAN	67.90	67.90	67.90
90044741	6800 West Main Street	67.90	67.90	67.90
Kalamazoo MI, 49009		0.00	0.00	67.90
Paid				

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED	Net Amount
90044743	6800 West Main Street	19.52	19.52	19.52
Kalamazoo MI, 49009		0.00	0.00	19.52
Paid				

GL NUMBER 101-218-72800  
 DESCRIPTION 4' X 6' UTILITY MAT - FOR TWP HALL KITC  
 AMOUNT 29.99  
 AMT RELIEVED 29.99  
 Net Amount 0.00

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PC	Hold		Discount
	City/State/zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
206-340-86700	BRAKE CLEANER				11.56	
206-340-86700	PLUMBER/MARINE EXPOXY				4.97	
206-340-72800	FLEXI BLADE DRI				2.99	
					19.52	
menards	Menards	02/18/2015	79530	GEN	PREMIX GAS AND SHOP TOWELS	20.93
90044742	6800 West Main Street	02/20/2015	000006959	N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	N		20.93
		02/20/2015		N		
Paid						
GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED			
206-340-72800	SHOP TOWELS	9.97	9.97			
206-340-86800	TRUE FUEL PREMIX	10.96	10.96			
		20.93	20.93			
					VENDOR TOTAL:	189.06
mamc	MI Assoc of Municipal Clerks	02/18/2015	03242015	GEN	master academy	450.00
90044738	Betty Kennedy	02/20/2015		N		0.00
	Village of North Branch	/ /	0.0000	N		450.00
	North Branch MI, 48461-0704	02/20/2015		N		
Paid						
GL NUMBER	DESCRIPTION	AMOUNT				
101-249-95800	Education/Dues	450.00				
					VENDOR TOTAL:	450.00
mmta	MI Municipal Treasurers Assoc	02/18/2015	02202015	GEN	mmta institute	325.00
90044745	c/o Bruce Malinczak	02/20/2015		N		0.00
	PO Box 87156	/ /	0.0000	N		325.00
	Canton MI, 48187	02/20/2015		N		
Paid						
GL NUMBER	DESCRIPTION	AMOUNT				
101-249-95800	Education	325.00				
					VENDOR TOTAL:	325.00

BANK CODE: GEN

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
miamc	Mich Assoc of Municipal Cemeteries	02/18/2015	2015 dues	GEN	ANNUAL MEMBERSHIP DUES	
90044737	400 S. Harrison Street Ludington MI, 49431	02/20/2015	000006965	N		35.00
		/ /	0.0000	N		0.00
		02/20/2015		N		35.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-249-95800	ANNUAL MEMBERSHIP DUES	35.00	35.00

VENDOR TOTAL: 35.00

mid-mich	Mid-Michigan Assoc of Assessing Off	02/18/2015	02202015	GEN	6 HOUR RENEWAL CLASS FOR CATHY	
90044780	Timothy Vandermark, Eaton County	02/20/2015	000006988	N		25.00
	1045 Independence Blvd, Equalizatio	/ /	0.0000	N		0.00
	Charlotte MI, 48813	02/20/2015		N		25.00

Paid

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-209-95800	6 HOUR RENEWAL CLASS FOR CATHY	25.00	25.00

VENDOR TOTAL: 25.00

kg	Mlive Media Group	02/18/2015	01312015	GEN	legal notices	
90044744	Dept 77571	02/20/2015		N		2,820.70
	PO Box 77000	/ /	0.0000	N		0.00
	Detroit MI, 48277-0571	02/20/2015		N		2,820.70

Paid

GL NUMBER	DESCRIPTION	AMOUNT
101-249-90300	Legal Notices	2,820.70

VENDOR TOTAL: 2,820.70

BANK CODE: GEN  
 Vendor name: Moses Fire Equipment  
 Address: PO Box 690  
 City/State/Zip: Lawrence MI, 49064-0690  
 Vendor Code: 90044746  
 Ref #: 90044746  
 Post Date: 02/18/2015  
 CK Run Date: 02/20/2015  
 Disc. Date: / /  
 Due Date: 02/20/2015  
 Invoice: 15046  
 PO: 000006980  
 Disc. %: 0.0000  
 Bank: GEN  
 Hold: N  
 Sep CK: N  
 1099: N

Invoice Description	Amount	AMT RELIEVED	Gross Amount	Discount	Net Amount
HANGING NAME PLATES FOR BUNKER COATS	239.40	239.40	250.63	0.00	250.63
FREIGHT	11.23	11.23			
<b>VENDOR TOTAL:</b>	<b>250.63</b>	<b>250.63</b>			

DESCRIPTION	Amount	AMT RELIEVED	Gross Amount	Discount	Net Amount
HANGING NAME PLATES 33, 16, 28	239.40	239.40	250.63	0.00	250.63
<b>VENDOR TOTAL:</b>	<b>250.63</b>	<b>250.63</b>			

GL NUMBER	DESCRIPTION	Amount	AMT RELIEVED	Gross Amount	Discount	Net Amount
206-340-76600	Maintenance Services	130.66	130.66	1,175.97	0.00	1,175.97
206-340-93100	Building Maintenance	522.65	522.65			
101-218-93100	Maintenance Services	522.66	522.66			
107-756-93100	Maintenance Services	522.66	522.66			
<b>VENDOR TOTAL:</b>	<b>1,175.97</b>	<b>1,175.97</b>				

GL NUMBER	DESCRIPTION	Amount	AMT RELIEVED	Gross Amount	Discount	Net Amount
206-340-76600	VOICE MAIL DIED	186.25	186.25	186.25	0.00	186.25
101-249-85300	VOICE MAIL DIES	186.25	186.25			
<b>VENDOR TOTAL:</b>	<b>186.25</b>	<b>186.25</b>				

GL NUMBER	DESCRIPTION	Amount	AMT RELIEVED	Gross Amount	Discount	Net Amount
206-340-76600	VOICE MAIL DIED	186.25	186.25	186.25	0.00	186.25
101-249-85300	VOICE MAIL DIES	186.25	186.25			
<b>VENDOR TOTAL:</b>	<b>186.25</b>	<b>186.25</b>				

BANK CODE: GEN  
 Vendor name Nye Uniform  
 Address 1030 Scribner NW  
 City/State/Zip Grand Rapids MI, 49504

Post Date Invoice 493237/495927 GEN  
 CK Run Date PO 000006967 N  
 Disc. Date Disc. % 0.0000 N  
 Due Date 02/20/2015 N

Vendor Code	Ref #	Invoice Description	Bank	Hold	Sep CK	Gross Amount	Discount	Net Amount
nu	90044749	INTERN FF JEAN CLOTHING	GEN			493.68	0.00	493.68
Paid								

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-336-72500	NAVY ELBECCO SS SHIRTS	133.50	133.50
206-336-72500	NAVY ELBECCO LS SHIRTD	145.50	145.50
206-336-72500	NAVY ELBECCO CARGO PANTS	133.00	133.00
206-336-72500	NAVY 4 POCKET PANTS	49.50	49.50
206-336-72500	BLACK/SILVER BICKLE DUTY BELT	19.50	19.50
206-336-72500	FREIGHT CHARGES	12.68	12.68
		493.68	493.68

VENDOR TOTAL: 493.68

ocba	DESCRIPTION	AMOUNT	AMT RELIEVED
90044750	FLESHER FIELD PHASE 2 IMPLEMENTATION FE	422.38	422.38
Paid			

VENDOR TOTAL: 422.38

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
107-756-98200.FF2013	FLESHER FIELD PHASE 2 IMPLEMENTATION FEE	422.38	422.38
Vendor Total: 422.38			

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
office	Office Depot	02/18/2015	10609160,161	GEN	OFFICE SUPPLIES	51.95
90044755	Dept .69-00827020	02/20/2015	000006953	N		51.95
	PO Box 183174	/ /	0.0000	N		0.00
	Columbus OH, 43218	02/20/2015		N		51.95
Paid						
GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED			
206-340-72800	LAMINATION	5.97	5.97			
206-340-72800	LABEL MAKER TAPE	45.98	45.98			
		51.95	51.95			
office	Office Depot	02/18/2015	748911041001	GEN	OFFICE SUPPLIES	99.96
90044761	Dept .69-00827020	02/20/2015	000006868	N		99.96
	PO Box 183174	/ /	0.0000	N		0.00
	Columbus OH, 43218	02/20/2015		N		99.96
Paid						
GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED			
206-340-72800	COPY PAPER	24.99	24.99			
101-249-72800	COPY PAPER	74.97	74.97			
		99.96	99.96			
office	Office Depot	02/18/2015	748970019001	GEN	OFFICE SUPPLIES	60.94
90044760	Dept .69-00827020	02/20/2015	000006868	N		60.94
	PO Box 183174	/ /	0.0000	N		0.00
	Columbus OH, 43218	02/20/2015		N		60.94
Paid						
GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED			
101-191-72800	STORAGE BOXES	33.98	33.98			
101-250-72800	AA BATTERIES	20.98	20.98			
101-250-72800	BLK FILE LABELS	5.98	5.98			
		60.94	60.94			
office	Office Depot	02/18/2015	748975526001	GEN	OFFICE SUPPLIES	137.89
90044758	Dept .69-00827020	02/20/2015	000006868	N		137.89
	PO Box 183174	/ /	0.0000	N		0.00
	Columbus OH, 43218	02/20/2015		N		137.89
Paid						

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP  
 EXP CHECK RUN DATES 02/20/2015 - 02/20/2015  
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

BANK CODE: GEN

Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Address	CK Run Date	PO	Hold		Discount
City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-250-72800	ADDRESS LABELS	25.99	25.99
101-250-72800	LABEL SEALS	17.97	17.97
101-249-72800	YELLOW FOLDERS	25.99	25.99
101-250-72800	INDEX LTR TABS	7.98	7.98
101-250-72800	EXPAND'G FILES	32.99	32.99
101-250-72800	SHIPPING TAPE	6.98	6.98
101-250-72800	MANILLA FILES	19.99	19.99
		<u>137.89</u>	<u>137.89</u>

office	02/18/2015	748983772001	GEN	OFFICE SUPPLIES	43.98
9004757	02/20/2015	000006868	N		
	/ /	0.0000	N		0.00
Paid	02/20/2015		N		43.98

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED		
101-201-72800	HP INKJET	43.98	43.98		
office	02/18/2015	749273961001	GEN	OFFICE SUPPLIES	125.93
9004759	02/20/2015	000006868	N		
	/ /	0.0000	N		0.00
Paid	02/20/2015		N		125.93

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-249-72800	ADDRESS LABELS	66.98	66.98
101-249-72800	LABEL TAPE	27.98	27.98
101-249-72800	RUBBERBANDS	9.99	9.99
101-249-72800	LABEL TAPE 1/2 IN	20.98	20.98
		<u>125.93</u>	<u>125.93</u>

office	02/18/2015	749794381001	GEN	OFFICE SUPPLIES	108.93
9004756	02/20/2015	000006868	N		
	/ /	0.0000	N		0.00
Paid	02/20/2015		N		108.93

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-249-72800	GREEN LTR HANGING FILES	12.99	12.99

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/zip	Disc. Date	Disc. %	Sep Ck		Net Amount
		Due Date		1099		
101-249-72800	PURPLE LTR HANGING FILES				14.99	14.99
101-249-72800	YELLOW LTR HANGING FILES				14.99	14.99
101-249-72800	PURPLE LEGAL HANGING FILES				50.97	50.97
101-249-72800	ASST LTR HANGING FILES				14.99	14.99
					<u>108.93</u>	
office	Office Depot	02/18/2015	753128897001	GEN	COPY PAPER	
90044754	Dept .69-00827020	02/20/2015	000006913	N		107.96
	PO Box 183174	/ /	0.0000	N		0.00
	Columbus OH, 43218	02/20/2015		N		107.96
GL NUMBER	DESCRIPTION				AMOUNT	AMT RELIEVED
101-249-72800	COPY PAPER				107.96	107.96
office	Office Depot	02/18/2015	753732448001	GEN	OFFICE SUPPLIES	
90044752	Dept .69-00827020	02/20/2015	000006912	N		127.05
	PO Box 183174	/ /	0.0000	N		0.00
	Columbus OH, 43218	02/20/2015		N		127.05
GL NUMBER	DESCRIPTION				AMOUNT	AMT RELIEVED
101-249-72800	SZ 64 RUBBER BANDS				14.58	14.58
101-249-72800	SZ 33 RUBBER BANDS				14.58	14.58
101-249-72800	BANDAIDS				7.99	7.99
101-191-72800	GUMMED TABS				5.97	5.97
101-249-72800	DYMO LABELS				83.93	83.93
					<u>127.05</u>	127.05
office	Office Depot	02/18/2015	753737127001	GEN	OFFICE SUPPLIES	
90044753	Dept .69-00827020	02/20/2015	000006911	N		115.93
	PO Box 183174	/ /	0.0000	N		0.00
	Columbus OH, 43218	02/20/2015		N		115.93
GL NUMBER	DESCRIPTION				AMOUNT	AMT RELIEVED
101-201-72800	HP 49 A				102.99	102.99
101-249-72800	LEGAL SZ STACKING TRAY				12.94	12.94
					<u>115.93</u>	115.93

BANK CODE: GEN  
 Vendor name Office Depot  
 Address Dept .69-00827020  
 City/State/Zip PO Box 183174 Columbus OH, 43218  
 Vendor Code  
 Ref #  
 Post Date Invoice  
 CK Run Date PO  
 Disc. Date Disc. %  
 Due Date  
 Bank Hold  
 Sep CK  
 1099  
 Invoice Description  
 Gross Amount  
 Discount  
 Net Amount

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
101-201-72800	TONER HP 505X	165.99	165.99
101-249-72800	AA BATTERIES	30.38	30.38
101-249-72800	POP UP NOTES	5.49	5.49
Paid		201.86	201.86
VENDOR TOTAL:		1,182.38	

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
206-340-93100	LABOR	375.00	375.00
206-340-93100	PARTS - SPRINGS	304.00	304.00
206-340-93100	FREIGHT CHARGES	35.10	35.10
Paid		714.10	714.10
VENDOR TOTAL:		714.10	

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
90044777	rental deposit refund	175.00	175.00
Paid		0.00	0.00
VENDOR TOTAL:		175.00	

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP  
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BANK CODE: GEN

Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Address	CK Run Date	FO	Hold		Discount
City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
	Due Date		1099		
Prein & Newhof	02/18/2015	various	GEN	engineering fees	
3355 Evergreen Drive NE	02/20/2015	0.0000	N		3,092.55
Grand Rapids MI, 49525	/ /		N		0.00
	02/20/2015		N		3,092.55

GL NUMBER	DESCRIPTION	AMOUNT
101-209-82000	Engineering Fees	616.50
101-249-82000	Engineering Fees	380.25
101-805-82000	Engineering Fees	624.60
490-000-82000	Engineering Fees	1,275.60
491-000-82000	Engineering Fees	195.60
		<u>3,092.55</u>
		0.00
	<b>VENDOR TOTAL:</b>	<b>3,092.55</b>

rise	DESCRIPTION	GEN	AMOUNT
90044764	RI Stafford Excavating	GEN	grave openings
	PO Box 754	N	1,000.00
	Richland MI, 49083	N	0.00
		Y	1,000.00
			<u>1,000.00</u>
	<b>VENDOR TOTAL:</b>		<b>1,000.00</b>

GL NUMBER	DESCRIPTION	GEN	AMOUNT
101-218-80800	Contracted Grave Openings	GEN	ALERTING PAGERS FOR FIRE DEPARTMENT
		N	5,820.00
		N	0.00
		N	5,820.00
			<u>1,000.00</u>
	<b>VENDOR TOTAL:</b>		<b>1,000.00</b>

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED
211-344-98000	MINITOR VI PAGERS	5,820.00	5,820.00
	<b>VENDOR TOTAL:</b>		<b>5,820.00</b>

BANK CODE: GEN  
 Vendor name Secant Technologies  
 Address 6395 Technology Ave  
 City/State/zip Kalamazoo MI, 49009

Vendor Code  
 Ref #  
 Post Date Invoice  
 CK Run Date PO  
 Disc. Date Disc. %  
 Due Date

Bank Hold  
 Sep CK  
 1099  
 Invoice Description  
 VIDEO IN MEETING ROOM REMOVE PURPLE LIN

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED	Gross Amount	Discount	Net Amount
101-201-93300	VIDEO EQUIPMENT IN MEETING ROOM PURPLE L	1,124.00	1,124.00	1,124.00	0.00	1,124.00
Paid		VENDOR TOTAL:		1,124.00		

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED	Gross Amount	Discount	Net Amount
90044766	Siegfried Crandall 246 E Kilgore Rd Kalamazoo MI, 49002-5599	84425	computer support	3,383.69	0.00	3,383.69
Paid		VENDOR TOTAL:		3,383.69		

GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED	Gross Amount	Discount	Net Amount
206-340-80900	Computer Operations	1,500.00				
101-201-80500	Computer support	1,883.69				
Paid		VENDOR TOTAL:		3,383.69		

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
slp	Steensma Lawn & Power	02/18/2015	234883	GEN	FLOW HYDRALIC FLUID	29.87
90044767	7561 Stadium Drive	02/20/2015	000006975	N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	N		29.87
		02/20/2015		N		
Paid						
GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED			
101-218-75300	FLOW HYDRALIC FLUID	16.43	16.43			
107-756-75300	FLOW HYDRALIC FLUID	10.45	10.45			
206-340-93100	FLOW HYDRALIC FLUID	2.99	2.99			
		29.87	29.87			
slp	Steensma Lawn & Power	02/18/2015	235063	GEN	PTO BEARINGS	38.52
90044768	7561 Stadium Drive	02/20/2015	000006976	N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	N		38.52
		02/20/2015		N		
Paid						
GL NUMBER	DESCRIPTION	AMOUNT	AMT RELIEVED			
107-756-75300	PTO BEARINGS	38.52	38.52			
		68.39	68.39			
		VENDOR TOTAL:				
MISC	Sue Dziejewicki	02/18/2015	02072015	GEN	rental deposit refund	250.00
90044726	629 s. 8th Street	02/20/2015		N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	Y		250.00
		02/20/2015		N		
Paid						
GL NUMBER	DESCRIPTION	AMOUNT				
101-000-24800	Rent Deposits	250.00				
		250.00				
		VENDOR TOTAL:				
		250.00				

Vendor name: Superior Play, L.L.C.  
 Address: 889 S. Old US 23  
 City/State/Zip: Brighton MI, 48114

Post Date: 02/18/2015  
 CK Run Date: 02/20/2015  
 Disc. Date: / /  
 Due Date: 02/20/2015

Invoice: 15-087  
 PO: 000006947  
 Disc. %: 0.0000

Bank: GEN  
 Hold: N  
 Sep CK: N  
 1099: N

Invoice Description: PICNIC TABLES

Gross Amount: 10,097.00  
 Discount: 0.00  
 Net Amount: 10,097.00

AMOUNT: 1,200.00  
 AMT RELIEVED: 1,200.00  
 8,085.00  
 1,013.00  
 (201.00)

10,097.00  
 10,097.00

VENDOR TOTAL: 10,097.00

term: 90044775  
 Description: Terminix PO Box 238 Oshtemo MI, 49077-0238

Post Date: 02/18/2015  
 CK Run Date: 02/20/2015  
 Disc. Date: / /  
 Due Date: 02/20/2015

Invoice: 342172779  
 PO: 0.0000

Bank: GEN  
 Hold: N  
 Sep CK: N  
 1099: Y

Invoice Description: yearly pest control - h2

Gross Amount: 465.60  
 Discount: 0.00  
 Net Amount: 465.60

AMOUNT: 465.60

VENDOR TOTAL: 465.60

term: 90044774  
 Description: Terminix PO Box 238 Oshtemo MI, 49077-0238

Post Date: 02/18/2015  
 CK Run Date: 02/20/2015  
 Disc. Date: / /  
 Due Date: 02/20/2015

Invoice: 342174099  
 PO: 0.0000

Bank: GEN  
 Hold: N  
 Sep CK: N  
 1099: Y

Invoice Description: yearly pest control - pkvw

Gross Amount: 430.68  
 Discount: 0.00  
 Net Amount: 430.68

AMOUNT: 430.68

VENDOR TOTAL: 430.68

term: 90044774  
 Description: Terminix PO Box 238 Oshtemo MI, 49077-0238

Post Date: 02/18/2015  
 CK Run Date: 02/20/2015  
 Disc. Date: / /  
 Due Date: 02/20/2015

Invoice: 342174099  
 PO: 0.0000

Bank: GEN  
 Hold: N  
 Sep CK: N  
 1099: Y

Invoice Description: yearly pest control - pkvw

Gross Amount: 430.68  
 Discount: 0.00  
 Net Amount: 430.68

AMOUNT: 430.68

VENDOR TOTAL: 430.68

VENDOR TOTAL: 896.28

Vendor Code	Vendor name	Post Date	Invoice	Bank	Invoice Description	Gross Amount
Ref #	Address	CK Run Date	PO	Hold		Discount
	City/State/Zip	Disc. Date	Disc. %	Sep CK		Net Amount
		Due Date		1099		
BANK CODE: GEN						
spirit	The Spirit Shoppe	02/18/2015	11413	GEN	EMBROIDERY OF THE HAVIS PARKA LINERS	40.00
90044770	4510 KL Avenue	02/20/2015	000006922	N		0.00
	Kalamazoo MI,	/ /	0.0000	N		40.00
Paid		02/20/2015				
GL NUMBER	DESCRIPTION			AMOUNT	AMT RELIEVED	
206-336-72500	EMBROIDERY			40.00	40.00	
spirit	The Spirit Shoppe	02/18/2015	11413	GEN	TSHIRTS FOR NEW HIRES	242.00
90044771	4510 KL Avenue	02/20/2015	000006881	N		0.00
	Kalamazoo MI,	/ /	0.0000	N		242.00
Paid		02/20/2015				
GL NUMBER	DESCRIPTION			AMOUNT	AMT RELIEVED	
206-336-72500	LARGE SS TSHIRTS			160.00	160.00	
206-336-72500	XL SS TSHIRTS			48.00	48.00	
206-336-72500	WINTER CAP			12.00	12.00	
206-336-72500	LARGE LS TSHIRTS			22.00	22.00	
				242.00	242.00	
VENDOR TOTAL:						282.00
thomson	Thomson West	02/18/2015	831210277	GEN	ON-LINE LIBRARY RESEARCH - JANUARY 2015	665.18
90044772	P.O. Box 6292	02/20/2015	000006982	N		0.00
	Carol Stream IL, 60197-6292	/ /	0.0000	N		665.18
Paid		02/20/2015				
GL NUMBER	DESCRIPTION			AMOUNT	AMT RELIEVED	
101-250-95500	ON-LINE LIBRARY RESEARCH FOR JAN. 2015			665.18	665.18	
VENDOR TOTAL:						665.18
tshirt	T-Shirt Printing Plus	02/18/2015	49074	GEN	ORD ENF EMBR POLOS	60.00
90044773	8608 West Main Street	02/20/2015	000006948	N		0.00
	Kalamazoo MI, 49009	/ /	0.0000	N		60.00
Paid		02/20/2015				
GL NUMBER	DESCRIPTION			AMOUNT	AMT RELIEVED	
207-330-72800	ORDINANCE ENFORCEMENT EMBR POLO SHIRTS			60.00	60.00	

INVOICE APPROVAL BY INVOICE REPORT FOR OSHTEMO TOWNSHIP  
 EXP CHECK RUN DATES 02/20/2015 - 02/20/2015  
 BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID

BANK CODE: GEN  
 Bank Hold Sep CK 1099  
 Invoice Description

Vendor name Address City/State/zip  
 Vendor Code Ref #  
 Post Date CK Run Date Disc. Date Due Date  
 Invoice PO Disc. %  
 long term care

unum-ltc 90044779  
 Umum Life Insurance Co  
 PO Box 406990  
 Atlanta GA, 30384-6990

02/18/2015 march  
 02/20/2015 0.0000  
 / / 0.0000  
 02/20/2015

Paid  
 GL NUMBER  
 101-234-71600 Health & Life Insurance  
 206-336-71600 Health & Life Insurance

AMOUNT  
 196.80  
 71.60  
 268.40

ws 90044778  
 W.S. Darley Company  
 325 Spring Lake Drive  
 Itasca IL, 60143

02/18/2015 17176238  
 02/20/2015 000006941  
 / / 0.0000  
 02/20/2015

Paid  
 GL NUMBER  
 211-344-98000 FIRE PUMP & WATER TANK SYSTEM

AMOUNT  
 9,800.00  
 AMT RELIEVED  
 9,800.00

wsf 90044776  
 West Shore Fire  
 6620 Lake Michigan Drive  
 PO Box 188  
 Allendale MI, 49401

02/18/2015 9088  
 02/20/2015 000006871  
 / / 0.0000  
 02/20/2015

Paid  
 GL NUMBER  
 211-344-98000 SCOTT PAC TRACKER  
 211-344-98000 VEHICLE CHARGERS FOR PAC TRACKERS  
 211-344-98000 PERSONAL TRANSMITTERS  
 211-344-98000 FREIGHT

AMOUNT  
 2,392.00  
 1,155.00  
 765.00  
 40.63  
 4,352.63

VENDOR TOTAL: 60.00

VENDOR TOTAL: 268.40

VENDOR TOTAL: 9,800.00

VENDOR TOTAL: 9,800.00

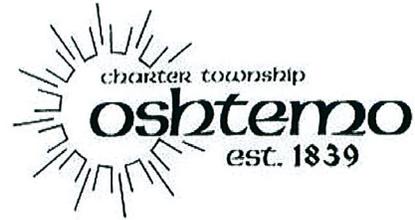
VENDOR TOTAL: 4,352.63

VENDOR TOTAL: 4,352.63

VENDOR TOTAL: 4,340.00

VENDOR TOTAL: 4,352.63

TOTAL - ALL VENDORS: 119,546.08



# Memorandum

**Date:** February 19, 2015

**To:** Township Board

**From:** Karen High, Parks Administrator

**Subject:** Update on Drake Farmstead Master Plan Development Process

## OBJECTIVE

Board update on development of a master plan for the Drake Farmstead. Board action not required.

## INFORMATION

The Township purchased the Drake Farmstead with 5 acres of land in 2004. The Oshtemo Historical Society (OHS) was formed while the Township was negotiating purchase of the property. OHS has made restoration of the historic house their top priority and they have worked hard over the past decade to stabilize and renovate the house in keeping with its historic character.

A visioning session with the Township Board and OHS members was held in 2011. One of the main recommendations was to purchase adjoining property in order to have space for events and park uses. In 2013, the Township purchased ten acres of property to the south from Kalamazoo College. In 2014, the Dinerstine Group donated 11 acres of property to the north. The Township currently owns a total of 26 acres at the Drake Farmstead. The tract is bounded by Drake Road on the east, a retention basin on the west, Croyden Avenue on the north, and a shopping center on the south. No further expansion of the Farmstead property is envisioned.

Another recommendation from the visioning session was to nominate the Farmstead to the National Parks Service's 'National Register of Historic Places', the nation's official list of cultural resources worthy of preservation. This was achieved in 2012.

**Master Plan:** The Township's 2015 budget includes \$20,000 for development of a master plan for the Drake Farmstead. To this end, the Township sought proposals from consultants and/or consultant teams interested in developing a master plan for the adaptive reuse of the Drake Farmstead. Ten firms were invited to prepare a proposal. These firms included local and national landscape architecture firms as well as architecture/planning firms that specialize in historic preservation, rural preservation, and farmsteads. Pam O'Connor, the preservation consultant that prepared the Drake Farmstead nomination to the National Register of Historic Places, provided names of the firms with a historic preservation specialty.

We received three proposals from consultants/consultant teams in response to our request. A summary of the proposals is provided below.

**LL Harris & Associates and IN FORM Architecture.**

- **Team members:** One Landscape Architect, three Architects, plus support staff
- **Summary of meetings:** A public visioning session with interactive “post-it note exercise”, a public meeting approximately eight weeks later with conceptual layouts and preliminary budget. Four meetings with Steering Committee and a presentation to Township Board.
- **Timeframe:** 5 months
- **Fee:** \$7,500

**OCBA and Nelson Nave, Architect and Bill Deming, WD Consulting**

- **Team members:** Two Landscape Architects, one Architect, one Park Professional, plus support staff
- **Summary of meetings:** A public brainstorming session, an interactive community workshop to test preliminary concepts and explore alternatives. Four meetings with Steering Committee and a presentation to the Township Board.
- **Timeframe:** 4 months
- **Fee:** \$9,500 plus approx. \$500 in reimbursable expenses

**Smithgroup JJR**

- **Team members:** Two Landscape Architects. Additional fee for Architect and Horticulturalist.
- **Summary of meetings:** A community meeting showing three alternatives, three Steering Committee meetings, a presentation to the Township Board
- **Timeframe:** 7 months
- **Fee:** \$28,500

Township staff and members of the Parks Committee reviewed each proposal. After much discussion, the consensus of the Parks Committee was to recommend selection of OCBA for the project. Although OCBA’s fee was slightly higher than that of LL Harris & Associates, there were advantages to the OCBA proposal that put them in the lead. These include:

- Inclusion on their team of Bill Deming, recently retired Parks Director for Portage. Bill’s input will be useful in many respects, particularly in preparing operational cost projections.
- Their interactive community workshop with a studio format.
- Relevant experience with the Portage Creek Bicentennial Park.
- A good track record in working with OCBA on past and current park projects.
- A good track record in working with Nelson Nave on the Grange Hall renovation.
- The shortest timeframe.

**Market Feasibility Study:** Another understanding from the 2011 visioning session was that the Farmstead should include income-generating uses to help support the facility, including maintenance and programming activities. In discussions with the OHS, it was determined that a market feasibility study was needed to identify the optimal income-generating uses that are consistent with the historical nature and character of the property. A market feasibility study would also provide

estimates of the potential revenue that might be generated from these uses. This process is undertaken in conjunction with the physical master planning process, so as to inform design decisions with various facilities alternatives.

To achieve this, the Township requested proposals from three Michigan firms that specialize in market research and feasibility studies. In preliminary phone conversations, it became clear that the typical price for this type of request was in the range of \$20-30,000, which was over our budget of \$10,000. Therefore, the three firms were asked to provide a reduced scope of services with a maximum cost of \$10,000. All three firms submitted proposals. A list of the firms and their fees is provided below.

**Land Use | USA**

**Fee:** \$10,000

**Avenue ISR**

**Fee:** \$10,000

**Zachary & Associates**

**Fee:** \$10,000

After careful analysis, the Parks Committee recommended the proposal from Land Use | USA. Their work will be done in conjunction with the master plan consultant during the master planning process. They will prepare draft recommendations during the planning process, then a final report based on the final recommendations of the master plan.

The fees from the master planning consultant (OCBA - \$10,000) plus the market feasibility consultant (Land Use | USA - \$10,000) total \$20,000. This amount was included in the 2015 budget for the Drake Farmstead Master Plan. The Township Supervisor will sign the agreement after attorney review, and the Clerk and Treasurer will process the payments as the work occurs, per the purchasing policy. Therefore, no Township Board action is needed at this time.

However, Township Board input is very welcome during the master planning process! There are two opportunities for community input: a visioning session and an interactive community workshop. I will let you know of these dates as soon as they are set. I hope you'll choose to get involved in this exciting project and help us spread the word to others. The Drake Farmstead is truly an asset to the Township and an important part of our history and our future!

4.d.



# Memo

To: Oshtemo Township Board  
 From: Telephone Committee: N. Culp, C. Everett and M. Barnes. J. Gibson, Consultant.  
 Date: February 18, 2015  
 Re: Replacement Telephone System.

On February 10<sup>th</sup>, this committee submitted a memo requesting your support of our need to continue swiftly moving forward with replacement of our failing telephone system. This effort started with an initial bid of \$65,000<sup>+</sup>. Through a process of refining communication needs and levels of technology, we were able to reduce the final bid by \$15,056 or 23%.

As promised, just three days later we received final quotes from Secant Technologies (Cisco Systems) and NuWave Technology Partner (Mitel). After evaluating these products, it was a unanimous decision by this committee to immediately move forward with securing the offer from Secant Technologies using Cisco Systems equipment.

Although NuWave has been our vendor in years past and continues to hold a good local reputation, the committee gave great credence and recognition to Secant for a number of important reasons. Not the least of which are that Secant...:

- Is truly a local company with corporate offices in Oshtemo at 6395 Technology Drive.
- Was issued an Oshtemo building permit in 2013 in the amount of 1.7 million which demonstrates continued growth of their company and services.
- Now resides in a FEMA rated hardened facility designed to withstand an F-4 tornado. This establishes a long term commitment to their Oshtemo facility.
- Currently provides us with our high speed, broadband internet connection (via fiber), continuously managed firewall protections and managed router systems.
- A far more robust company able to get this project done correctly and on time.

Making this final link of our internal equipment with Secant will provide Oshtemo with connectivity via a single vendor. Should there be problems in the future, only one call will have to be made. In fact, with their managed systems, Secant may be aware of pending issues even before a total breakdown occurs.

As for the equipment, Cisco is a national company considered to be a top producer of high quality components. The Cisco equipment provided through Secant is more robust than that of Mitel. It is not about telephones that sit on desktops, but about the technology behind the wall that makes the handsets actually function now in the foreseeable future.

We thank you for your trust. It has allowed us to keep this critical project moving. There is a substantial amount of preliminary work to be done prior to the final installation. The project is projected to be completed in about 4 weeks.



# SECANT TECHNOLOGIES

Computers, networking and whatever else comes next.  
6395 Technology, Avenue, Suite A  
Kalamazoo, MI 49009  
Main Phone: (269) 375-8996

Quote #: **QTE071986**

Quote Date: 2/16/2015

Quote Expiration: 3/18/2015

Customer PO:

Account Representative: Gerald Minich

Prepared by: 1078BPP

This quote prepared for:

**OSHT2636**  
**Oshtemo Charter Township**  
7275 W. Main Street  
Kalamazoo MI 49009  
Phone: (000) 000-0000  
Fax: (000) 000-0000

*Thank you for the opportunity!*

*TAXABLE CLIENTS: Compliance with Michigan Compiled Law 205.51 requires that tax be charged on the portion of labor expended for physical installation of equipment shown as included within a project. That amount will be represented as a separate labor line.*

Tax Status of this Quote: MI-RES NONTAX

QTY	ITEM NUMBER	DESCRIPTION	UNIT PRICE	EXT PRICE
1	BE6K-STBDL-PLS-K9=	BE6000 UCS C220M3 HD SRV RST 9.X SW HYP UPI	\$8,161.92	\$8,161.92
1	KIT SMARTNET	CISCO 3-YR SNTP SMARTNET WARRANTY FOR BE6K-STBDL-PLS-K9. 24X7X4 HOUR RESPONSE	\$803.20	\$803.20
1	BE6K-START-UWL25	BNDL BE6000 USER LICs STARTER WITH 25 UWL	\$392.40	\$392.40
25	BE6K-UWL-STD	BUSINESS ED 6000 WORKSPACE LIC STD	\$127.53	\$3,188.25
1	KIT SMARTNET	CISCO 3-YR ECMU SMARTNET WARRANTY FOR (50) BE6K SOFTWARE LICENSES. PROVIDES TAC AND UPGRADE SUPPORT	\$4,100.00	\$4,100.00
2	C2901-CME-SRST/K9	2901 VOICE BUNDLE W/ PVDM3-16 FL-CME-SRST-;	\$1,517.23	\$3,034.46
2	VIC3-2FXS/DID=	2PORT VOICE INTERFACE CARD FXS & DID	\$196.64	\$393.28
1	PVDM3-16U32	UPG PVDM3 16CH 32CH FACTORY	\$335.18	\$335.18
1	VVIC3-1MFT-T1/E1=	1PORT 3RD GEN MULTIFLEX TRUNK VOICE/WAN I	\$639.07	\$639.07
1	L-FL-CUBEE-5=	UNIFIED BORDER ELEMENT ENT 5 SESSIONS	\$294.30	\$294.30
1	VIC2-2FXO=	2PORT VOICE INTERFACE CARD FXO UNIVERSAL	\$196.64	\$196.64
2	KIT SMARTNET	CISCO 1-YR SNTP SMARTNET WARRANTY FOR C2901-CME-SRST/K9 ROUTER. 24X7X4 HOUR RESPONSE. 12 MONTH COVERAGE	\$375.00	\$750.00
50	ER10-USR-1	EMRGNcy RSPNDR USR LIC 1 PHN FOR NEW 10X	\$8.94	\$447.00
1	KIT SMARTNET	CISCO 3-YR ECMU SMARTNET WARRANTY	\$210.26	\$210.26

*continued on additional page(s)*



Quote # **QTE071986**

Quote Date: 2/16/2015

Quote Expiration: 3/18/2015

Customer PO:

Account Representative: Gerald Minich

This quote prepared for:

**OSHT2636**  
 Oshtemo Charter Township  
 7275 W. Main Street  
 Kalamazoo MI 49009

*Thank you for the opportunity!*

QTY	ITEM NUMBER	DESCRIPTION	UNIT PRICE	EXT. PRICE
		FOR ER10-USR-1. PROVIDES TAC AND UPGRADE SUPPORT		
11	CP-7821-K9=	CISCO IP PHONE 7821	\$113.96	\$1,253.56
16	CP-8811-K9=	CISCO IP PHONE 8811	\$198.87	\$3,181.92
4	CP-8851-K9=	CISCO IP PHONE 8851	\$265.91	\$1,063.64
4	CP-BEKEM=	CISCO KEY EXPANSION MODULE FOR CISCO IP P	\$218.97	\$875.88
11	CP-8945-K9=	8945 UNIFIED IP PHONE PHANTOM GREY STANDA	\$234.62	\$2,580.82
2	CP-8831-K9=	8831 UNIFIED IP CONFERENCE PHONE BASE AND	\$623.43	\$1,246.86
1	WS-C2960S-48LPS-L	CATALYST 2960S 48 GIGE POE 370W 4X SFP LAN I	\$3,110.26	\$3,110.26
1	RCKMNT-19-CMPCT=	19IN RACKMOUNT FOR CAT2960 SWITCH	\$41.69	\$41.69
1	SSL CERTS	SSL CERT- (4) 210 DOMAINS, 3-YRS INCLUDES INSTALLATION	\$755.00	\$755.00
1	KIT PROJECT LABOR	Professional Services Labor (Non Taxable)	\$12,888.00	\$12,888.00

<b><u>CASH ACCOUNT CLIENTS: Pre-Payment is required to process your order.</u></b>	Subtotal	\$49,943.59
<b><u>CLIENTS WITH OPEN CREDIT ACCOUNT: a 50% deposit is required</u></b>	Misc	\$0.00
to place your project/order into our scheduling queue and/or authorize the	Tax	\$0.00
ordering of equipment for subsequent billing.	Freight	\$0.00
	<b>Total</b>	<b>\$49,943.59</b>

Quote accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

**Please fax your signed acceptance back to 269-375-4222**



# Memo



**To:** Oshtemo Township Board.  
**From:** Mark Barnes, Fire Chief  
**CC:** Lt. Troy Lull  
**Date:** February 18, 2015  
**Re:** Project Update – Vehicle Purchase per Approved Capital Budget - Brush Truck.

This memo is designed to brief you on the status of efforts to replace our 1992 1-Ton brush truck (Unit #572). This is a goal of our approved 2015 capital budget. Our internal committee has evaluated equivalent vehicles from Chevrolet (3500) and Ford (F 350). Highlights include the following features:

- Single rear wheel 4x4.
- 10,500 GVW.
- Trailer Tow Package with 12,500# trailer hitch.
- Heavy duty alternator.
- Backup Alarm.
- Reverse vehicle aid sensor.
- Rearview safety camera.
- 6 speed automatic transmission.
- All terrain tires - LT 275/65BSWA18.
- All weather floor mat.
- Molded black steps.
- Tailgate step (Ford only).
- Camper Package (Ford only).

- I. \$31,798: Red Holman of Westland Michigan (State Bid) - GMC Sierra 3500.
- II. \$32,177: Harold Ziegler – Ford F-350.
- III. \$33,678: DeNooyer – Chevrolet 3500.

The cost difference from lowest to this quote is \$397.

We have chosen to purchase the Ford from Harold Ziegler. The committee's rationale includes a historical view that the Ford product provides high long term durability and improved ground clearance for this off road duty. In addition it is from a local dealership.

Our approved budget is \$45,000. The remaining \$12,823 will be used to accomplish the following:

- Installation of the fire equipment (pump, water tank, hoses...).
- Purchase and installation of all emergency warning devices (siren, lights...) and communications equipment (radios).
- A winch that is deployable from either the front or rear.
- Installing a rust preventative spray-in bed liner.
- Integrated vehicle battery charger and conditioner.

Delivery is projected to be 6 - 8 weeks.

4.f.



# Memo



**To:** Oshtemo Township Board.  
**From:** Mark Barnes, Fire Chief  
**Date:** February 17, 2015  
**Re:** Project Update - Vehicle Purchase per Approved Capital Budget – Command Vehicle.

As you are aware, our 2015 capital budget has authorized the purchase of three vehicles. This memo will address just one of those – a command staff vehicle. We have obtained two competitive quotes for a 2015 special service duty 4x4 Chevrolet Tahoe. The quotes are both within budget and are as follows:

**I. Shaheen Chevrolet, Lansing, Michigan.**

This quote is from Michigan’s “MiDEAL” Extended Purchasing Program. It is often referred to as “state bid.” Obtaining access to this system will require us to join MiDEAL for this year at a cost of \$230.

- $\$32,982 = \$230 = \underline{\$33,212}$ .

**II. DeNooyer’s Chevrolet, Oshtemo, Michigan.**

This quote is from their own governmental pricing system. It does not require a paid membership.

- \$34,726.<sup>05</sup>.

The difference is \$1,514.<sup>05</sup>.

It is my recommendation that we award this bid to the local business of DeNooyer’s Chevrolet, 5800 Stadium Drive. Although there is the potential saving of \$1,500 by using the state bid process, my recommendation is based on three factors:

1. Using local vendors when reasonably possible is a good business practice. This vendor is not just local, they are truly an Oshtemo business. They have been engaged in supporting community events as well as engaging with the Township in areas such as the police contact.
2. It took me two weeks of calling and pestering to get this quote from Shaheen. The state bid specialist was candid when he stated that he does not typically deal with such small orders. Although always pleasant and professional, his underwhelming enthusiasm is not encouraging.
3. Should we need to have additional personal contact with the selling dealership, traveling to Lansing will consume far more time and cost than working with this Oshtemo business.

Our approved budget is \$38,000.

Delivery is projected to be 12 – 14 weeks. This vehicle (Tahoe) is smaller than the current command vehicle (Yukon). The Yukon will be assigned to the deputy fire chief and the Tahoe to the fire chief.

# Memo



**To:** Oshtemo Charter Township Board  
**From:** Marc E. Elliott, P.E.  
**Date:** January 29, 2015  
**Subject:** Sidewalk Inspection Fee

## **OBJECTIVE**

Sidewalks are a valuable and important community asset. A permit program for inspecting newly constructed sidewalks is required to assure quality of work is being met whenever sidewalks are installed or repaired. An inspection program will further promote long-term facility operation with minimum maintenance costs. A permit fee of \$50.00 is recommended to be established for this inspection service.

## **BACKGROUND**

In certain situations, developers are required to install sidewalks for public use as a feature of their overall construction project in Oshtemo. Unless adjacent to the structure, this item of site-work is outside the normal inspection purview of building-code officers of the Kalamazoo Area Building Authority (KABA). Therefore construction inspection and acceptance of this item of work is a task that falls to the Township.

Two inspections are required. This first field inspection is to assure proper placement of the concrete forms, quality of base material to support the concrete pour, plus dimensional requirements such as thickness of pour and surface grades. The second inspection will be done upon job completion. An educational flyer will be made available to help communicate to builders and contractors the essential features of a compliant sidewalk. A \$50 on-time permit fee is proposed to make this task largely self-financed.

## **INFORMATION PROVIDED**

A draft inspection form is provided as an information item. The proposed educational flyer is also attached.

## **STATEMENT OF WHAT YOU ARE ASKING BOARD TO APPROVE**

The Board is requested to consider establishing a \$50.00 permit fee for sidewalk construction.



Ordinance Enforcement Department  
7275 West Main Street, Kalamazoo, MI 49009  
269-216-5227 Fax 269-375-7180

## SIDEWALK SURVEY INSPECTION

LOCATION: \_\_\_\_\_

SIDEWALK TYPE:  5 ft ADA  4 ft

SIDEWALK DISTANCE FROM CURB: \_\_\_\_\_

SIDEWALK IN COMPLIANCE?  YES  NO (If "no", describe deficiencies.)  
(Cross Slope 2% max, Expansion Joints, Weakness Joints, Cut-Through Drive, Depth, Good Repair)

SIDEWALK DEFICIENCIES:

Cross-Slope (Transverse Slope)? \_\_\_\_\_ % \_\_\_\_\_ at Driveway Cut; \_\_\_\_\_ Full Length

Does Sidewalk Cut-Through Driveway?  YES  NO

Expansion Joints in Driveway Cut-Through?  YES  NO

Expansion Joint Every 50 ft (linear run)?  YES  NO  N/A

Sidewalk Depth?  6 inches;  4 inches;  Not Determined

Surface erosion, cracks, trip hazards, other hazards?  YES  NO

Describe:

\_\_\_\_\_  
\_\_\_\_\_

Surface Warning Devices Present?  YES  NO  N/A

Ramp Present (at intersections, crossings)?  YES  NO

Enforcement / Violation Notice needed? \_\_\_\_\_

DATE: \_\_\_\_\_ INSPECTED BY: \_\_\_\_\_



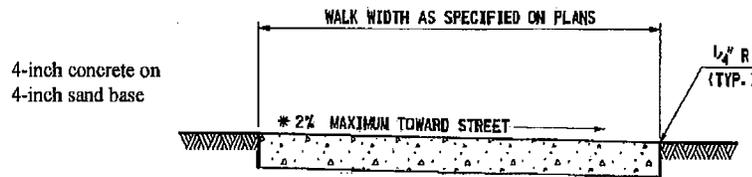
**SIDEWALK &  
SHARED-USE PATH  
PERMIT INFORMATION (\$50.00)**

By ordinance and/or site-plan review, your building project is required to include sidewalks or other non-motorized facilities. **Sidewalk and shared-use path construction in Oshtemo is by PERMIT and entails a two-part inspection.** The Township shall inspect the sand-base and concrete form placement prior to concrete pour, followed by a final acceptance inspection upon construction completion.

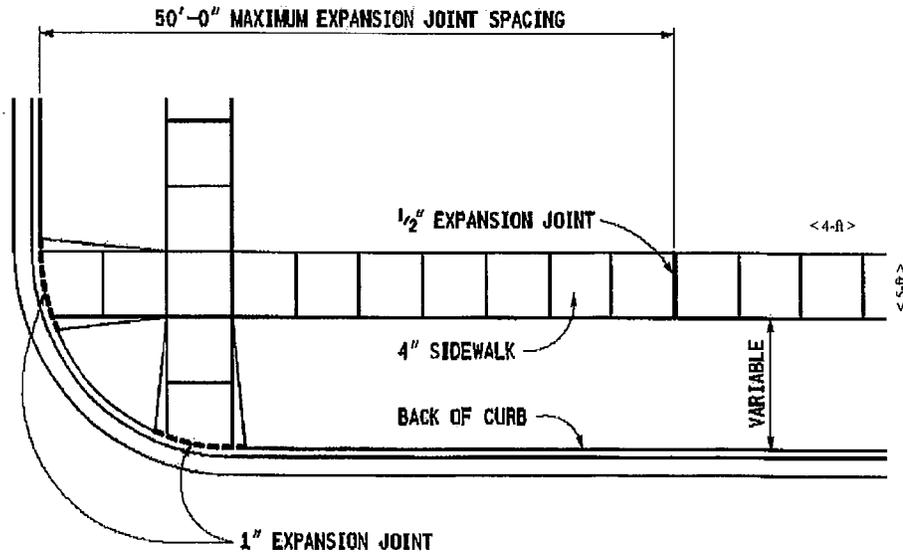
General sidewalk construction requirements are summarized below. This summary should not be relied upon as the complete and specific requirements which pertain to your project or site conditions. Refer to your Sidewalk/Non-Motorized Path Permit for further guidance.

**General Standards.** Concrete sidewalks shall conform to MDOT Standard Specifications for Construction Section 803, "Concrete Sidewalks, Sidewalk Ramps and Steps" and MDOT Standard Plans R-28-H and R-29-H. Concrete sidewalks shall be a minimum of five (5) feet wide unless a different width is required by other Township ordinances, regulations or site plan review. Hot mix asphalt shared-use paths shall be a minimum of ten (10) feet wide unless a different width is required by site plan.

**Sidewalks.** Proper right-of-way grading should assure the sidewalk is elevated above the curb/roadway edge. Sidewalk cross slope (transverse slope) shall be 2% max, sloping towards the street.

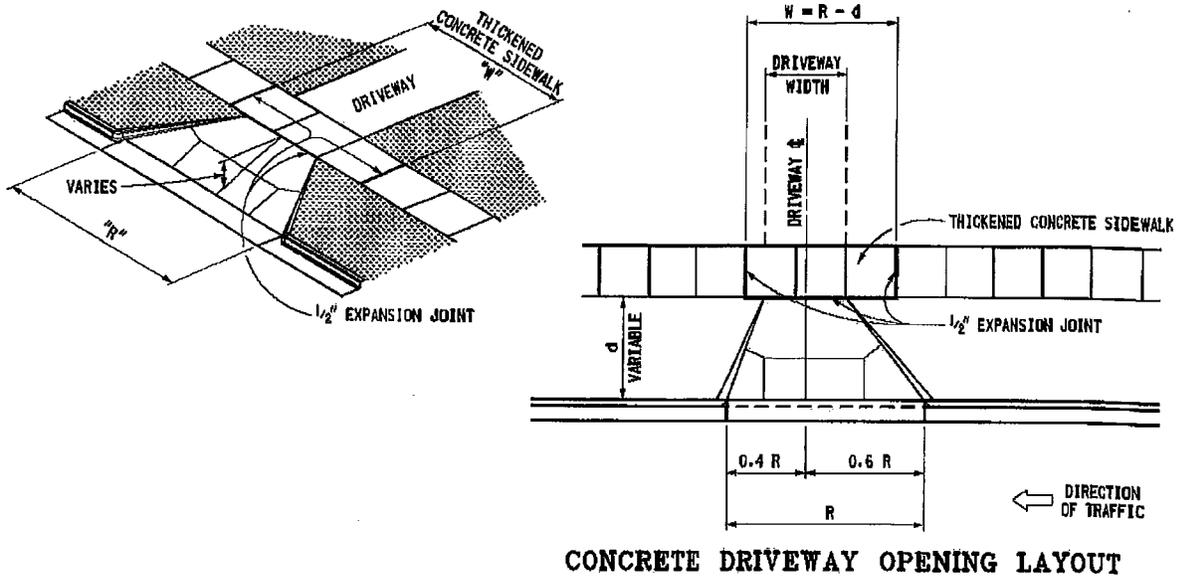


Sidewalk sections must be poured to a 4 inch depth on a 4-inch sand base. Full depth transverse expansion joints (1/2" joint material) are required every 50 ft. Transverse weakness joints shall be provided every 4 ft (formed with grooving tool to 1" depth)

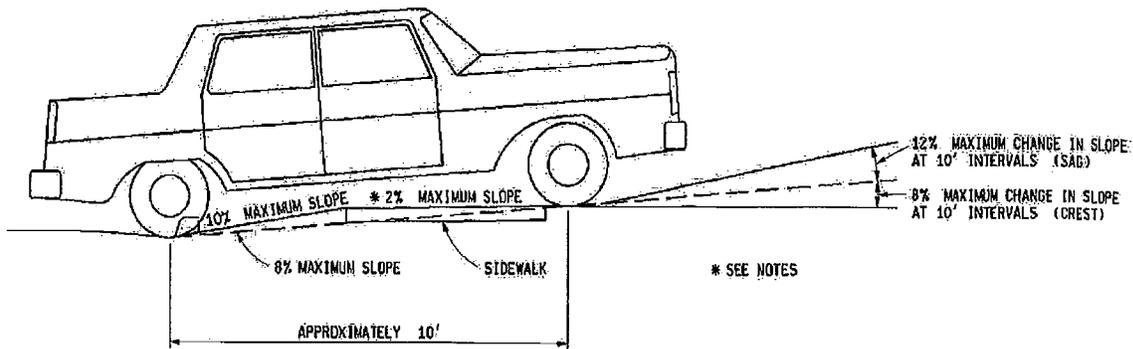


**Ramps and Detectable Warning.** Sidewalk ramps and full-width detectable warnings are required whenever a non-motorized facility approaches a motorized facility or curbed street. Commercial/ industrial drive crossings may also require ramps or detectable warnings if site conditions or traffic volumes warrant these features.

**Driveway Crossings & Opening Layout.** Sidewalk construction must cut through the driveway. Sidewalk cross-section in the driveway span must be poured to 6 inch depth, on a 4 inch compacted (95%) sand base, with ½ inch expansion joints between sidewalk and concrete driveway. For unreinforced concrete driveways, the driveway approach/apron must also be poured to 6 inch depth.



**Driveway Approach Profile.** For residential driveways, for the approximate length of a 10-ft auto wheel-base over the sidewalk crossing, the driveway apron approach should not exceed 8% overall (i.e a 10% max slope should not be exceeded over the approach below the sidewalk to be built at 2%). Crest or sag driveway slopes above the sidewalk should be limited to a maximum change of 8% (crest) or 12% (sage) for each additional 10ft increment.



**Additional References:**

- <http://mdotcf.state.mi.us/public/specbook/2012/>
- <http://mdotcf.state.mi.us/public/design/englishstandardplans/>
- [https://www.municode.com/library/mi/oshtemo\\_charter\\_township\\_\(kalamazoo\\_co\)/codes/code\\_of\\_ordinances?nodeId=PT294\\_294.000NTOFASIORNO468ADAU222006](https://www.municode.com/library/mi/oshtemo_charter_township_(kalamazoo_co)/codes/code_of_ordinances?nodeId=PT294_294.000NTOFASIORNO468ADAU222006)
- <http://www.oshtemo.org/wp-content/uploads/2012/08/Sidewalk-Construction-Standards.pdf>

**For more information and to schedule your sidewalk/shared-use path Permit Inspection (pre-pour or final), contact Rick Suwarsky, Ordinance Enforcement Officer at (269) 216-5227 or email to [rsuwarsky@oshtemo.org](mailto:rsuwarsky@oshtemo.org)**

T.H.

# Memo



**To:** Oshtemo Charter Township Board  
**From:** Marc E. Elliott, P.E. *ME*  
**Date:** January 30, 2015  
**Subject:** Road & Non-motorized Assessment Policy

## **OBJECTIVE**

To clarify the existing Road & Non-Motorized Assessment Policy, and provide expanded project-scope for SAD funding of local roadway projects.

## **BACKGROUND**

Upon review of the 2014 Drake Road non-motorized facility assessment process, plus anticipation that an adjacent, non-motorized facility may be incorporated into the 2015 project to construct a public sanitary sewer in North 10th St., the Capital Improvements Committee has reviewed and has recommended road and sidewalk assessment policy edits. These edits seek to:

- add the segment of North 10th St, from Kal-Haven Trail to West Main St as a location where non-platted, single-family land use is exempt from non-motorized assessments;
- clarify how the basis of a non-motorized facility assessments will be handled for parcels where actual land use is different than zoning;
- provides flexibility in application of the non-motorized assessment policy if a parcel is currently undeveloped;
- adds that "micro seal" pavement preservation is an additional local roadway maintenance "upgrade" that residents can petition the Township to provide as a special assessment (i.e. the additional cost shall be 100% assessed); and
- add an explicit policy statement that, by petition, the Township is amenable to creating a Special Assessment District to fund private road improvements at no public cost (i.e. 100% cost to the SAD) when such improvements are deemed by the Board to be a public interest.  
[This not a policy change.]

## **INFORMATION PROVIDED**

A proposed motion and a (revised) Road, Sidewalk, Shared-use Path Assessments Policy is attached.

## **STATEMENT OF WHAT YOU ARE ASKING BOARD TO APPROVE**

The Board is requested to consider adoption of a resolution to approval a Road, Sidewalk, Shared-use Path Assessments Policy (i.e. recommended 2015 revisions).

CHARTER TOWNSHIP OF OSHTEMO  
KALAMAZOO COUNTY, MICHIGAN

MOTION TO APPROVE  
ROAD/SIDEWALK/SHARED-USE PATH  
ASSESSMENTS POLICY

February 24, 2015

WHEREAS, the Charter Township of Oshtemo has heretofore adopted road assessments for local roads, platted streets, reconstruction or overlay of gravel, dust control on gravel roads, together with an assessing policy and administrative procedure; and

WHEREAS, the Charter Township of Oshtemo has adopted a Non-Motorized Facilities/Sidewalk Ordinance, being Ordinance No. 468, and Section IX allows the Township Board to establish the costs for construction, reconstruction or repairs.

WHEREAS, upon the recommendation of the Road Committee, it is the desire of the Township Board to amend the road assessments for local roads and platted streets as well as sidewalks and shared-use paths.

NOW, THEREFORE, until further modification the Township Board, road/sidewalk/shared-use path assessment charges within the Charter Township of Oshtemo shall be as follows:

Motion made by \_\_\_\_\_, seconded by \_\_\_\_\_ to adopt the foregoing Policy.

The following voted "Aye":

The following voted "Nay":

The following abstained:

The Supervisor declared the Motion carried and the Policy duly adopted.

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Deborah L. Everett, Clerk  
Oshtemo Charter Township

CERTIFICATE

I, Deborah Everett, the duly elected and acting Clerk of the Charter Township of Oshtemo, hereby certify that the foregoing motion to approve Road/Sidewalk/Shared-Use Path Assessments Policy was adopted by the Township Board of said Charter Township at a regular meeting of said Board held on February 24, 2015, at which meeting a quorum was present as hereinbefore set forth; that said Policy was ordered to take effect February 10, 2015.

---

Deborah L. Everett, Township Clerk

**OSHTEMO CHARTER TOWNSHIP  
KALAMAZOO COUNTY, MICHIGAN**

**ROAD/SIDEWALK/SHARED-USE PATH ASSESSMENTS POLICY**

**EFFECTIVE: FEBRUARY 24, 2015**

**FUNDING FORMULA**                      —                      **SUBJECT TO AVAILABLE FUNDS**

**1.      Local Roads -**

Sealcoat - Chip and Seal	50% Township Funds 50% Road Commission Par Funds
Overlay	Assessment Of \$14.00 Per Foot To A Maximum Of 200 Feet Of Frontage Per Tax Roll Parcel Number, Except For Cul-de-sac Parcels Which Shall Be Assessed \$42.00 Per Foot Of Road Frontage For Cul-de-sacs With No Center Island, and \$28.00 Per Foot Of Road Frontage For Cul-de-sacs With A Center Island.
Balance	50% Township Funds 50% Road Commission Par Funds

**2.      Plat Streets -**

Sealcoat - Chip and Seal	50% Township Funds 50% Road Commission Par Funds
Cape Seal/Micro Seal	100% Of Additional Cost Over Township-Proposed Project Assessment Based On Road Frontage
Overlay	Assessment Of \$14.00 Per Foot To A Maximum Of 200 Feet Of Frontage Per Tax Roll Parcel Number, Except For Cul-de-sac Parcels Which Shall Be Assessed \$42.00 Per Foot Of Road Frontage For Cul-de-sacs With No Center Island, and \$28.00 Per Foot Of Road Frontage For Cul-de-sacs With A Center Island.
Balance	50% Township Funds 50% Road Commission Par Funds

- 3. **Reconstruction Or Overlay Of Gravel -** 50% Assessment  
25% Township Funds  
25% Road Commission Par Funds
  
- 4. **Dust Control On Gravel Roads -** 100% Township Funds
  
- 5. **Sidewalks/Shared-Use Paths -** \$25.00 Per Front Foot For Single-Family Residential Zoning  
\$30.00 Per Front Foot For Commercial/Industrial Zoning

Note 1: If fully developed, actual land use shall take president when determining the sidewalk/path assessment. When the underlying zoning allows other than single-family residential, or when substantial frontage remains undeveloped, the Township Board may elect to enter into an agreement with the property owner to defer collection of the full assessment until the parcel further develops.

Note 2: An exemption shall apply to single-family residential properties which are (a) located along North 10th Street, from W. Main to the Kal-Haven Trail, or (b) located along an “arterial roadway” as classified by the National Functional Classification (NFC) system used for transportation planning. This location-based exemption is intended to recognize the subordinate neighborhood-usage of the sidewalk/path, versus the facility’s function as an arterial/connector.

- 6. **Shared-Use Private Roads -** At its sole discretion, the Oshtemo Township Board may elect to facilitate creation of a special assessment district for private roadway improvements when shared-use or other unique conditions warrant the proposed improvements as a public interest. Properties in the SAD shall bare 100% of the cost for the improvements, and shall include reimbursement of the administrative costs incurred by the Township.

**ASSESSING POLICY**

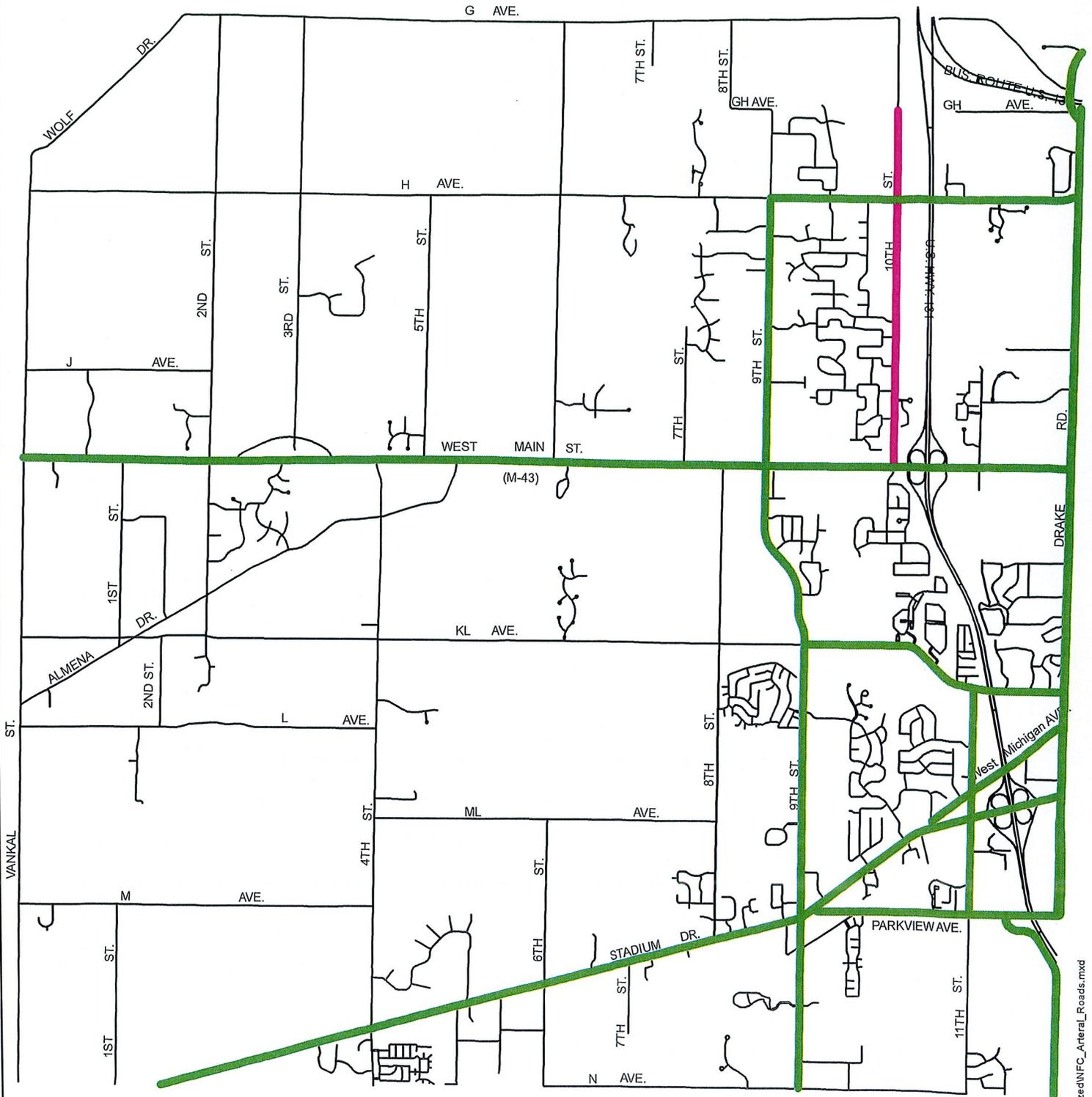
- 1. The Township will pay one-third of the cost for a platted corner lot if roads on both sides of the corner lot are improved.

2. Local road assessments on vacant land with frontage on more than one road to be improved will be determined by using the street with the longest total frontage.
3. Parcels or outlots not in a plat, but with frontage on a plat street would be assessed using the funding formula but not to exceed the largest assessment in the district.
4. Parcels located on a “curved corner” will be assessed using the funding formula but not to exceed the largest assessment in the district.
5. Assessments for condominium units will be figured as follows: The road frontage will be calculated, the \$14.00 per foot will be figured, and the amount will be divided equally between the number of units.
6. The Township has the right and responsibility to set an assessment district, when it has been determined a road must be overlaid or reconstructed.
7. If sidewalk/shared-use path project costs are less, individual assessments will be credited accordingly.
8. If any development is required by zoning to provide a sidewalk/shared-use path, the development bears the full cost.

#### **ADMINISTRATIVE PROCEDURE**

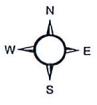
- Township Road Committee recommends projects for the year.
- Projects approved by the Township Board.
- On projects with no petitions, Township Board resolution needed.
- Resolutions or petitions forwarded to Road Commission for Hearings on the Assessment Districts.

# Sidewalk & Shared-Use Path Single-Family Assessment Exemption



**Exempt Segements**

-  Arterials (Major & Minor)
-  North 10th to Kal-Haven



# Memo



**To:** Oshtemo Charter Township Board  
**From:** Marc E. Elliott, P.E.  
**Date:** January 29, 2015  
**Subject:** Standard Specification for Sidewalks

## OBJECTIVE

The Township seeks to assure that sidewalks constructed for public use within Oshtemo are installed according to a well-defined quality of work. Oshtemo currently has an adopted standard for sidewalks, and it includes references to standards and specifications of the Michigan Department of Transportation (MDOT) that have been superseded. The proposed revised Oshtemo Standard Specification for Sidewalks incorporates reference to the current 2012 MDOT standards and includes other minor revisions for clarity.

## BACKGROUND

In 2006 Oshtemo Township adopted standards for sidewalk construction. The Board also adopted zoning and site-plan review requirements to assure certain private developments install sidewalks for public use or as a convenience and amenity for the overall project. Often, these facilities are built privately and dedicated to the Township as a public, non-motorized facility. Having a well-defined quality of work is essential to assure the work is appropriate for public use, and to assure long-term operation and maintenance costs are minimized.

## INFORMATION PROVIDED

A review draft of the proposed revisions is attached.

## STATEMENT OF WHAT YOU ARE ASKING BOARD TO APPROVE

The Board is requested to consider adopting a revised Standard Specification for Sidewalks in Oshtemo Township.

**CHARTER TOWNSHIP OF OSHTEMO  
KALAMAZOO COUNTY, MICHIGAN**

**MOTION TO APPROVE  
SIDEWALK/SHARED-USE PATH  
CONSTRUCTION STANDARDS**

**February 24, 2015**

WHEREAS, the Charter Township of Oshtemo has heretofore adopted a Non-Motorized Facilities/Sidewalk Ordinance, being Ordinance No. 468, to establish regulations concerning construction, maintenance and repair of sidewalks and other non-motorized multi-purpose paths/facilities within Oshtemo Charter Township; and

WHEREAS, Section V. of the Ordinance allows the Township Board to establish and amend the design and constructions standards; and

WHEREAS, upon the recommendation of the Capital Improvements Committee, it is the desire of the Township Board to amend the Sidewalk/Shared-Use Path Construction Standards.

NOW, THEREFORE, until further modification by the Township Board, the Sidewalk/Shared-Use Path Construction Standards within the Charter Township of Oshtemo as set forth in the attached Oshtemo Township Sidewalk/Shared Use Path Construction Standards attached hereto.

Motion made by \_\_\_\_\_, seconded by \_\_\_\_\_ to adopt the foregoing Standards.

The following voted "Aye":

The following voted "Nay":

The following abstained:

The Supervisor declared the Motion carried, and the Sidewalk/Shared-Use Path Construction Standards duly adopted.

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Deborah L. Everett, Clerk  
Oshtemo Charter Township

#### CERTIFICATE

I, Deborah Everett, the duly elected and acting Clerk of the Charter Township of Oshtemo, hereby certify that the foregoing motion to approve the Sidewalk/Shared-Use Construction Standards was adopted by the Township Board of said Charter Township at a regular meeting of said Board held on February 24, 2015, at which meeting a quorum was present as hereinbefore set forth; that said Sidewalk/Shared-Use Path Construction Standards were ordered to take effect February 24, 2015.

---

Deborah L. Everett, Township Clerk

CHARTER TOWNSHIP OF OSHTEMO  
KALAMAZOO COUNTY, MICHIGAN

SIDEWALK/SHARED-USE PATH  
CONSTRUCTION STANDARDS

February 24, 2015

**CONCRETE SIDEWALK CONSTRUCTION**

Concrete sidewalk shall conform to MDOT 2012 (or current edition) Standard Specifications for Construction Section 803, "Concrete Sidewalks, Sidewalk Ramps and Steps" and shall be a minimum of five (5) feet wide unless a different width is required by other Township ordinances or regulations.

Grade

The sidewalk shall be constructed to match the existing grade, or as noted on the construction drawings. The sidewalk will have a transverse slope either toward or away from the road to maintain existing drainage patterns. Minor fills and cuts will be made in the field during construction to provide smooth transition of the sidewalk and maintain existing drainage patterns.

Sub-base Preparation

Existing vegetation shall be removed and topsoil excavated to provide a four (4") inch sand sub-base for the proposed sidewalk. The existing sand sub-base shall be compacted to ninety-five (95%) percent maximum unit weight in accordance with MDOT procedures. Where fill sand is required it shall be compacted to achieve ninety-five (95%) percent maximum unit weight in accordance with MDOT procedures.

Concrete

Concrete shall meet the requirements for Grade P1 Concrete or Grade S2 Concrete as specified in the MDOT Standard Specifications for Construction Section 601, "Portland Cement Concrete Pavements". Concrete shall be six sack limestone mix and shall be air-entrained and shall have a compressive strength of not less than 3,500 pounds per square inch, within twenty-eight (28) days of paving. Other materials shall meet the requirements of the applicable portions of the MDOT Standard Specifications for Construction. All concrete sidewalks shall be paved with a single course of concrete. Sidewalks through driveways shall be six (6") inches thick. All other walks shall be four (4") inches thick.

Joints

Full depth transverse expansion joints shall be constructed perpendicular to the surface of the sidewalk at intervals not to exceed fifty (50') feet. Expansion joint material shall be one-half (1/2") inch pre-molded expansion joints and shall be set 1/4" below the surface of the sidewalk. Sealing of joints will not be required. One (1") inch pre-molded expansion joints must be placed between the sidewalk and back-of-curb when sidewalk is constructed between the curb and building or other rigid structures.

Sealing of joints will not be required. Transverse plane of weakness joints shall be true to line and grade, and shall be placed at four (4') foot intervals and shall be formed with a grooving tool. Planes of weakness joints shall be constructed to a depth of at least one (1") inch and a width of 1/8 inch to 1/4 inch. Sealing of joints will not be required.

### Surface

The surface of the concrete shall be floated to a level uniform surface and left with a slightly rounded surface. The surface shall be roughened with mechanic's brush to prevent smooth and slippery surfaces. No surface shall be troweled to a glassy finish. Edges at the forms and joints shall be rounded with an edging tool.

### Sidewalk Detectable Warnings

Sidewalk Detectable Warnings shall be placed at all street intersections and commercial/industrial driveways.

Sidewalk Detectable Warning details shall conform to ADA requirements, MDOT Specifications and MDOT Detail R-28-E. In order to promote efficient public maintenance and uniformity in style (community sense-of-place), shop drawings for Detectable Warnings shall be submitted for Oshtemo Township approval prior to installation.

Warning details shall apply to all construction or reconstruction of streets, curbs, or sidewalks. Detectable warnings shall extend the full width of the curb/sidewalk ramp. They shall be located so that the edge nearest the curb line or street is 6" to 8" from the curb line.

## **HOT MIX ASPHALT SHARED-USE PATH CONSTRUCTION**

sShared-use paths shall be a minimum of ten (10) feet wide unless a different width is required by other Township ordinances or regulations.

### Grade

The sidewalk shall be constructed to match the existing grade, or as noted on construction drawings. The path will have a transverse slope either toward or away from the road to maintain existing drainage patterns. Minor fills and cuts will be made in the field during construction to provide smooth transition of the path and maintain existing drainage patterns.

### Sub-base Preparation

Existing vegetation shall be removed and topsoil excavated to provide a six (6) inch sand sub-base for the proposed path. The existing sand sub-base shall be compacted to ninety-five (95%) percent maximum unit weight in accordance with MDOT procedures. Where fill sand is required it shall be compacted to achieve ninety-five (95%) percent maximum unit weight in accordance with MDOT procedures.

### Gravel Base

The gravel base shall extend one foot beyond the width of the topcoat on each side and consist of six (6) inches of compacted MDOT 22A gravel in accordance with the section as indicated on the construction drawing. Density of the gravel shall be ninety five (95%) percent.

### Hot Mix Asphalt (HMA) Surface

The hot mix asphalt surface shall consist of 120 lbs/SY MDOT 36A hot mix asphalt (top) over 165 lbs/SY of MDOT 13A hot mix asphalt (level) placed in accordance with the section as indicated on the construction drawings. The asphalt performance grade shall be 58-28. The hot mix asphalt shall be placed with a self-propelled paver; spreader boxes will not be permitted. A bond coat shall be applied between successive courses of hot mix asphalt at an application rate of 0.1 gal./SY.

### **REMOVABLE BOLLARDS (Vehicle Exclusion Device)**

Certain Shared-Use Pathways may include removable Bollards as vehicle exclusion devices. When shown on plans, this work shall include the construction of the concrete footings, in-ground receiver, installation of the bollards, and all related work necessary to provide complete Removable Bollards as shown on the plans.

### Materials.

The materials shall be as specified below:

1. Removable Bollard: Model R-7901 Steel Removable Bollard with Removable Mounting and locking hinged steel lid from Reliance Foundry, Petersen Mfg. Co., Inc., or approved equal. Bollard shall be corrosion resistant under coating and safety yellow in color with safety yellow reflective tape at the top.
2. Concrete: Provide grade S1 concrete as specified in Section 701 of the MDOT Standard Specifications for Construction.
3. Steel Reinforcement: Provide steel reinforcement as specified in Section 905 of the MDOT Standard Specifications for Construction.
4. Submittals: The Contractor shall submit complete shop drawings, showing all materials, dimension, fastenings, and fastening devices.

### Construction.

The Removable Bollards shall be constructed according to the plans and as described below.

1. Preparation work shall be thoroughly reviewed with the Engineer prior to installation. Saw cut the existing HMA prior to placement.
2. Install Removable Bollards complete per manufacturer's specifications and instructions and as detailed on approved shop drawings.
3. Concrete: Install concrete components as specified in Section 706 of the MDOT Standard Specifications for Construction and as detailed on the plans.
4. All excess and waste materials shall be disposed of legally off-site. Upon completion of the work, leave areas in a clean condition.

## SIGNS

Certain Shared-Use Pathways may include restricted usage or way-finding signs. When shown on plans, this work shall comply with the construction standards of the Kalamazoo County Road Commission and all permit requirements of the applicable operating authority of the public right-of-way. In order to promote uniformity in style (community sense-of-place), shop drawings for all signage shall be submitted for Oshtemo Township approval prior to installation.

## LAWN AND YARD RESTORATION

After construction is completed all disturbed lawn areas, including adjacent cut and fill areas as required to blend into the existing yards, shall be repaired using a maximum of 1 on 4 backslope, four (4) inches of topsoil, MDOT Class A seed, fertilizer and mulch.

All disturbed areas, including adjacent cut and fill areas as required to blend into the existing yards, which are not lawns, shall be repaired using a maximum of 1 on 3 backslope, two (2) inches of topsoil, MDOT Roadside Seed, fertilizer and mulch.

Restored areas shall be repaired and reseeded as often as necessary in order to produce a close stand of weed free grass to the edges of the sidewalk or multi-use path.

## ATTACHMENTS:

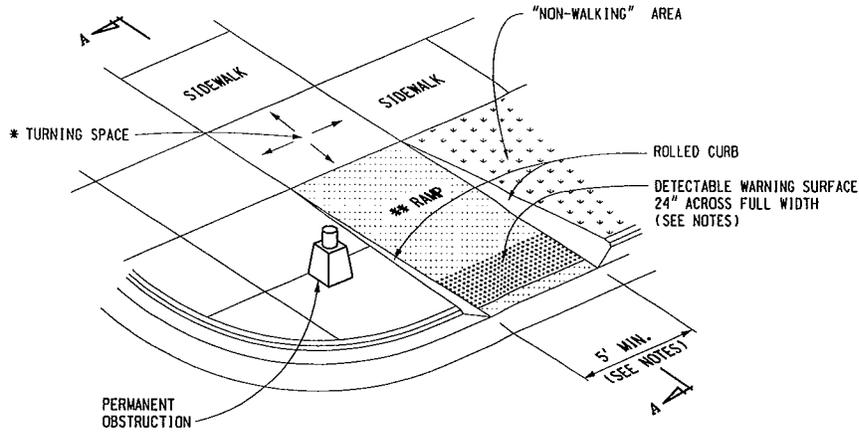
MDOT Construction Details (2013 or current edition):

R-28-H Sidewalk Ramp and Detectable Warning Details

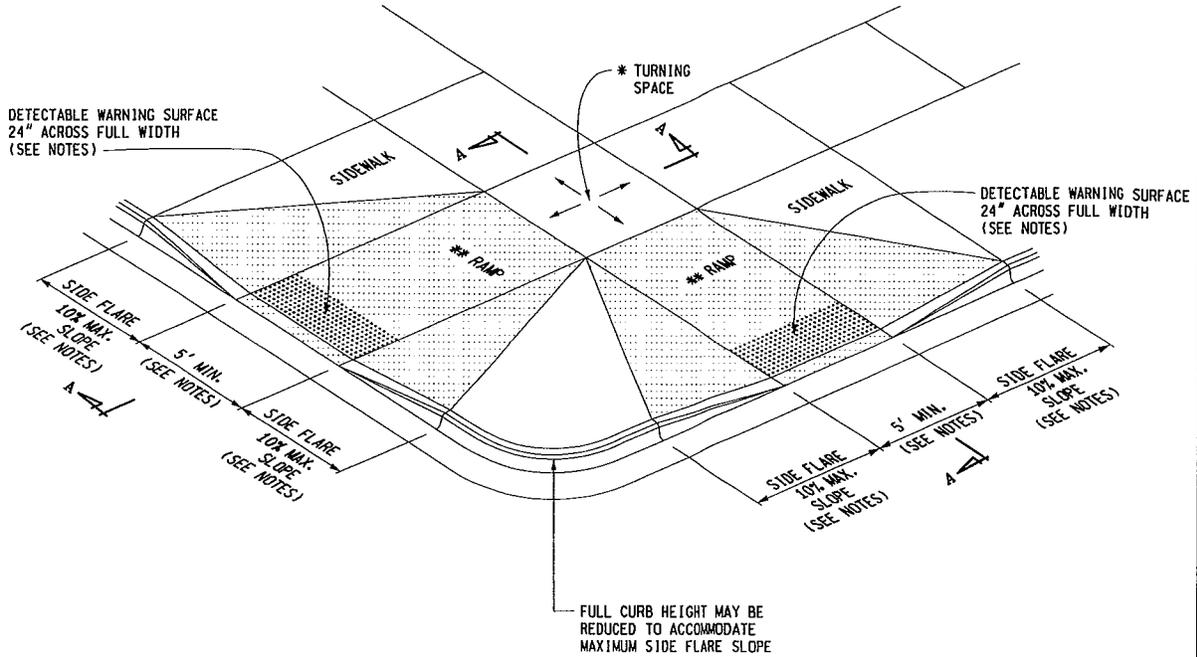
R-29-H Driveway Openings & Approaches and Concrete Sidewalk

\* MAXIMUM TURNING SPACE SLOPE IS 2% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

\*\* MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



**SIDEWALK RAMP TYPE R**  
(ROLLED SIDES)

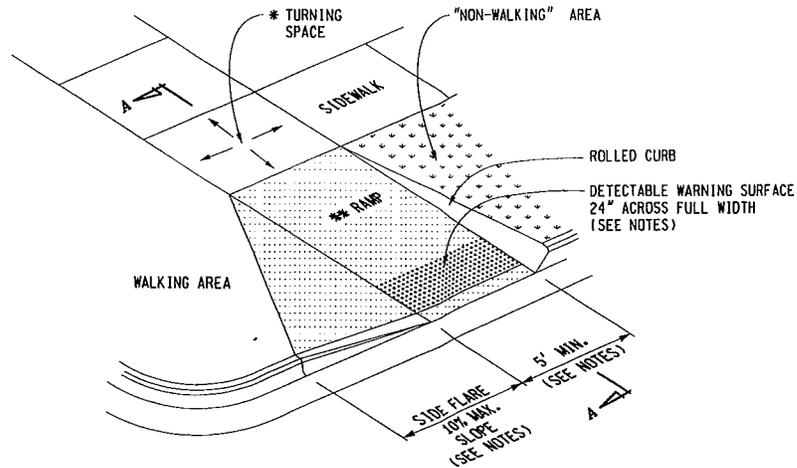


**SIDEWALK RAMP TYPE F**  
(FLARED SIDES, TWO RAMPS SHOWN)

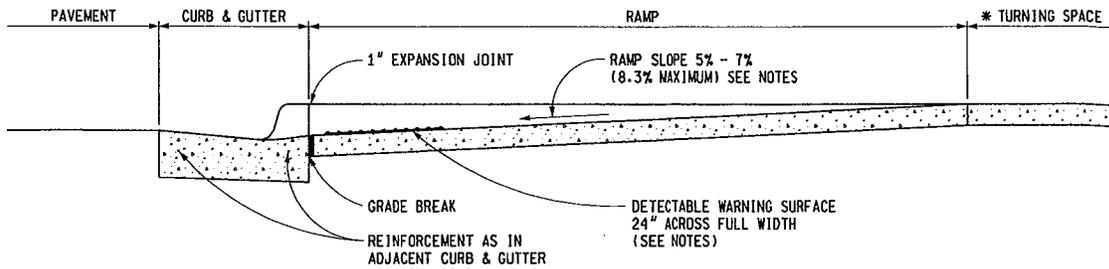
<p>PREPARED BY DESIGN DIVISION</p> <p>DRAWN BY: <u>B.L.T.</u></p> <p>CHECKED BY: <u>W.K.P.</u></p>	<p>DEPARTMENT DIRECTOR Kirk T. Steudle</p> <p>APPROVED BY: <u>Randy Van Pelt</u> DIRECTOR, BUREAU OF FIELD SERVICES</p> <p>APPROVED BY: <u>Mark A. Van Pelt</u> DIRECTOR, BUREAU OF HIGHWAY DEVELOPMENT</p>	<p>MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR</p> <p><b>SIDEWALK RAMP AND DETECTABLE WARNING DETAILS</b></p>	
	<p>1-25-2013 F.H.W.A. APPROVAL</p>	<p>10-3-2012 PLAN DATE</p>	<p><b>R-28-H</b></p>

\* MAXIMUM TURNING SPACE SLOPE IS 2% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

\*\* MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.

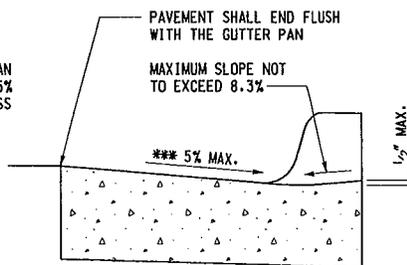


**SIDEWALK RAMP TYPE RF**  
(ROLLED / FLARED SIDES)



**SECTION A-A**

\*\*\* TRANSITION ADJACENT GUTTER PAN CROSS SECTION TO PROVIDE 5% MAXIMUM COUNTER SLOPE ACROSS THE RAMP OPENING.



**SECTION THROUGH CURB CUT**  
(TYPICAL ALL RAMP TYPES)

MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

**SIDEWALK RAMP AND  
DETECTABLE WARNING DETAILS**

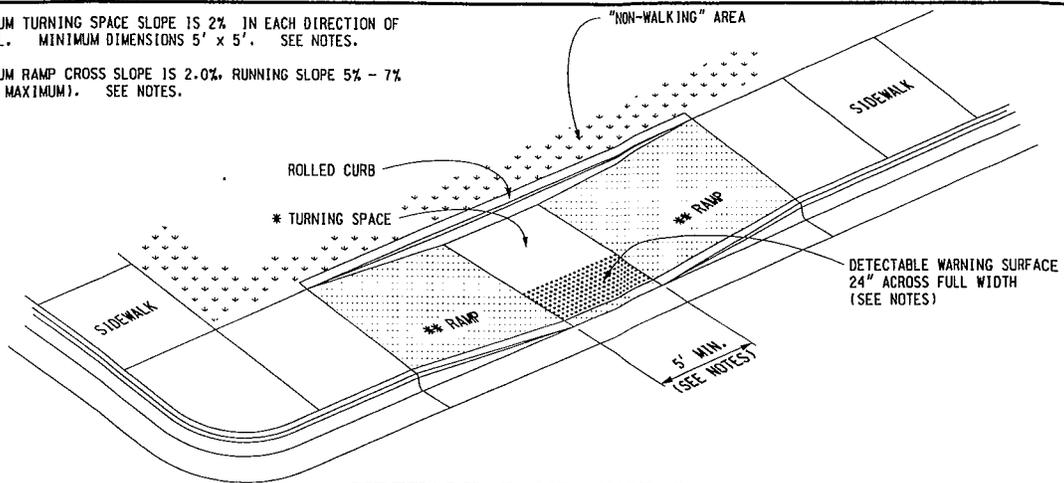
1-25-2013  
F.H.W.A. APPROVAL

10-3-2012  
PLAN DATE

R-28-H

SHEET  
2 OF 7

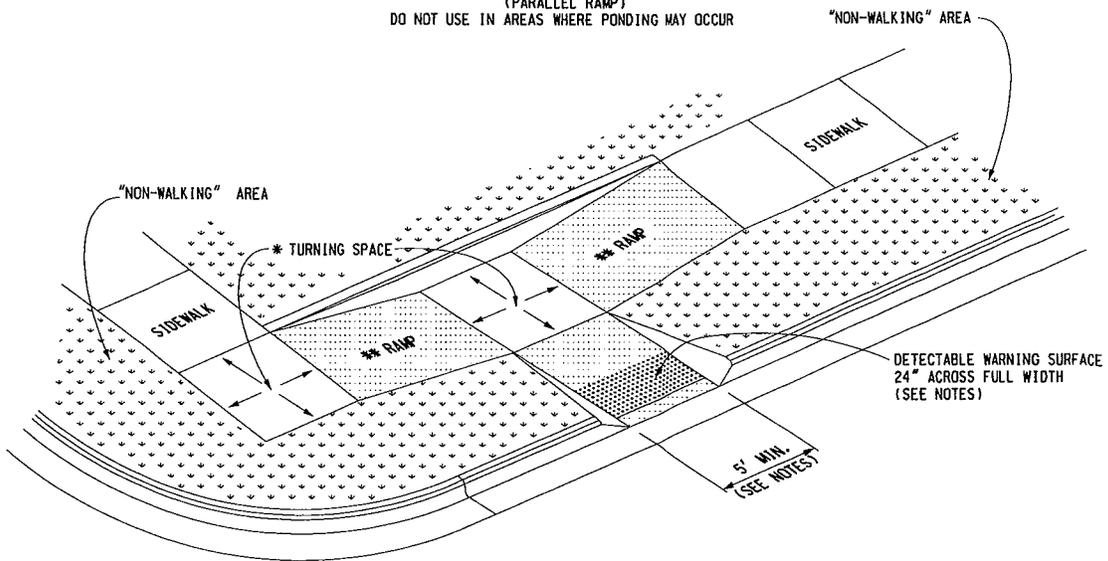
\* MAXIMUM TURNING SPACE SLOPE IS 2% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.  
 \*\* MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



**SIDEWALK RAMP TYPE P**

(PARALLEL RAMP)

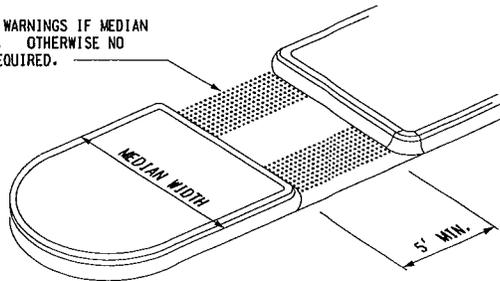
DO NOT USE IN AREAS WHERE PONDING MAY OCCUR



**SIDEWALK RAMP TYPE C**

(COMBINATION RAMP)

USE 24" DEEP DETECTABLE WARNINGS IF MEDIAN WIDTH IS AT LEAST 6'-0". OTHERWISE NO DETECTABLE WARNING IS REQUIRED.



**SIDEWALK RAMP TYPE M**

(MEDIAN ISLAND)

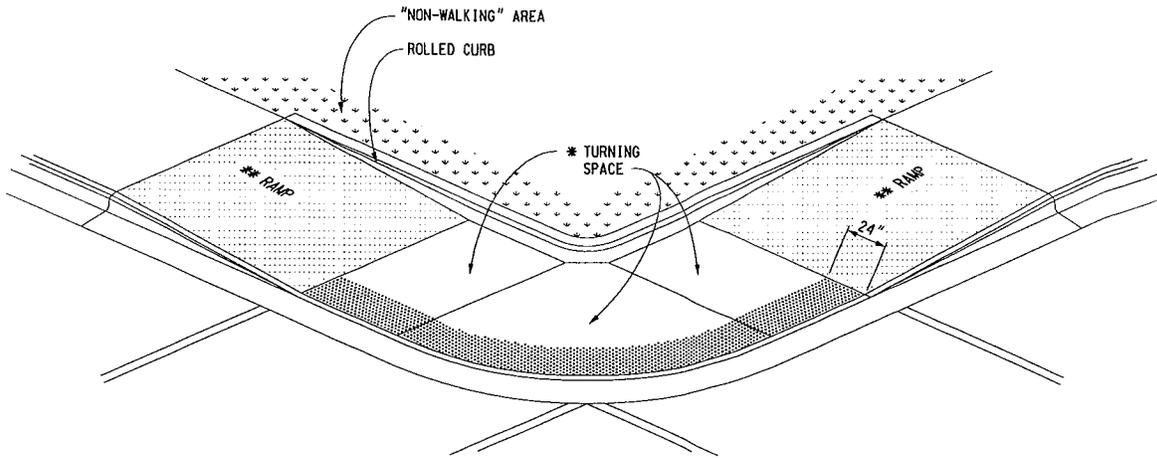
MICHIGAN DEPARTMENT OF TRANSPORTATION  
 BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

**SIDEWALK RAMP AND  
 DETECTABLE WARNING DETAILS**

1-25-2013 F.H.W.A. APPROVAL	10-3-2012 PLAN DATE	R-28-H	SHEET 3 OF 7
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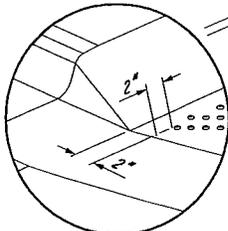
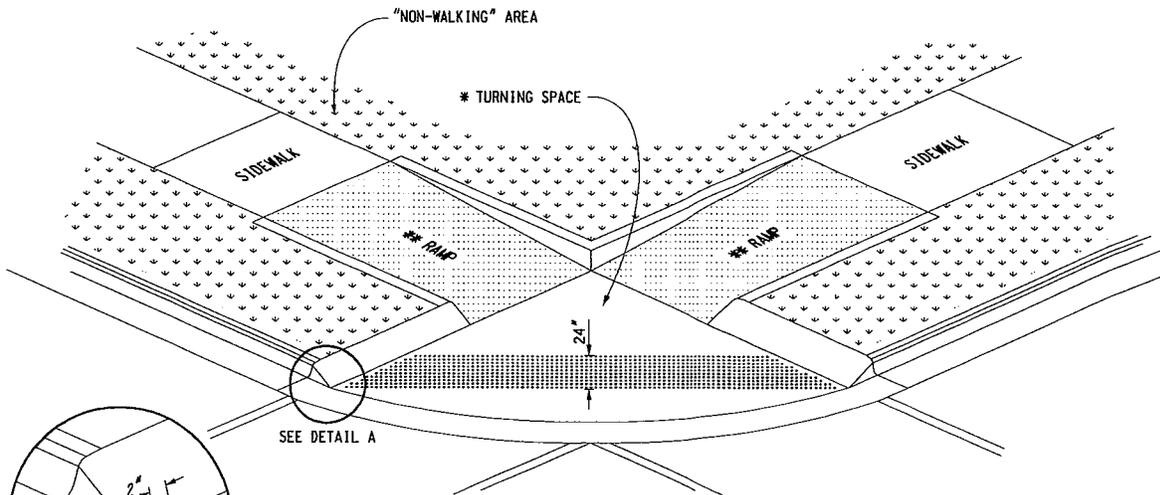
\* MAXIMUM TURNING SPACE SLOPE IS 2% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

\*\* MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



( RADIAL DETECTABLE WARNING SHOWN )

DETECTABLE WARNING SURFACE COVERAGE IS 24" FOR THE FULL WIDTH OF THE RAMP OPENING EXCLUDING CURBED OR CURB TRANSITION AREAS. A CURB OFFSET NOT GREATER THAN 2" MEASURED ALONG THE EDGES OF THE DETECTABLE WARNING IS ALLOWABLE.



DETAIL A

( TANGENT DETECTABLE WARNING SHOWN )

A CONCRETE BORDER OFFSET NOT GREATER THAN 2" IS ALLOWABLE FOR DETECTABLE WARNING INSTALLATION WHERE THE BACK OF CURB IS ON A RADIUS. THE BORDER OFFSET MAY BE MEASURED FROM THE END OF THE RADIUS.

### SIDEWALK RAMP TYPE D

( DEPRESSED CORNER )

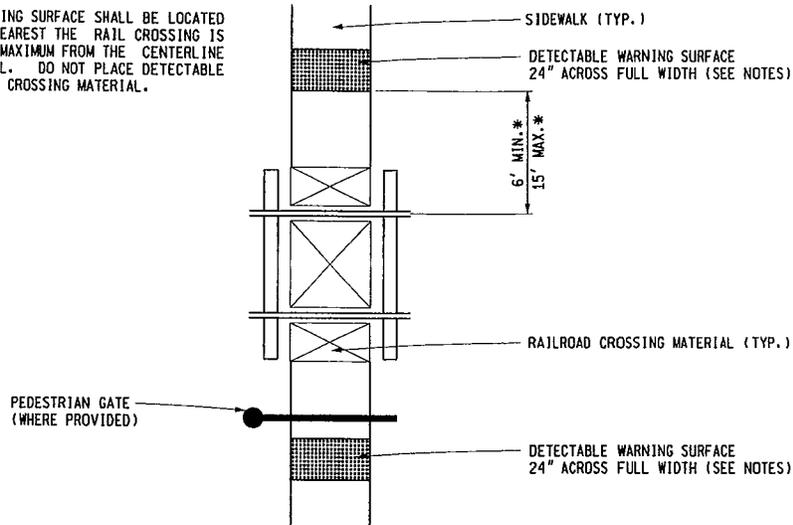
USE ONLY WHEN INDEPENDENT DIRECTIONAL RAMPS CAN NOT BE CONSTRUCTED FOR EACH CROSSING DIRECTION

MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

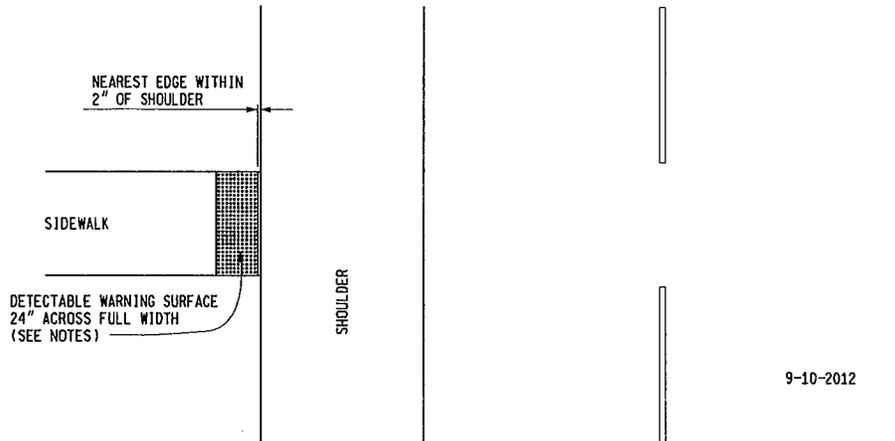
## SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

1-25-2013 F.H.W.A. APPROVAL	10-3-2012 PLAN DATE	R-28-H	SHEET 4 OF 7
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\* THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE RAIL CROSSING IS 6' MINIMUM AND 15' MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL. DO NOT PLACE DETECTABLE WARNING ON RAILROAD CROSSING MATERIAL.



DETECTABLE WARNING AT RAILROAD CROSSING

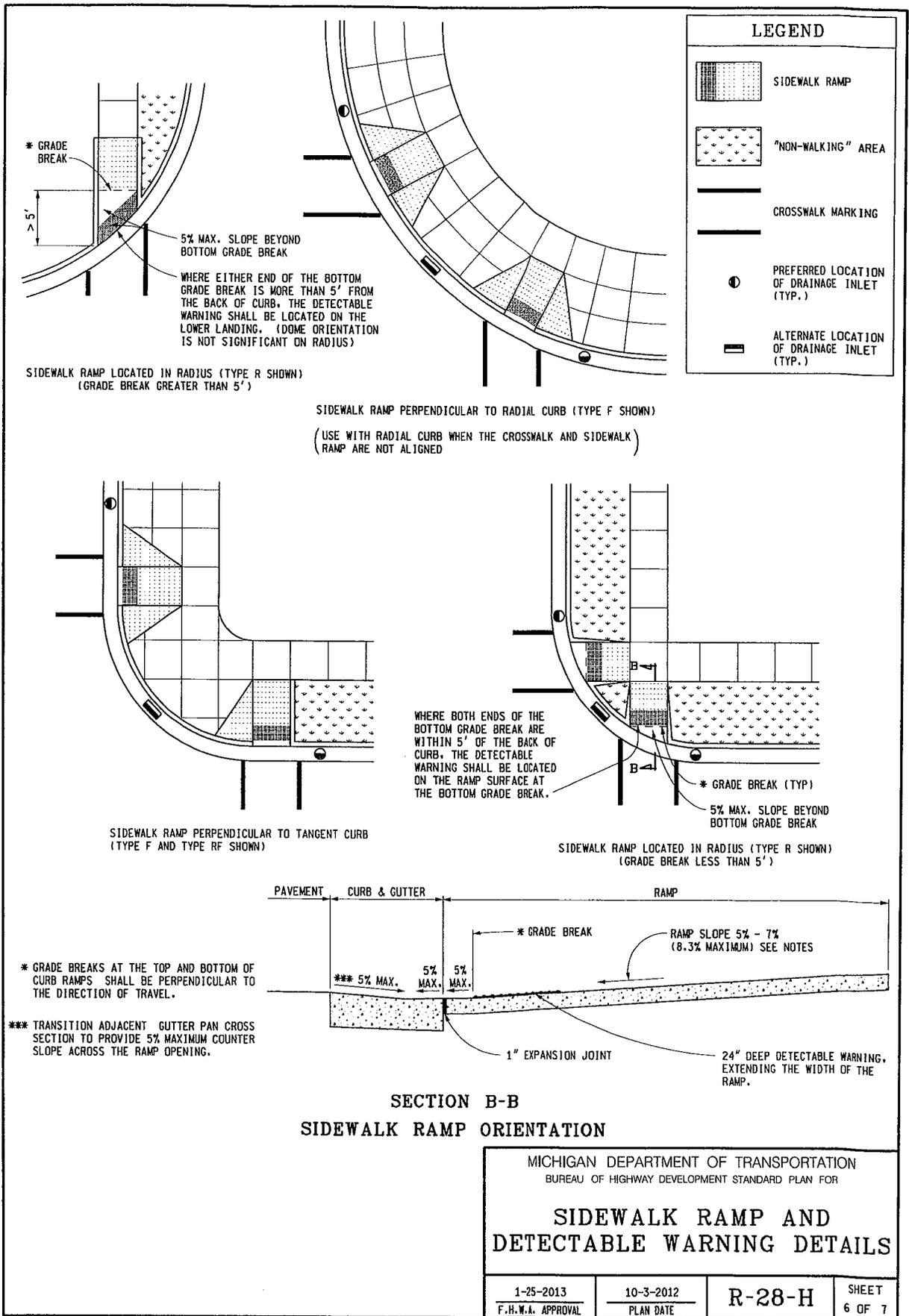


DETECTABLE WARNING AT FLUSH SHOULDER OR ROADWAY

MICHIGAN DEPARTMENT OF TRANSPORTATION  
 BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

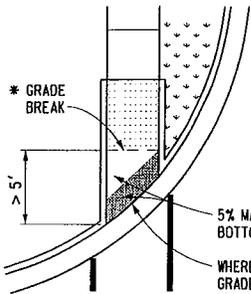
**SIDEWALK RAMP AND  
 DETECTABLE WARNING DETAILS**

1-25-2013 F.H.W.A. APPROVAL	10-3-2012 PLAN DATE	R-28-H	SHEET 5 OF 7
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**LEGEND**

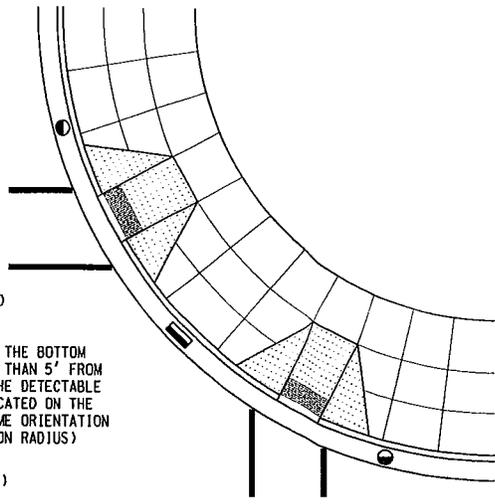
-  SIDEWALK RAMP
-  "NON-WALKING" AREA
-  CROSSWALK MARKING
-  PREFERRED LOCATION OF DRAINAGE INLET (TYP.)
-  ALTERNATE LOCATION OF DRAINAGE INLET (TYP.)



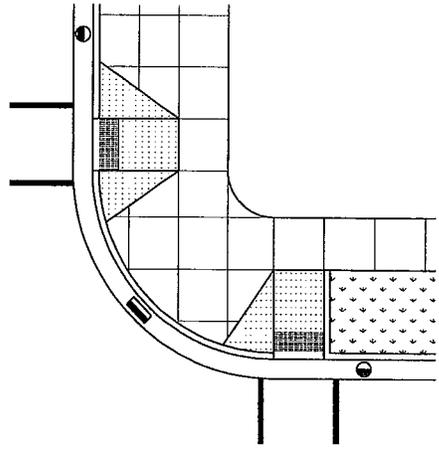
SIDEWALK RAMP LOCATED IN RADIUS (TYPE R SHOWN)  
(GRADE BREAK GREATER THAN 5')

5% MAX. SLOPE BEYOND  
BOTTOM GRADE BREAK

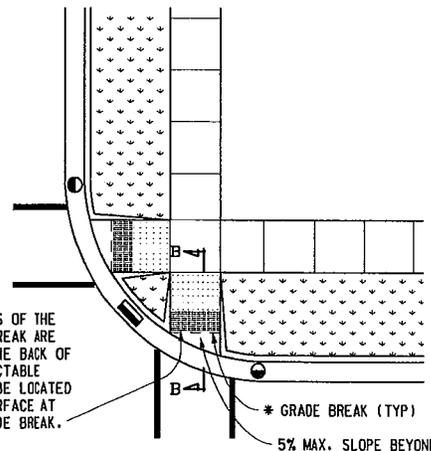
WHERE EITHER END OF THE BOTTOM  
GRADE BREAK IS MORE THAN 5' FROM  
THE BACK OF CURB, THE DETECTABLE  
WARNING SHALL BE LOCATED ON THE  
LOWER LANDING. (DOME ORIENTATION  
IS NOT SIGNIFICANT ON RADIUS)



SIDEWALK RAMP PERPENDICULAR TO RADIAL CURB (TYPE F SHOWN)  
(USE WITH RADIAL CURB WHEN THE CROSSWALK AND SIDEWALK  
RAMP ARE NOT ALIGNED)



SIDEWALK RAMP PERPENDICULAR TO TANGENT CURB  
(TYPE F AND TYPE RF SHOWN)

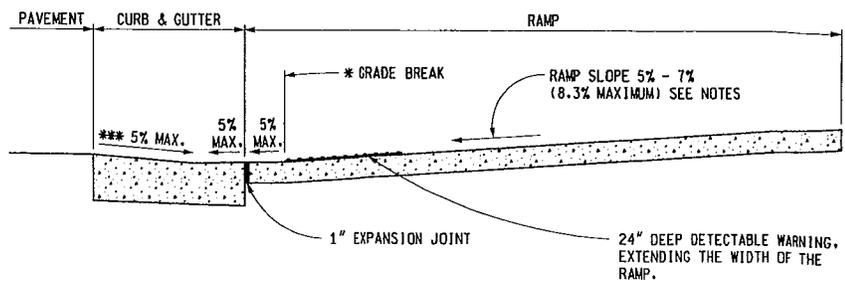


SIDEWALK RAMP LOCATED IN RADIUS (TYPE R SHOWN)  
(GRADE BREAK LESS THAN 5')

WHERE BOTH ENDS OF THE  
BOTTOM GRADE BREAK ARE  
WITHIN 5' OF THE BACK OF  
CURB, THE DETECTABLE  
WARNING SHALL BE LOCATED  
ON THE RAMP SURFACE AT  
THE BOTTOM GRADE BREAK.

\* GRADE BREAKS AT THE TOP AND BOTTOM OF  
CURB RAMPS SHALL BE PERPENDICULAR TO  
THE DIRECTION OF TRAVEL.

\*\*\* TRANSITION ADJACENT CUTTER PAN CROSS  
SECTION TO PROVIDE 5% MAXIMUM COUNTER  
SLOPE ACROSS THE RAMP OPENING.

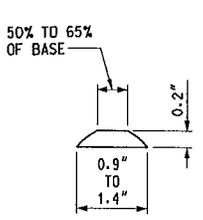


**SECTION B-B  
SIDEWALK RAMP ORIENTATION**

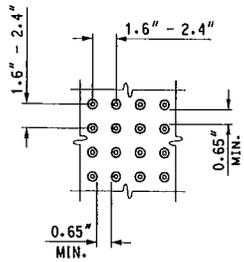
MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

**SIDEWALK RAMP AND  
DETECTABLE WARNING DETAILS**

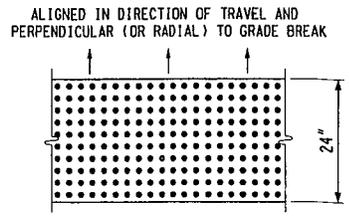
1-25-2013 F.H.W.A. APPROVAL	10-3-2012 PLAN DATE	R-28-H	SHEET 6 OF 7
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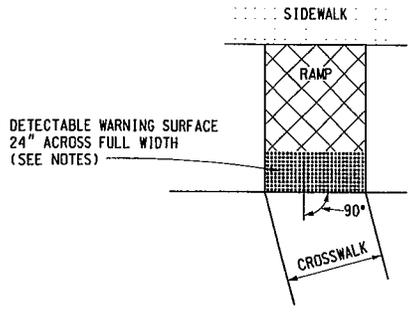
**DOME SECTION**



**DOME SPACING**



**DOME ALIGNMENT**



**DETECTABLE WARNING DETAILS**

**NOTES:**

DETAILS SPECIFIED ON THIS PLAN APPLY TO ALL CONSTRUCTION, RECONSTRUCTION, OR ALTERATION OF STREETS, CURBS, OR SIDEWALKS BY ALL PUBLIC AGENCIES AND BY ALL PRIVATE ORGANIZATIONS CONSTRUCTING FACILITIES FOR PUBLIC USE.

SIDEWALK RAMP ARE TO BE LOCATED AS SPECIFIED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

RAMP SHALL BE PROVIDED AT ALL CORNERS OF AN INTERSECTION WHERE THERE IS EXISTING OR PROPOSED SIDEWALK AND CURB. RAMP SHALL ALSO BE PROVIDED AT MARKED AND/OR SIGNALIZED MID-BLOCK CROSSINGS.

SURFACE TEXTURE OF THE RAMP SHALL BE THAT OBTAINED BY A COARSE BROOMING, TRANSVERSE TO THE RUNNING SLOPE.

SIDEWALK SHALL BE RAMPED WHERE THE DRIVEWAY CURB IS EXTENDED ACROSS THE WALK.

CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE ON THE RAMP, WHERE CONDITIONS PERMIT, IT IS DESIRABLE THAT THE SLOPE OF THE RAMP BE IN ONLY ONE DIRECTION, PARALLEL TO THE DIRECTION OF TRAVEL.

RAMP WIDTH SHALL BE INCREASED, IF NECESSARY, TO ACCOMMODATE SIDEWALK SNOW REMOVAL EQUIPMENT NORMALLY USED BY THE MUNICIPALITY.

PROVIDE TURNING SPACES WHERE PEDESTRIAN TURNING MOVEMENTS ARE REQUIRED.

WHEN 5' MINIMUM WIDTHS ARE NOT FEASIBLE, RAMP WIDTH MAY BE REDUCED TO NOT LESS THAN 4' AND TURNING SPACES TO NOT LESS THAN 4' x 4'.

DETECTABLE WARNING SURFACE COVERAGE IS 24" MINIMUM IN THE DIRECTION OF RAMP/PATH TRAVEL AND THE FULL WIDTH OF THE RAMP/PATH OPENING EXCLUDING CURBED OR FLARED CURB TRANSITION AREAS. A CURB OFFSET NOT GREATER THAN 2" MEASURED ALONG THE EDGES OF THE DETECTABLE WARNING (OR AS OTHERWISE SHOWN ON THIS STANDARD) IS ALLOWABLE.

FOR NEW ROADWAY CONSTRUCTION, THE RAMP CROSS SLOPE MAY NOT EXCEED 2%. FOR ALTERATIONS TO EXISTING ROADWAYS, THE CROSS SLOPE MAY BE TRANSITIONED TO MEET AN EXISTING ROADWAY GRADE. THE CROSS SLOPE TRANSITION SHALL BE APPLIED UNIFORMLY OVER THE FULL LENGTH OF THE RAMP.

THE MAXIMUM RUNNING SLOPE OF 8.3% IS RELATIVE TO A FLAT (0%) REFERENCE. HOWEVER, IT SHALL NOT REQUIRE ANY RAMP OR SERIES OF RAMP TO EXCEED 15 FEET IN LENGTH.

DRAINAGE STRUCTURES SHOULD NOT BE PLACED IN LINE WITH RAMP. THE LOCATION OF THE RAMP SHOULD TAKE PRECEDENCE OVER THE LOCATION OF THE DRAINAGE STRUCTURE. WHERE EXISTING DRAINAGE STRUCTURES ARE LOCATED IN THE RAMP PATH OF TRAVEL, USE A MANUFACTURER'S ADA COMPLIANT GRATE. OPENINGS SHALL NOT BE GREATER THAN 1/2". ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.

TRANSITION THE GUTTER PAN CROSS SECTION SUCH THAT THE COUNTER SLOPE IN THE DIRECTION OF RAMP TRAVEL IS NOT GREATER THAN 5%. MAINTAIN THE NORMAL GUTTER PAN CROSS SECTION ACROSS DRAINAGE STRUCTURES.

THE TOP OF THE JOINT FILLER FOR ALL RAMP TYPES SHALL BE FLUSH WITH THE ADJACENT CONCRETE.

CROSSWALK AND STOP LINE MARKINGS, IF USED, SHALL BE SO LOCATED AS TO STOP TRAFFIC SHORT OF RAMP CROSSINGS. SPECIFIC DETAILS FOR MARKING APPLICATIONS ARE GIVEN IN THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".

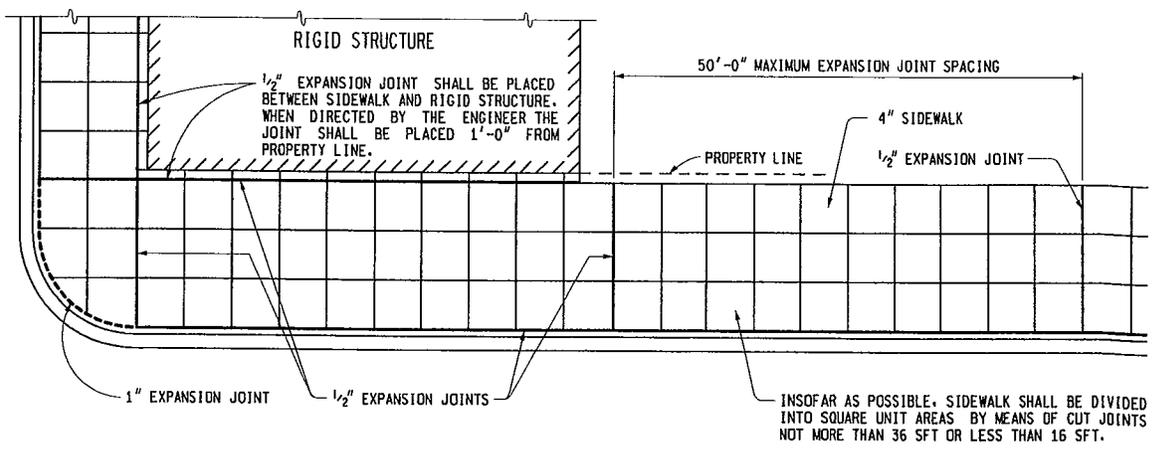
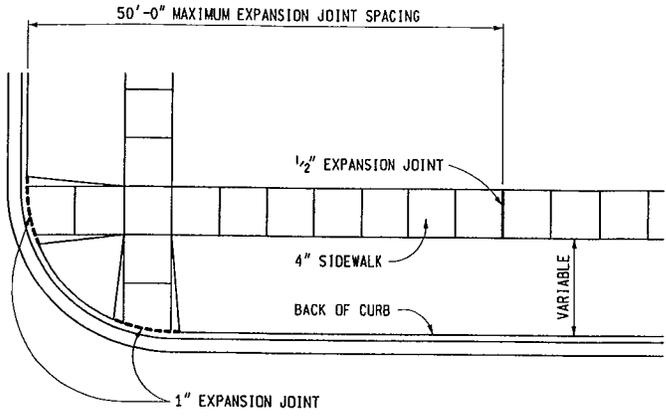
FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED ALONG THE ROADSIDE CURB LINE, SHALL BE PROVIDED WHERE AN UNOBSTRUCTED CIRCULATION PATH LATERALLY CROSSES THE SIDEWALK RAMP. FLARED SIDES ARE NOT REQUIRED WHERE THE RAMP IS BORDERED BY LANDSCAPING, UNPAVED SURFACE OR PERMANENT FIXED OBJECTS, WHERE THEY ARE NOT REQUIRED, FLARED SIDES CAN BE CONSIDERED IN ORDER TO AVOID SHARP CURB RETURNS AT RAMP OPENINGS.

DETECTABLE WARNING PLATES MUST BE INSTALLED USING FABRICATED OR FIELD CUT UNITS CAST AND/OR ANCHORED IN THE PAVEMENT TO RESIST SHIFTING OR HEAVING.

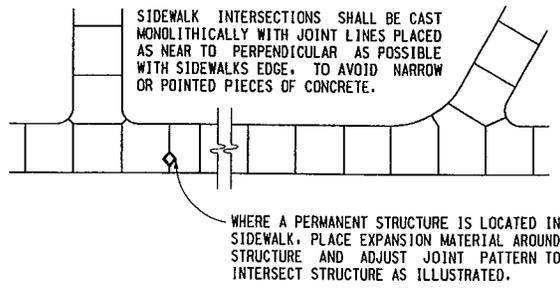
MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

**SIDEWALK RAMP AND  
DETECTABLE WARNING DETAILS**

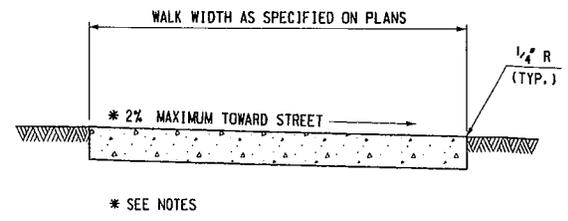
1-25-2013 F.H.W.A. APPROVAL	10-3-2012 PLAN DATE	R-28-H	SHEET 7 OF 7
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**LOCATION OF JOINTS IN CONCRETE SIDEWALK**

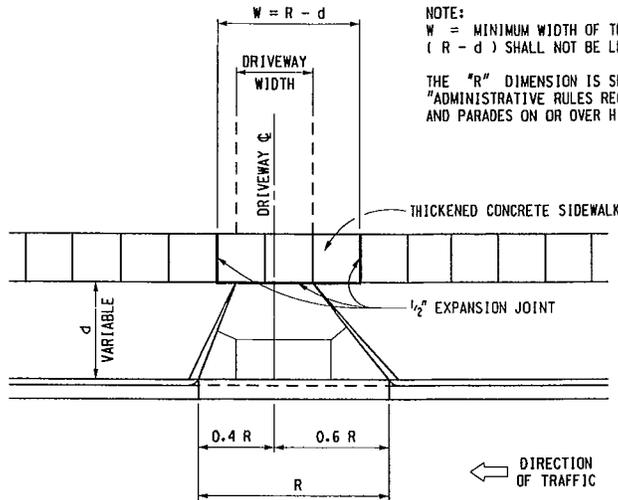


**TYPICAL SIDEWALK JOINT LAYOUTS**



**4" CONCRETE SIDEWALK**

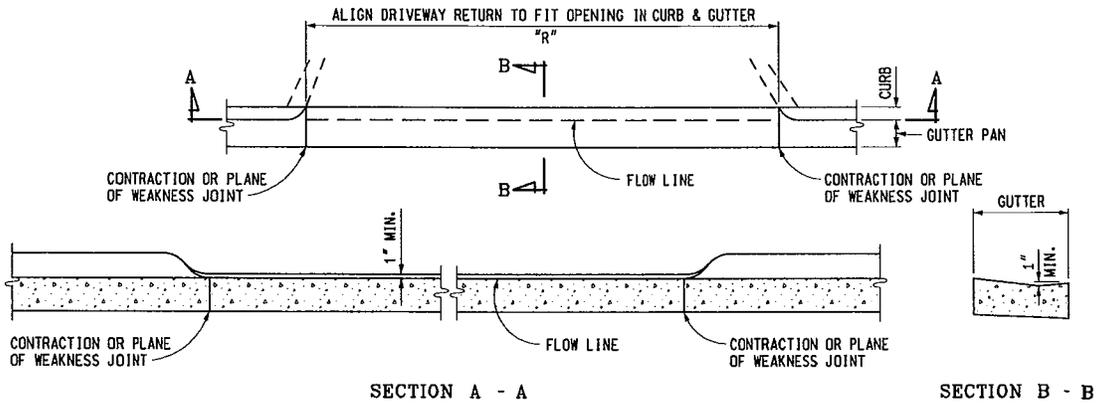
	DEPARTMENT DIRECTOR Kirk T. Steudle	MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR	
	APPROVED BY: <i>Randy V. Puffel</i> DIRECTOR, BUREAU OF FIELD SERVICES	<b>DRIVEWAY OPENINGS &amp; APPROACHES, AND CONCRETE SIDEWALK</b>	
PREPARED BY DESIGN DIVISION	APPROVED BY: <i>Mark A. Van Pelt</i> DIRECTOR, BUREAU OF HIGHWAY DEVELOPMENT	1-25-2013 F.H.W.A. APPROVAL	10-1-2012 PLAN DATE
DRAWN BY: <u>B.L.T.</u>		<b>R-29-H</b>	
CHECKED BY: <u>W.K.P.</u>			SHEET 1 OF 4



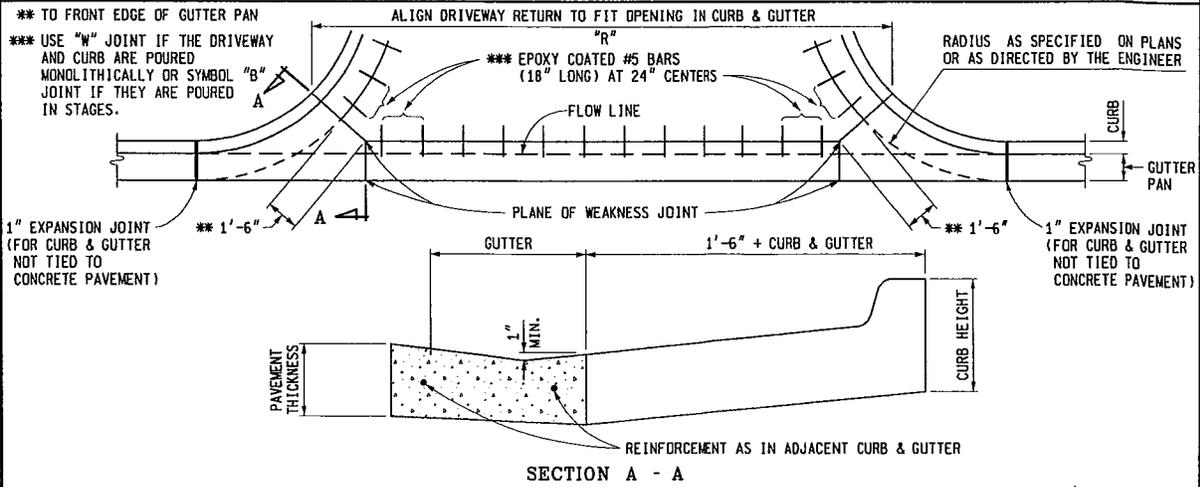
NOTE:  
 W = MINIMUM WIDTH OF THICKENED CONCRETE SIDEWALK.  
 ( R - d ) SHALL NOT BE LESS THAN DRIVEWAY WIDTH.

THE "R" DIMENSION IS SPECIFIED IN THE PUBLICATION  
 "ADMINISTRATIVE RULES REGULATING DRIVEWAYS, BANNERS  
 AND PARADES ON OR OVER HIGHWAYS".

CONCRETE DRIVEWAY OPENING LAYOUT



CONCRETE DRIVEWAY OPENING, DETAIL L

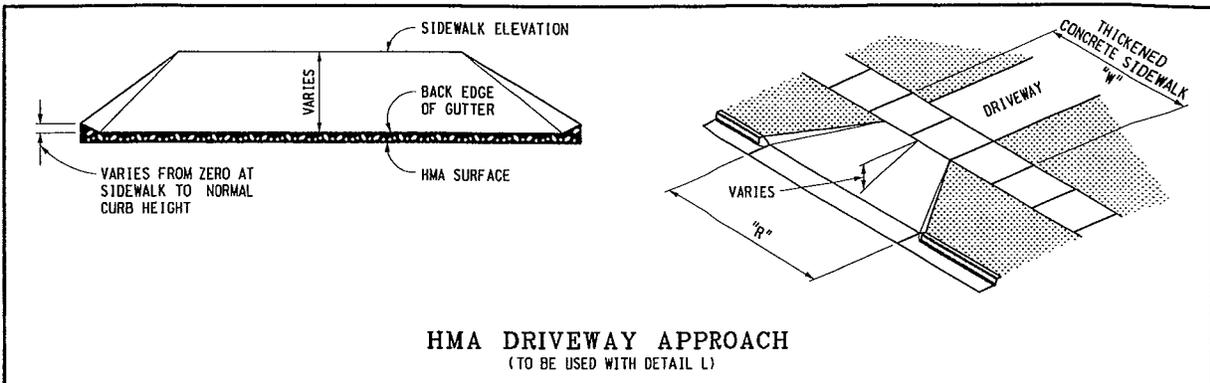


CONCRETE DRIVEWAY OPENING, DETAIL M

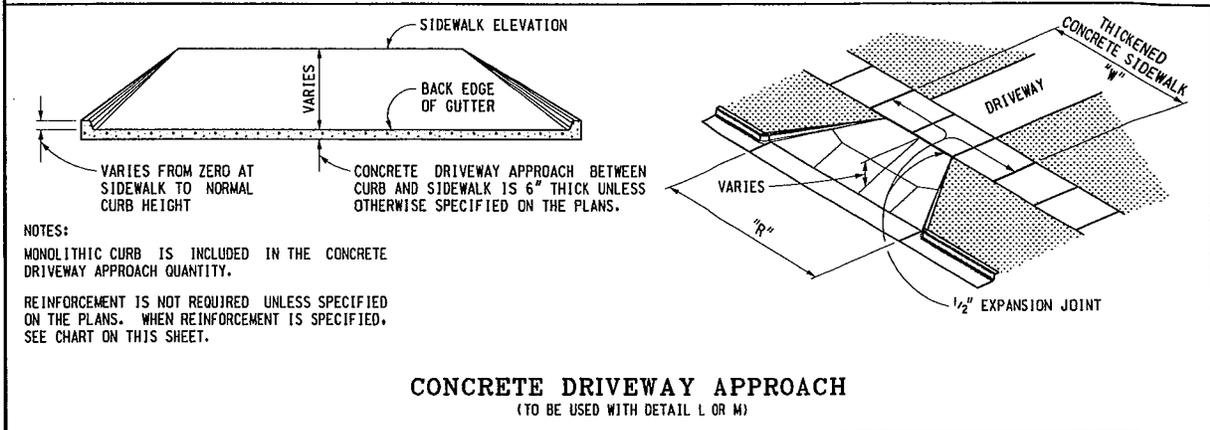
NOTE:  
 FOR ROADWAYS WITH CONCRETE PAVEMENTS, LONGITUDINAL LANE TIES WILL  
 BE CONTINUOUS THROUGH THE DRIVEWAY OPENING AND THE SPACING OF THE  
 #5 BARS IN CONCRETE DRIVEWAYS SHALL BE ADJUSTED TO AVOID CONFLICT  
 WITH THE LONGITUDINAL LANE TIES.

MICHIGAN DEPARTMENT OF TRANSPORTATION  
 BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR  
**DRIVEWAY OPENINGS  
 & APPROACHES,  
 AND CONCRETE SIDEWALK**

1-25-2013 F.H.W.A. APPROVAL	10-1-2012 PLAN DATE	R-29-H	SHEET 2 OF 4
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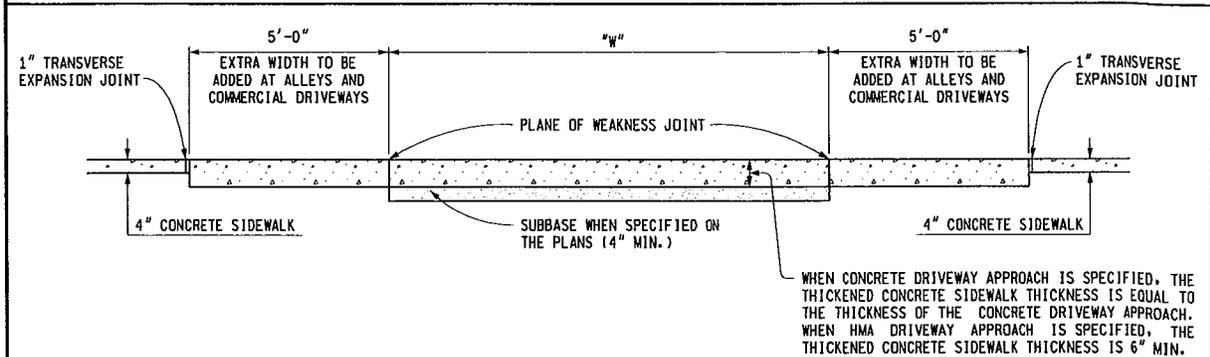


**HMA DRIVEWAY APPROACH**  
(TO BE USED WITH DETAIL L)

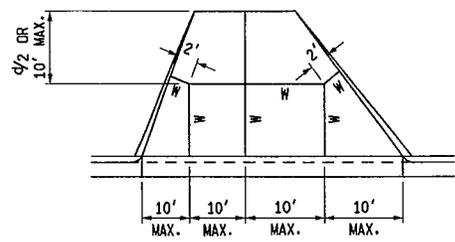


**CONCRETE DRIVEWAY APPROACH**  
(TO BE USED WITH DETAIL L OR M)

**NOTES:**  
MONOLITHIC CURB IS INCLUDED IN THE CONCRETE DRIVEWAY APPROACH QUANTITY.  
REINFORCEMENT IS NOT REQUIRED UNLESS SPECIFIED ON THE PLANS. WHEN REINFORCEMENT IS SPECIFIED, SEE CHART ON THIS SHEET.



**THICKENED CONCRETE SIDEWALK**



ADJUST DRIVEWAY JOINTS AS NEEDED TO ALIGN WITH ANY COINCIDING TRANSVERSE PAVEMENT JOINTS.  
JOINT LAYOUT IS AS INDICATED OR AS DIRECTED BY THE ENGINEER.

**INTERMEDIATE DRIVEWAY JOINT DETAILS**

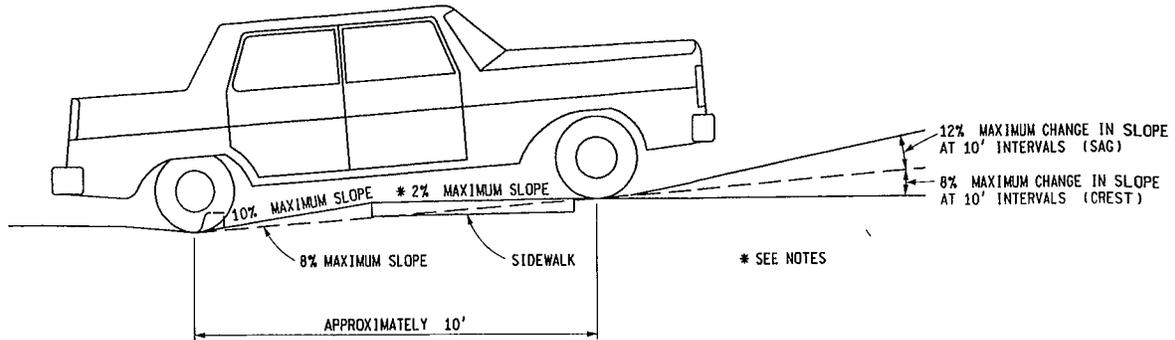
**REINFORCEMENT FOR CONCRETE DRIVEWAYS**

CONCRETE DRIVEWAY THICKNESS	WIRE SIZE (6" x 6" MESH)	AVERAGE WEIGHT (LBS/100 SFT)
LESS THAN 8"	W1.4	21
	W2.9	42
8" OR GREATER	USE WIRE FABRIC REINFORCEMENT SPECIFIED ON STANDARD PLAN R-37-SERIES	

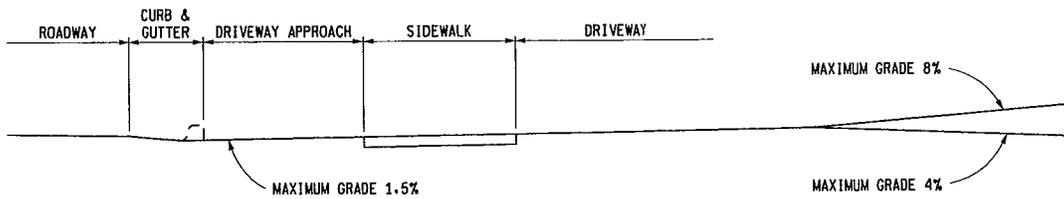
MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

**DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK**

1-25-2013 F.H.W.A. APPROVAL	10-1-2012 PLAN DATE	<b>R-29-H</b>	SHEET 3 OF 4
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**LOW VOLUME COMMERCIAL OR RESIDENTIAL DRIVEWAY SLOPES**



**COMMERCIAL DRIVEWAY PROFILE FOR MAJOR TRAFFIC GENERATORS**

**NOTES:**

FOR DRIVEWAY DESIGN REFER ALSO TO "ADMINISTRATIVE RULES REGULATING DRIVEWAYS, BANNERS, AND PARADES ON OR OVER HIGHWAYS" AND GEOMETRIC DESIGN G-680-SERIES, COMMERCIAL DRIVEWAYS.

FOR CURB AND GUTTER DETAILS, SEE STANDARD PLAN R-30-SERIES.

TRANSVERSE SIDEWALK SLOPES ARE TYPICALLY 1.5% OR 2% MAXIMUM. IN ORDER TO MEET SITE CONDITIONS, IF THE TRANSVERSE SLOPE IS REQUIRED TO BE LESS THAN 1.5%, LONGITUDINAL DRAINAGE MUST BE PROVIDED.

WHEN SETTING GRADES FOR COMMERCIAL DRIVES, THE TYPES OF VEHICLES USING THE DRIVE SHOULD BE CONSIDERED.

MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR <b>DRIVEWAY OPENINGS          &amp; APPROACHES,          AND CONCRETE SIDEWALK</b>			
1-25-2013 F.H.W.A. APPROVAL	10-1-2012 PLAN DATE	<b>R-29-H</b>	SHEET 4 OF 4

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# Memo



**To:** Oshtemo Charter Township Board  
**From:** James W. Porter *JWP*  
**Date:** February 20, 2015  
**Subject:** Amended and Restated Sewer Main Connection Charges

## OBJECTIVE

To no longer require a Board resolution for rate changes and to separate the "motion" to approve the rate from the rate document itself – "Amended and Restated Sewer Main Connection Charges."

## BACKGROUND

In the past, the sewer main connection charges were set by resolution. This is no longer required; it can be done by simple motion. The resolution format was confusing to the public.

## INFORMATION PROVIDED

Attached you will find a Motion to Approve the Amended and Restated Sewer Main Connection Charges. Please note that there **HAVE NOT BEEN ANY CHANGES TO THE SEWER MAIN CONNECTION CHARGES**. The only reason for the motion and the attachment to the motion entitled, "Amended and Restated Sewer Main Connection Charges," is to **re-format** the information which we can then present to the public.

## STATEMENT OF WHAT YOU ARE ASKING BOARD TO APPROVE

Having revised the method to approve the sewer main connection charges to a simple motion (which will not require a roll call vote) and separated the motion from the document setting forth the actual fees, we are requesting a motion to approve the newly formatted rate changes for public dissemination.

NOTE: NO CHANGES IN THE RATES HAVE OCCURRED.

4j-

**CHARTER TOWNSHIP OF OSHTEMO  
KALAMAZOO COUNTY, MICHIGAN**

**MOTION TO APPROVE  
AMENDED AND RESTATED SEWER MAIN CONNECTION CHARGES**

**February 24, 2015**

WHEREAS, the Charter Township of Oshtemo has heretofore adopted the Wastewater Service Ordinance, being Ordinance No. 208, and as thereafter amended, and

WHEREAS, pursuant to Section 7 of said Ordinance, the Township Board is required to establish appropriate charges for sewer main connection and to make changes from time to time to reflect the changes in costs, and

WHEREAS, it is the desire of the Township Board to treat all persons similarly benefitted and similarly situated in an equitable manner with respect to sewer connection charges and to amend and restate the Sewer Main Connection Charges.

NOW, THEREFORE, until further modification by the Township Board, the Sewer Main Connection Charges are hereby amended and restated, and the following fees shall be payable at the time of connection to public sanitary sewer.

Motion made by \_\_\_\_\_, seconded by \_\_\_\_\_, to adopt the foregoing Amended and Restated Sewer Main Connection Charges.

Upon roll-call vote, the following voted "Aye":

The following voted "Nay":

The following abstained:

The following members were absent:

The Supervisor declared the motion carried, and the Sewer Main Connection Charges duly adopted.

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DEBORAH L. EVERETT, Township Clerk

\*\*\*\*\*

CERTIFICATE

I, Deborah L. Everett, the duly appointed and acting Clerk of the Township of Oshtemo, hereby certify that the foregoing Motion to Amend the Amended and Restated Sewer Main Connection Charges was adopted by the Township Board of said Charter Township at a regular meeting of said Board held on February 24, 2015, at which meeting a quorum was present, and the Motion was approved and ordered to take effect on February 24, 2015.

---

DEBORAH L. EVERETT, Township Clerk

**CHARTER TOWNSHIP OF OSHTEMO**

**KALAMAZOO COUNTY, MICHIGAN**

**AMENDED AND RESTATED SEWER MAIN CONNECTION CHARGES**

**EFFECTIVE: FEBRUARY 24, 2015**

**I.**

**CONNECTION FEE - BENEFIT FEE**

1. All property connecting to a public sewer shall pay a fee at time of connection.
2. Charges for connection to public sanitary sewers shall be as follows:

FOR PROPERTIES ABUTTING SEWER MAINS PAID FOR BY THE TOWNSHIP OR BY A PRIVATE DEVELOPER (OUTSIDE APPROVED DEVELOPMENT BOUNDARIES)

- A. \$20.00 per front foot on street\*.
- B. \$6,850 per parcel, lot or building site.\*
- C. \$2,000 per benefit unit. (See Section IV).

\* Assessable front foot charges for private single and two-family residential properties with only one residential building thereon shall only be charged for the first 200 feet of assessable frontage. All other commercial development, industrial development, residential plat or site condominium, as well as multi-family residential development, shall pay the applicable footage charge without limitation.

New parcels, lots or building sites which are split from property already connected to the public sewer system shall pay the fees as set forth above, except to the extent that a portion of the new lot, parcel or building site frontage was part of the first 200 feet for which the front foot charge has already been levied and paid.

LOTS, BUILDING SITES, AND PARCELS WITHIN APPROVED DEVELOPMENT BOUNDARIES WHERE THE DEVELOPER PAID FOR THE SEWER INSTALLATION

- A. \$2,000 per benefit unit (See Section IV).
- 3. When an additional lead to the sewer mains is requested to service a property where a lead already exists, the actual cost incurred by the Township in providing said additional lead shall be the responsibility of the requesting party.
- 4. Installment Payment Mortgage Agreements shall not exceed 15 years. Mortgages shall be charged a rate of interest equal to the primate rate plus 2%, not to exceed the maximum rate allowed by law.
- 5. If the property has been part of a special assessment district, the subject property shall be entitled to a credit for one Benefit Fee; only the remaining portions of the front foot charge and parcel, lot or building site fee, if any, shall be due as well as any additional Benefit Unit Charges owed under Section IV, Paragraph 1, in accordance with the Benefit Unit Schedule set forth therein. See Section IV.

The above charges, being composed of the benefit unit fee, the front foot charge and the parcel, lot or building site fee, will raise \$12,900.00 per 200-foot lot which is the approximate current cost of constructing a sewer main with property lead to serve an existing 200-foot residential lot. It is intended that the benefit unit fee which is related to anticipated flow volume helps offset the high cost of trunk line and pumping station construction.

**II.**

**DEVELOPER CONSTRUCTION CONTRACT / SEWER MAIN EXTENSION AGREEMENT**

- 1. A developer may contract with the Township to extend a public sewer main to and through a property subject to the following requirements:
  - A. All costs, including construction, engineering, legal and administrative expenses, shall be paid by the developer.
  - B. The design and construction of the sewer main extension, including all service leads, manholes, pumping stations, roadway borings, topsoil and service restoration shall be in accordance with the current Township standards and approved by the Township Engineer.

- C. Generally, construction will be undertaken by or under the control of the Township. However, pursuant to Township approval and authorization, sewer construction may be undertaken by the developer, and the following shall also generally apply:
- (1) All sewer construction must be inspected by the Township Engineer at the developer's full cost. However, pursuant to written Township approval, inspection of sewer construction for the purpose of permit certification may be performed by the developer's engineer of record.
  - (2) Sanitary sewer testing requirements must be witnessed by the Township or its designated representative.
  - (3) The developer must provide full, complete and reliable documentation of sewer construction costs in order to receive full benefit of the cost recovery provisions of paragraph E below.
  - (4) Acceptance of the sewer addition for any use, including sewerage flow, shall require prior approval by the Township Engineer.
- D. The developer shall furnish the Township a hard copy and digital copy plan and profile set of as-constructed drawings, prepared to scale where one inch (1") equals forty feet (40') horizontal and four feet (4') vertical. Digital copies shall be provided in Autocad (.dwg) or (.dxf) format. **The Township Engineer will collect Global Positioning System (GPS) data for inclusion in the Township's Geographic Information System (GIS).**
- E. The Township shall collect from property owners for all properties connecting to the sewer main extension constructed by the developer, other than parcels, lots and building sites within the approved development boundaries, the appropriate fees and charges and, pursuant to a written agreement with the developer, will refund to the developer 80% of the parcel, lot or building site and front foot fees (if any) collected during the ten-year period following completion of construction. The amount of the refund, however, shall in no case exceed the total construction cost for that portion of sewer mains serving properties outside the approved development boundaries.

2. All sewer main extensions shall be extended to the far boundary of the property served so as to allow for future extension through adjoining property. All sewer leads shall be extended to the easement or roadway right-of-way line.

**III.**

**USER FEES**

1. Monthly or quarterly use charges shall be billed to each customer connected to the public sewer system by the City of Kalamazoo in conjunction with the customer's water bill as metered at the customer's private water supply in accordance with the Sanitary Sewage Disposal Agreement between the Charter Township of Oshtemo and the City of Kalamazoo dated October 8, 1984.

**IV.**

**BENEFIT FEE**

<u>Connected Use or Activity</u>	<u>Benefit Units</u>	<u>Benefit Unit Factor</u>
Auto Dealer - New and/or Used	1.00	Per premise plus 0.25 per 1,000 square feet of building including service area
Auto Repair/Collision	1.00	Same as above
Auto Wash (coin operated do-it-yourself, 10 gallons or less per car)	1.00	Per stall
Auto Wash (Mechanical - over 10 gallons per car - recycled)	5.00	Per stall or production line including approach and drying area
Auto Wash (Mechanical - over 10 gallons per car - not recycled)	10.00	Per stall or production line including approach and drying area
Bar	4.00	Per 1,000 square feet
Barber Shop	1.00	Per shop plus 0.1 per chair after 2
Beauty Shop	1.00	Per shop plus 0.1 per booth

Bowling Alley (No bar)	1.00	Per premise plus 0.2 per alley
Campground Facilities - recreation vehicle, tents, trailers under 12 feet	0.35	Per pad or site plus picnic facilities
Campground Facilities - trailer park or trailers in excess of 12 feet	0.50	Per pad or site plus picnic facilities
Church	0.25	Per 1,000 square feet minimum of 1
Cleaners (pick-up only)	1.00	Per shop
Cleaners (cleaning and pressing facilities)	1.00	Per premise plus 0.5 per 500 square feet
Clinic (medical or dental)	1.00	Per premise plus 0.5 per exam room
Convalescent or boarding home	1.00	Per premise plus 0.25 per bedroom
Convent	1.00	Per premise plus 0.25 per bedroom
Convenience store	1.50	Per premise plus 0.8 per 1,000 square feet
Country club and athletic club	1.50	Per 1,000 square feet of clubhouse plus restaurant, bar and pro shop as retail store
Drug store	1.00	Per premise plus snack bar
Factory (office and production)	0.75	Per 1,000 square feet
Factory (wet process)		Based on metered sewage flow (see paragraphs 4 and 5 of this Section)
Funeral home	1.50	Per 1,000 square feet plus residence to be computed separately
Grocery store and supermarket	1.00	Per premise plus 0.8 per 1,000 square feet
Hospital	1.10	Per bed

Hotel and motel	0.40	Per bedroom plus restaurant and bar
Laundry (self-serve)	1.00	Per premise plus 0.5 per washer
Marina - per boat docking Space	.06	Per space under 25 feet in length
	.10	Per space over 25 feet in length
Mobile home (free standing)	1.00	Per unit
Mobile home (park or division)	0.75	Per pad or site at indirect connection rate plus laundry, community buildings and office to be computed separately per schedule
Multiple-family residence		
Duplex, row house or townhouse	1.00	Per dwelling unit
Apartment residence self-contained unit including laundry facilities in apartment	1.00	Per dwelling unit
Apartment residence - other than self-contained unit - not having laundry facilities in apartments	0.80	Per dwelling unit
Fraternity or sorority house	0.50	Per 1,000 square feet of floor area
Park, recreation facilities, campground		
Picnic facilities - no bathing or overnight accommodations	0.20	Per parking space
Picnic facilities - with bathing privileges or swimming pool	0.35	Per parking space
Post office	1.00	Per 1,000 square feet

Professional office	0.25	Per 500 square feet minimum 1
Public institution	0.75	Per 1,000 square feet
Restaurant (meals only)	2.5	Per 1,000 square feet excluding restrooms, public areas not in regular use and unfinished areas
Restaurant (meals and drinks)	3.5	Per 1,000 square feet excluding restrooms, public areas not in regular use and unfinished areas
Restaurant (public area, auxiliary dining room, dance floor or ballroom which are not in regular use)	0.5	Per 1,000 square feet
Retail store (other than listed)	1.0	Per premise plus 0.1 per 1,000 square feet
School	1.0	Per classroom
Service station	1.5	Per 1,000 square feet of building area
Single-family residence	1.0	Per residence
Snack bar, drive-in, etc.	2.5	Per 1,000 square feet
Theater, drive-in	0.04	Per car space
Theater	0.0068	Per seat
Two-family residential	1.0	Per unit
Veterinary facility	1.5	Per facility
Veterinary facility with kennel	1.5	Per facility plus 0.5 per 5 kennels
Warehouse and storage	0.2	Per 1,000 square feet

2. For those uses not specifically identified above, the Supervisor or his or her designee shall determine the benefit unit factor applicable by identifying the proposed use with that use listed above which is most similar. As a further guide in such determination, each 250 gallons of

average daily flow or fraction thereof estimated to be applicable shall constitute one (1) benefit unit.

3. In no event shall a connected use or activity be charged less than one (1) benefit unit.
4. Connection of property used or proposed to be used for industrial purposes shall be charged a connection charge based upon the sewage treatment demand of the industry, and including the quantity and quality of effluent as determined by the Township Engineer in consultation with the industry and the Supervisor or his or her designee prior to connection to the public sewer. As a guide in the foregoing determination, each 250 gallons of average daily flow or fraction thereof estimated to be applicable where unusual pollutants are not involved shall constitute one (1) benefit unit.
5. The benefit unit charge is predicated upon an assumed average daily flow for a single-family residence of 250 gallons.
6. All prior resolutions are hereby repealed.

#### V.

#### ANNUAL REVIEW

These fees are to be reviewed annually.

# Memo



**To:** Oshtemo Charter Township Board  
**From:** James W. Porter *JWP*  
**Date:** February 20, 2015  
**Subject:** Amended and Restated Water Connection Fees

## OBJECTIVE

To no longer require a Board resolution for rate changes and to separate the "motion" to approve the rate from the rate document itself – "Amended and Restated Water Connection Fees."

## BACKGROUND

In the past, the water connection fees were set by resolution. This is no longer required; it can be done by simple motion. The resolution format was confusing to the public.

## INFORMATION PROVIDED

Attached you will find a Motion to Approve the Amended and Restated Water Connection Fees. Please note that there **HAVE NOT BEEN ANY CHANGES TO THE WATER CONNECTION FEES**. The only reason for the motion and the attachment to the motion entitled, "Amended and Restated Water Connection Fees," is to **re-format** the information which we can then present to the public.

## STATEMENT OF WHAT YOU ARE ASKING BOARD TO APPROVE

Having revised the method to approve the water connection fees to a simple motion (which will not require a roll call vote) and separated the motion from the document setting forth the actual fees, we are requesting a motion to approve the newly formatted rate changes for public dissemination.

NOTE: NO CHANGES IN THE RATES HAVE OCCURRED.

4. k,

CHARTER TOWNSHIP OF OSHTEMO  
KALAMAZOO COUNTY, MICHIGAN

MOTION TO APPROVE  
AMENDED AND RESTATED WATER CONNECTION FEES

February 24, 2015

WHEREAS, the Charter Township of Oshtemo has heretofore adopted the Public Water Service Ordinance, being Ordinance No. 508, and

WHEREAS, pursuant to Sections 2, 4 and 5 of said Ordinance, the Township Board is required to establish appropriate fees for public water main connections, private water main connections, user fees and other charges, from time to time, to reflect the changes in construction costs and to maintain a uniformity between current projects and special assessment districts, and

WHEREAS, it is the desire of the Township Board to treat all persons similarly benefitted and similarly situated in an equal manner with respect to water service charges.

NOW, THEREFORE, until further modification by the Township Board, water connection fees and construction charges within the Charter Township of Oshtemo shall be as follows.

Motion made by \_\_\_\_\_, seconded by \_\_\_\_\_ to adopt the foregoing Amended and Restated Water Connection Fees.

The following voted "Aye":

The following voted "Nay":

The following abstained:

The following members were absent:

The Supervisor declared the Motion carried and duly adopted.

---

Deborah Everett, Clerk  
Oshtemo Charter Township

\*\*\*\*\*

CERTIFICATE

I, Deborah Everett, the duly elected and acting Clerk of the Charter Township of Oshtemo, hereby certify that the foregoing Motion to Approve the Amended and Restated Water Connections Fees was adopted by the Township Board of said Charter Township at a regular meeting of said Board held on February 24, 2015, at which meeting a quorum was present, and the Motion was approved and ordered to take effect on February 24, 2015.

---

Deborah Everett, Township Clerk

CHARTER TOWNSHIP OF OSHTEMO  
KALAMAZOO COUNTY, MICHIGAN

AMENDED AND RESTATED WATER CONNECTION FEES

EFFECTIVE: FEBRUARY 24, 2015

I.

CONNECTION FEES

A. Public Water Main Connection and Benefit Fees.

1. All property connecting to a public water main shall pay a water main connection Fee unless the property has been assessed as part of a water main special assessment district or is part of a development wherein the developer paid the full cost of water main installation, in which case, there shall be no water main connection fee charged.
2. The public water main connection fee is to be calculated as follows:
  - a. Assessable front foot \$31.50
  - b. Lineal foot (measured along center line of main) \$48.00
  - c. Boring under existing road, additional hydrant to existing main, topsoil, and surface restoration as required Actual Cost + 15%
  - d. Assessable frontage and lineal foot charges shall only be collected for the first 200 feet\* for private single and two-family residential properties with only one residential building thereon.

\* New parcels, lots or building sites which are split from property already connected to the public water system shall pay the fees as set forth above, except to the extent that a portion of the new lot, parcel or building site front footage or lineal footage was part of the first 200 feet for which the front foot or lineal foot charge has already been levied and paid.

All commercial development, industrial development, residential plat or site condominium, as well as multi-family residential development, shall pay the applicable footage charge without limitation.

- e. All property connecting to a public water main shall also pay a Benefit Fee unless the property was assessed as part of a special assessment district, in which case, the subject property shall be entitled to a credit for one benefit fee. Any additional benefit unit charges shall be calculated and paid in accordance with Section V.
- 3. The assessable front foot connection charge shall apply when a property borders the water main right-of-way, and the lineal foot charge shall apply when the water main right-of-way is located in the interior of a parcel.
- 4. Installment payment mortgage agreements shall not exceed 15 years to be charged at the rate of interest equal to prime rate as of January 1 of the current year plus 2%, not to exceed the maximum rate allowed law.
- 5. Hydrants shall be placed at intervals of approximately 1,000 feet on all new installation as determined by the Township Engineer. All hydrants are subject to review and approval of the Township Fire Department and may be required at intervals less than 1,000 feet.

B. Private Water Connection Fees.

- 1. The service connection is that pipe from the public water distribution main that delivers water to the curb stop which, in turn, delivers water to the property being serviced. The customer pays for the installation of this service based upon size unless the same was previously installed by the Developer. In the event that the Township has previously installed the curb-stop, or one will be installed by the Township at the customer's request, the charge for a standard connection is as follows:
  - a. 1¼" tap with installation of line and curb box \$2,000.00.
  - b. 1¼" tap to existing line and curb box previously installed by Township - \$1,515.00.
  - c. Special services, 2" – Contact City of Kalamazoo

2. Ditches will be left in reasonable condition: Any exceptional lawn work is the owner's responsibility. Extra charges for winter construction may be added when the service is installed at the customer's insistence at times and places when the frost is over 12" thick. Emergency connectors to be made in less than 48 hours may also result in extra charges.

II.

USER FEES

- A. Monthly or quarterly user fees shall be billed to each customer connected to the Oshtemo Township water system as provided in the Water Service Agreement between Oshtemo Charter Township and the City of Kalamazoo dated February 8, 1965.

III.

BENEFIT UNIT CHARGES

- A. Benefit Unit Charges. Each benefit unit charge shall be \$525.00 and the number of benefit units to be charged for each connection shall be determined by the following Benefit Unit Schedule:

<u>Connected Use or Activity</u>	<u>Benefit Units</u>	<u>Benefit Unit Factor</u>
Auto Dealer - New and/or Used	1.00	Per premise plus 0.25 per 1,000 square feet of building including service area
Auto Repair/Collision	1.00	Same as above
Auto Wash (coin operated do-it-yourself, 10 gallons or less per car)	1.00	Per stall
Auto Wash (Mechanical - over 10 gallons per car - recycled)	5.00	Per stall or production line including approach and drying area

Auto Wash (Mechanical - over 10 gallons per car - not recycled)	10.00	Per stall or production line including approach and drying area
Bar	4.00	Per 1,000 square feet
Barber Shop	1.00	Per shop plus 0.1 per chair after 2
Beauty Shop	1.00	Per shop plus 0.1 per booth
Bowling Alley (No bar)	1.00	Per premise plus 0.2 per alley
Campground Facilities - recreation vehicle, tents, trailers under 12 feet	0.35	Per pad or site plus picnic facilities
Campground Facilities - trailer park or trailers in excess of 12 feet	0.50	Per pad or site plus picnic facilities
Church	0.25	Per 1,000 square feet minimum of 1
Cleaners (pick-up only)	1.00	Per shop
Cleaners (cleaning and pressing facilities)	1.00	Per premise plus 0.5 per 500 square feet
Clinic (medical or dental)	1.00	Per premise plus 0.5 per exam room
Convalescent or boarding home	1.00	Per premise plus 0.25 per bedroom
Convent	1.00	Per premise plus 0.25 per bedroom
Convenience store	1.50	Per premise plus 0.8 per 1,000 square feet

Country club and athletic club	1.50	Per 1,000 square feet of clubhouse plus restaurant, bar and pro shop as retail store
Drug store	1.00	Per premise plus snack bar
Factory (office and production)	0.75	Per 1,000 square feet
Factory (wet process)		Based on metered flow
Funeral home	1.50	Per 1,000 square feet plus residence to be computed separately
Grocery store and supermarket	1.00	Per premise plus 0.8 per 1,000 square feet
Hospital	1.10	Per bed
Hotel and motel	0.40	Per bedroom plus restaurant and bar
Laundry (self-serve)	1.00	Per premise plus 0.5 per washer
Marina - per boat docking Space	.06	Per space under 25 feet in length
	.10	Per space over 25 feet in length
Mobile home (free standing)	1.00	Per unit
Mobile home (park or division)	0.75	Per pad or site at indirect connection rate plus laundry, community buildings and office to be computed separately per schedule

Multiple-family residence		
Duplex, row house or townhouse	1.00	Per dwelling unit
Apartment residence self-contained unit including laundry facilities in apartment	1.00	Per dwelling unit
Apartment residence - other than self-contained unit - not having laundry facilities in apartments	0.80	Per dwelling unit
Fraternity or sorority house	0.50	Per 1,000 square feet of floor area
Park, recreation facilities, campground		
Picnic facilities - no bathing or overnight accommodations	0.20	Per parking space
Picnic facilities - with bathing privileges or swimming pool	0.35	Per parking space
Post office	1.00	Per 1,000 square feet
Professional office	0.25	Per 500 square feet minimum 1
Public institution	0.75	Per 1,000 square feet
Restaurant (meals only)	2.5	Per 1,000 square feet excluding restrooms, public areas not in regular use and unfinished areas
Restaurant (meals and drinks)	3.5	Per 1,000 square feet excluding restrooms, public areas not in regular use and unfinished areas

Restaurant (public area, auxiliary dining room, dance floor or ballroom which are not in regular use)	0.5	Per 1,000 square feet
Retail store (other than listed)	1.0	Per premise plus 0.1 per 1,000 square feet
School	1.0	Per classroom
Service station	1.5	Per 1,000 square feet of building area
Single-family residence	1.0	Per residence
Snack bar, drive-in, etc.	2.5	Per 1,000 square feet
Theater, drive-in	0.04	Per car space
Theater	0.0068	Per seat
Two-family residential	1.0	Per unit
Veterinary facility	1.5	Per facility
Veterinary facility with kennel	1.5	Per facility plus 0.5 per 5 kennels
Warehouse and storage	0.2	Per 1,000 square feet

- B. For those uses not specifically identified above, the Supervisor or his or her designee shall determine the benefit unit factor applicable by identifying the proposed use with that use listed above which is most similar. As a further guide in such determination, each 250 gallons of average daily flow or fraction thereof estimated to be applicable shall constitute one (1) benefit unit.

- C. In no event shall a connected use or activity be charged less than one (1) benefit unit.
- D. The benefit unit charge is predicated upon an assumed average daily flow for a single-family residence of 250 gallons.
- E. All prior resolutions are hereby repealed.

IV.

**REGULATIONS APPLYING TO SERVICE CONNECTIONS**

- A. SERVICE APPLICATIONS: Applications for service are taken at the Township offices at 7275 West Main Street, Kalamazoo, Michigan.
- B. PAYMENT: All service installation charges will be paid in advance. Customers requesting special services, 2" and above, are required to apply at the City of Kalamazoo Water Department, 415 Stockbridge Avenue.
- C. INSTALLATION AND MAINTENANCE: All service installations and maintenance are under the control of the Township or its designated representatives, at the request of the property owner or his authorized representative. However, any changes to the site or building subsequent to the installation which hamper the operation or maintenance of their service, shall be rectified at the expense of the owner; the Township is not liable for any resultant damage. No buildings or structures are permitted on top of the service.
- D. SERVICE AND METER LOCATIONS: The location of the service and meter is subject to the approval of the water utility. ALL SERVICE INSTALLATIONS MUST MEET THE DESIGN REQUIREMENTS OF THE DEPARTMENT OF PUBLIC UTILITIES OF THE CITY OF KALAMAZOO.
- E. PLUMBING CONNECTIONS: The water utility will supervise work on the water service ends at the valve on the discharge side of the meter. Future maintenance is the responsibility of the customer. If you have a well or jet-operated sump, THAT MUST BE DISCONNECTED AND REMAIN PHYSICALLY SEPARATE FROM THE WATER SERVICE. ABSOLUTELY NO "CROSS CONNECTION" CAN BE MADE TO THE SYSTEM.
- F. SYSTEM PRESSURE: During the time of installation, the distribution system pressure will be checked. If the distribution system pressure exceeds the International Plumbing Code Standard of 80 PSI, a red tag will be attached to the meter. THE CUSTOMER IS RESPONSIBLE FOR INSTALLING A PRESSURE REDUCING VALVE AT THE DISCHARGE SIDE OF METER.

V.

DEVELOPER CONSTRUCTION CONTRACT / WATER MAIN  
EXTENSION AGREEMENT

- A. A developer may contract with the Township to extend a public water main to and through a property subject to the following requirements:
1. The design of the water main extension including hydrant placement, roadway borings, topsoil and surface restoration must be in accordance with the current Township standards and approved by the Township Engineer. Generally, construction will be undertaken by or under the control of the Township (water main extension agreement). If, however, pursuant to the approval and authorization of the Supervisor, construction is undertaken by the developer (developer construction contract), then all construction must be inspected and approved by the Township Engineer and/or City of Kalamazoo prior to any use of the system addition.
  2. All construction and related costs including administrative fees shall be paid by the developer and deposited with the Township prior to commencement of construction. Said costs shall be calculated at the lineal foot rate for new water main. In the event the Township has authorized the developer to undertake the construction, 7% of the costs shall be paid to the Township.
  3. The Township will collect from property owners for all property outside the development connecting to the water main extension the appropriate connection fee, and pursuant to a written agreement with the developer, will refund to the developer during the next ensuing 10-year period following completion of construction, 80% of the assessable front foot fee. The amount of the refund, however, shall in no case exceed the total construction cost.
- B. All water main extensions shall be extended to the far boundary of the property served so as to allow for future extension through adjoining property.

VI.

ANNUAL REVIEW

These fees are to be reviewed annually.

4,1.

TITLE	# / Mtgs.	Members	Dates	Term/End Date
Board of Review Two Year Term, Even Years	TBD	Marvin Block Fred Gould Kim Bourner Neil Sikora (Alternate) Kitty Gelling (Alternate) Libby Heiny-Cogswell Cathy Harrell (Staff)	March, July & December	12.31.2016 12.31.2016 12.31.2016 12.31.2016 12.31.2016
Corridor Improvement Authority (SoDA) 5 to 9 members Majority with ownership or bus int At least 1 resident (w/in 1/2 mile) Four year term staggered terms		Deb Jung, Resident (Engineer) Jackie Kimble (Resident) Joe Gesmundo, AVB (Developer) <b>Dale Shugars (County Rep)</b> Corey Ashley, Grp. Mktg. Cvcs., (Business Rep) Kelly Bringman, Nottingham Apts. (Mgr) Dennis Patzer, At Large (School Admin) Theresa Spurr, (Spurr Dental) Libby Heiny-Cogswell (TB Liason) Greg Milliken (Staff)		12.31.2015 12.31.2015 12.31.2016 <b>12.31.2016</b> 12.31.2017 12.31.2017 12.31.2018 12.31.2018
DDA Four Year Terms	6	Jack Siegel Bruce Betzler Grant Taylor Terry Schley Glenn Steeg Chip Everett Maria Dacoba Fred Gould Andy Wenzel Jay Brown Mike Lutke Stephen Dallas Libby Heiny-Cogswell Greg Milliken (Staff)	3rd Thurs, every other month, starting Jan @ noon	12.31.2017 12.31.2017 12.31.2017 12.31.2016 12.31.2016 12.31.2016 12.31.2015 12.31.2015 12.31.2015 12.31.2018 12.31.2018 12.31.2018

TITLE	# / Mtgs.	Members	Dates	Term/End Date
Friends of the Parks Two Year Term	6	Pam Jackson	2nd Wednesday of	12.31.2016 1st Term
		Deb Everett (TB Liason)	Jan, Mar, May, Ju, Se, Nov	12.31.2016 1st Term
		Carol Ladd	@ 4:30 pm	12.31.2016 2nd Term
		<b>Dennis Patzer</b>		<b>12.31.2016 1st Term</b>
		Wes Freeland		12.31.2015 1st Term
Libby Heiny-Cogswell (TB Liason)	6	<b>Courtney Holsworth</b>		12.31.2016 1st Term
		Karen High (Staff, as needed)		<b>12.31.2015 1st Term</b>
		Township Board	3rd Tuesday, 6 pm	
Joint Boards Meetings	3	Planning Commission	Feb, May, Sept	
		Zoning Board of Appeals		
		DDA		
		Friends of the Parks		
KABA (Kalamazoo Area Building Authority)	24	Greg Milliken (Staff)		
		Lee Larson (Twp Brd Liason)		
KATS Policy (Kalamazoo Area Transportation Study)	12	Deb Everett (Board Alternate)	Recording Secretary	
		Libby Heiny-Cogswell (Primary)	4th Wed @ 9am (or as scheduled)	
		Lee Larson (Alternate)		
KATS Technical (Kalamazoo Area Transportation Study)	12	Greg Milliken, (Staff)	2nd Thursday @ 9:00 a.m.	
		Marc Elliott, (Staff)		
Kalamazoo Regional Water & Wastewater Commission	10	Libby Heiny-Cogswell, Regional Chair		
		Nancy Culp, Alternate		
		Jim Porter (Staff)		
Planning Commission Three Year Term	24	Pam Jackson	2nd & 4th Thursday@7pm	12.31.2016 1st term
		Millard Loy	(typically)	12.31.2016 2nd term
		Mary Smith		12.31.2017 1st term
		Wiley Boulding, Sr.		12.31.2017 2nd term
		Terry Schley		12.31.2015 1st term
		Fred Antosz		12.31.2015 1st term
		Dusty Farmer (TB Liason)		
		Greg Milliken (Staff)		
		Jim Porter (Staff Attorney)		

TITLE	# / Mtgs.	Members	Dates	Term/End Date
Public Media Network	12	Grant Taylor Nancy Carr (Alternate) Dave Bushouse (Oshtemo Citizen Representative)	4th Thursday @ 4:30 p.m.	
Township Board Four Year Terms	22	Libby Heiny-Cogswell, chair Deb Everett Nancy Culp Lee Larson Dusty Farmer Nancy Carr Grant Taylor Jim Porter (Attorney)	ALL MONTHS: 2nd Tues.-5pm (work session) and 7pm (regular mtg) ODD NUMBERED MONTHS: 4th Tues.-6pm (public comment) session and 7pm regular mtg (and any special meetings)	11.20.2016 11.20.2016 11.20.2016 11.20.2016 11.20.2016 11.20.2016 11.20.2016
Zoning Board of Appeals Three Year Terms	24	Cheri Bell Jim Sterenberg Mike Smith Millard Loy (PC Liason) Neil Sikora (Alternate) Bob Anderson (Alternate) Lee Larson (TB Liason) Greg Milliken (Staff) Jim Porter (Attorney) Mark Barnes Chip Everett	2nd & 4th Tues @ 3 pm As needed	12.31.2016 2nd term 12.31.2016 1st term 12.31.2015 2nd term 12.31.2015 NA 12.31.2015 2nd term 12.31.2015 1st term
911 Consolidation Advisory Board			Policy Committee Technical Committee (Alternate)	

\*Bold Font Indicates Proposed Appointment. Others are Continuing

TITLE	# Mtgs	Members	Dates	Term/End Date
Board & Committee Appointments		Libby Heiny-Cogswell Nancy Culp Deb Everett	As needed	
Buildings and Grounds	12	Libby Heiny-Cogswell Lee Larson Rick Everett (Staff) Carl Benson (Resident)	3rd Tuesday @ 8:00 a.m.	
Capital Improvement (CIC)	4	Lee Larson Nancy Culp Libby Heiny-Cogswell Dave Bushouse (Resident) Tim Mallett (Resident) Cathy Harrell (Staff) Marc Elliott (Staff)	Quarterly, Jan, Apr, July, Oct 3rd Tues. @ 1pm	11.20.2016
Central County Transit Authority (CCTA)		Deb Everett	TBD	
Chamber of Commerce legislative		Nancy Carr (Primary) Nancy Culp (Alternate) (Alternate other board members)	Quarterly as Announced	n/a
Council of Governments (COG)		Lee Larson (Primary) Libby Heiny-Cogswell (Alternate)	Quarterly	n/a
Kalamazoo Brownfield Authority		Greg Milliken (Staff Attendee)	4th Thursday of each Month @ 4:00pm	NA
Kalamazoo County Transit Authority	12	Deb Everett, Primary Nancy Culp (Alternate)	2nd & 4th Monday, 5:30 p.m.	
HR (Human Resources)	12	Libby Heiny-Cogswell Dusty Farmer Lee Larson Jennie Miller (Staff Representative) Jim Porter (Attorney) Mark Barnes (Staff) Nate Strong (HR Specialist)	Monthly 1st Tuesday @ 3:30 p.m.	
Metro Transit (City)/ Local Advisory Committee (LAC)		Deb Everett, Primary Dusty Farmer , Alternate	3rd Wed, bi-monthly, 2:30 pm Jan, Mar, May, Ju, Se, Nov	

\*Bold Font Indicates Proposed Appointment. Others are Continuing

TITLE	# Mtgs	Members	Dates	Term/End Date
Parks	12	Deb Everett Libby Heiny-Cogswell Cheri Bell (Resident) Roger Taylor (Resident) Karen High (Staff)	3rd Thursday @ 7:30 a.m.	
Police		Libby Heiny-Cogswell Deb Everett Lee Larson Mark Barnes (Police Contract Coordinator) Jack Shepperly (Resident) Jim Sterenberg (Resident) Malcolm Blair (Resident) Dave Bushouse (Resident) Jim Taylor (Resident) Scott Ernstes (Specialist) Keith Bearup (Resident) Jim Porter (Staff Attorney)	Monthly as needed (Waiting for Marc's response)	
Safety	2	Nate Strong (Staff) Cathy Harrell (Staff) Linda Ignasiak (Staff) Mark Barnes (Staff)	As needed	
Wellhead Protection Team		Lee Larson	Quarterly (approximately)	

OSHTEMO CHARTER TOWNSHIP ORDINANCE NO. \_\_\_\_\_

Adopted: \_\_\_\_\_, 2015

Effective: \_\_\_\_\_, 2015

OSHTEMO CHARTER TOWNSHIP ORDINANCE

This Ordinance amends Ordinance No. 468, being the Oshtemo Charter Township Non-Motorized Facilities/Sidewalk Ordinance, adopted on August 22, 2006, as amended, and repeals all Ordinances or parts of Ordinances in conflict.

THE CHARTER TOWNSHIP OF OSHTEMO

KALAMAZOO COUNTY, MICHIGAN

ORDAINS:

SECTION I. AMENDMENT OF COMPILED SECTION 294.005. Compiled Section 294.005 Construction regulations, Paragraph B is hereby amended to read as follows:

**294.005 Construction regulations.**

Sec. V.

B. *Sidewalk/Multi-purpose Path/Facility Construction Standards.* All sidewalks or non-motorized paths/facilities shall be constructed in accordance with the design and construction standards which shall be approved, from time to time, by ~~resolution~~ of the Township Board.

SECTION II. This Ordinance shall take effect upon publication. All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

DEBORAH L. EVERETT, CLERK  
OSHTEMO CHARTER TOWNSHIP

OSHTEMO CHARTER TOWNSHIP ORDINANCE NO. \_\_\_\_\_

Adopted: \_\_\_\_\_, 2015

Effective: \_\_\_\_\_, 2015

OSHTEMO CHARTER TOWNSHIP ORDINANCE

This Ordinance amends Ordinance No. 208, being the Oshtemo Charter Township Wastewater Service Ordinance, adopted on February 19, 1985, as amended, and repeals all Ordinances or parts of Ordinances in conflict.

THE CHARTER TOWNSHIP OF OSHTEMO

KALAMAZOO COUNTY, MICHIGAN

ORDAINS:

SECTION I. AMENDMENT OF COMPILED SECTION 232.001. Compiled Section 232.001 Definitions is hereby amended to revise the definition of Director to read as follows:

**232.001 Definitions.**

Sec. 1.

*Director* means the Township Supervisor ~~or his designee or authorized representative~~ **Director of Public Works** as determined and approved by the Township Board.

SECTION II. AMENDMENT OF COMPILED SECTION 232.003. Compiled Section 232.003 Management of system is hereby amended to read as follows:

**232.003 Management of system.**

Sec. 3.

The wastewater ~~water~~ system of the Township shall be and remain under the management, supervision and control of the Township Director **of Public Works** who may employ or designate such person or persons in such capacity or capacities as he

fee to be determined by the Township Board from time to time. The amount of the connection charge shall be in the discretion of the Township Board but shall approximate the amount a connector would have paid on a benefit assessment basis had his property been included in a sanitary sewer special assessment district created for the purpose of financing the project. The term "connection charge" as used in this Ordinance pertains to a charge for the privilege of connecting the premises to a sanitary sewer line and does not pertain to the construction cost of such connection. In lieu of paying the full connection charge prior to connecting to the public sanitary sewer system, a property owner shall have the option of entering into an Installment Payment Mortgage Agreement with the Township (in a form approved by the Township Board Treasurer) for the payment of such a charge over a limited period of years.

SECTION V. AMENDMENT OF COMPILED SECTION 232.021. Compiled Section 232.021 Establishment of user rates, Paragraph (a) is hereby amended to read as follows:

**232.021 Establishment of user rates.**

Sec. 21.

- (a) Each user of the treatment works shall pay a charges charge at a rate which shall be established from time to time by ~~resolution~~ of the Township Board. The system of user charges and capital charges shall be reviewed biennially and revised periodically as required to insure that every user pays its proportionate share of such charges

SECTION VI. This Ordinance shall take effect upon publication. All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

DEBORAH L. EVERETT, CLERK  
OSHTEMO CHARTER TOWNSHIP

OSHTEMO CHARTER TOWNSHIP ORDINANCE NO. \_\_\_\_\_

Adopted: \_\_\_\_\_, 2015

Effective: \_\_\_\_\_, 2015

OSHTEMO CHARTER TOWNSHIP ORDINANCE

This Ordinance amends Ordinance No. 508, being the Oshtemo Charter Township Public Water Service Ordinance, adopted on November 24, 2009, as amended, and repeals all Ordinances or parts of Ordinances in conflict.

THE CHARTER TOWNSHIP OF OSHTEMO

KALAMAZOO COUNTY, MICHIGAN

ORDAINS:

SECTION I. AMENDMENT OF COMPILED SECTION 231.002. Compiled Section 231.002 Connections to the public water mains; private service connections; service fees and charges, Paragraphs A and B are hereby amended to read as follows:

**231.002 Connections to the public water mains; private service connections; service fees and charges.**

Sec. 2.

A. *Water main connection.* Owners or occupants desiring to connect any premises to a public water main for public water service shall apply for the same on a form approved by the Township Board **Director of Public Works** and pay a water main connection fee, the amount of such water main connection fee to be determined by the Township Board from time to time. The term "water main connection fee" as used in this Ordinance pertains to a charge for the privilege of connecting to the water main and the cost of providing such service in the public right-of-way and does not

SECTION III. AMENDMENT OF COMPILED SECTION 231.004. Compiled Section 231.004 Water main connection fees and installation requirements, is hereby amended to read as follows:

**231.004 Water main connection fees and installation requirements.**

Sec. 4.

The amount of the water main connection fee shall be in the discretion of the Township Board but shall approximate the amount a property owner would have paid on a benefit assessment basis had his or her property been included in a water special assessment district created for the purpose of financing the project. The water main connection fee shall include as a component of the fee a benefit unit charge as established by the Township Board from time to time. Such charges may be changed from time to time by resolution of the Township Board to reflect changes in construction costs and to maintain a fairly uniform charge between different current projects and special assessment districts.

No connection to the water main shall be allowed until the water main connection fee has been paid to the Township in such an amount as is determined by the Township Board, and water main connection has been fully inspected and approved by the Township and/or the City of Kalamazoo in compliance with the Ordinances administered by the City and Township.

The Township reserves the right to install any water main extension or to subcontract to any private licensed contractor, or to permit an owner or owner's contractor to construct the same, provided that in such latter event, an inspection and supervision fee shall be paid by the applicant to the Township. **Such charges may be changed from time to time by the Township Board to reflect changes in construction costs and to maintain a fairly uniform charge between current projects and special assessment districts.**

SECTION IV. AMENDMENT OF COMPILED SECTION 231.005. Compiled Section 231.005 Private water service connection fees and installation requirements, the first paragraph is hereby amended to read as follows:

SECTION VI. This Ordinance shall take effect upon publication. All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

DEBORAH L. EVERETT, CLERK  
OSHTEMO CHARTER TOWNSHIP